

# CONSTRUCTION SEQUENCING NOTES:

1. THE SWPPP SHALL BE PROVIDED ON-SITE AND ALL REGULATIONS, INSPECTIONS, AND PROCEDURES FOLLOWED FOR THE ENTIRE DURATION OF THE PROJECT. SEE GENERAL PERMIT DETAILS FOR ADDITIONAL INFORMATION AND SWPPP FOR SITE SPECIFIC REQUIREMENTS AND INSPECTIONS.
2. THE SILT FENCE SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT.
3. TEMPORARY SEEDING SHALL BE PROVIDED WITHIN 7 DAYS FOR ALL AREAS THAT WILL NOT RECEIVE PAVEMENT OR OTHER PERMANENT IMPROVEMENTS WITHIN 14 DAYS.
4. THE CONCRETE WASHOUT SHALL BE INSTALLED AND MADE FUNCTIONAL PRIOR TO ANY CONCRETE IMPROVEMENTS ON-SITE.
5. BUILDING CONSTRUCTION MAY BEGIN AT THIS TIME.
6. PROPOSED STORM SEWER SHALL BE INSTALLED AT THIS TIME WITH INLET PROTECTION AS EACH INLET BECOMES FUNCTIONAL.
7. ALL UTILITIES FOR THE SITE SHALL BE INSTALLED AT THIS TIME AND AREAS TEMPORARILY OR PERMANENTLY SEEDED AFTER COMPLETION OF INSTALLATION.
8. DIVERSION DIKE AND SEDIMENT TRAP SHALL BE REMOVED AS THE CURBING IS CONSTRUCTED AS RUNOFF WILL BE CONVEYED TO THE SEDIMENT PROTECTED STORM SEWER SYSTEM AT THIS TIME. ROANOKE CITY APPROVAL IS REQUIRED PRIOR TO THE REMOVAL OF THE DIVERSION DIKES AND SEDIMENT TRAP. TEMPORARY SEDIMENT TRAP SHALL REMAIN OPERATIONAL UNTIL THE ON-SITE STORM SEWER SYSTEM IS FUNCTIONAL.
9. PAVEMENT, LANDSCAPING ETC. SHALL BE INSTALLED AT THIS TIME. THE CONCRETE WASH OUT SHALL BE UTILIZED IN ACCORDANCE WITH D.E.G. REGULATIONS. PAVING SHALL OCCUR AROUND THE STARBUCKS SITE IN ACCORDANCE WITH OWNER NOTIFICATION, ETC. BY DEVELOPER AND G.C. SAFETY FENCE SHALL BE TRANSITIONED AS REQUIRED DURING THE TRANSITIONAL PHASE OF PAVING TO ENSURE ACCESS TO ALL PATRONS TO STARBUCKS AND ASSOCIATED DELIVERIES.
10. PERMANENT SEEDING AND MULCHING SHALL BE APPLIED AT THIS TIME TO ALL AREAS AT FINAL GRADE. BLANKET MATTING SHALL BE APPLIED TO ANY SLOPES 3:1 OR GREATER.
11. AFTER FINAL SITE STABILIZATION AND ROANOKE CITY APPROVAL, SILT FENCE, INLET PROTECTION, AND THE CONSTRUCTION ENTRANCE CAN BE REMOVED.

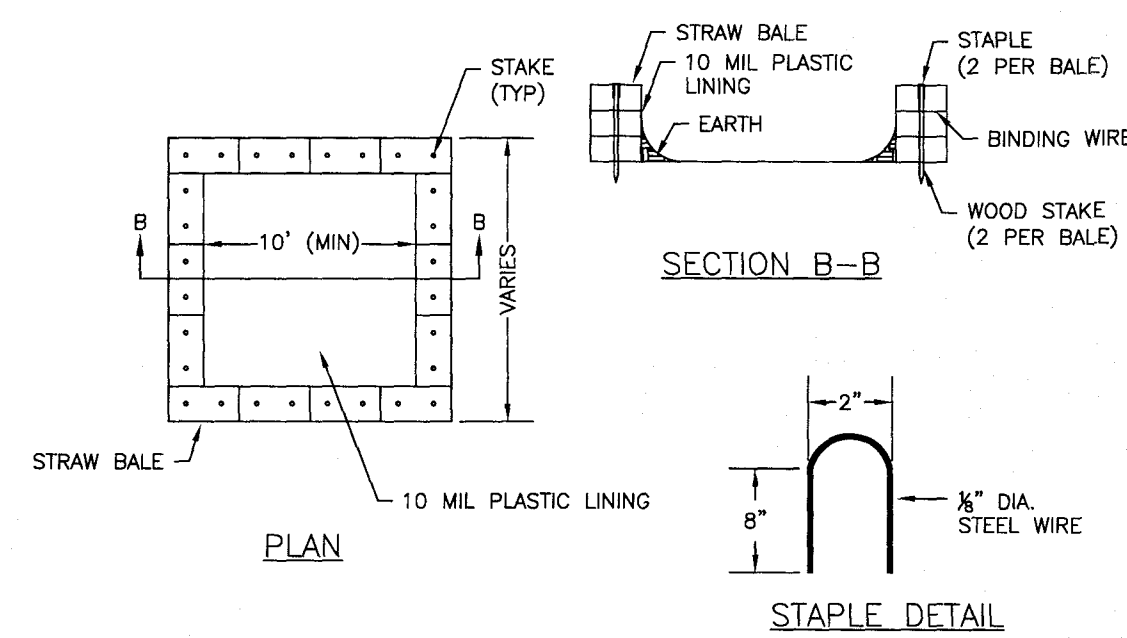
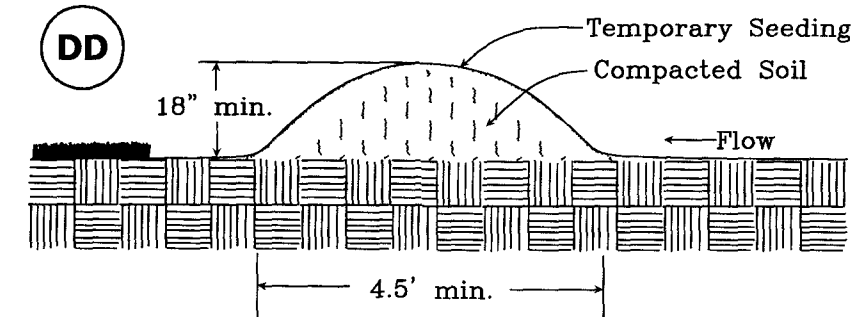
\*NOTE: ROANOKE CITY INSPECTION AND APPROVAL IS REQUIRED PRIOR TO THE REMOVAL OF EROSION AND SEDIMENT CONTROL MEASURES.

12. G.C. SHALL ENSURE THAT THE LIMITS OF DISTURBANCE ARE STRICTLY ADHERED TO DURING THE PROJECT.
13. NO DEVIATIONS TO THE PLANS SHALL TAKE PLACE UNLESS PRIOR APPROVAL FROM THE OWNER, PROJECT ENGINEER, AND THE APPROPRIATE REVIEW AGENCIES.

## E&SC MEASURES

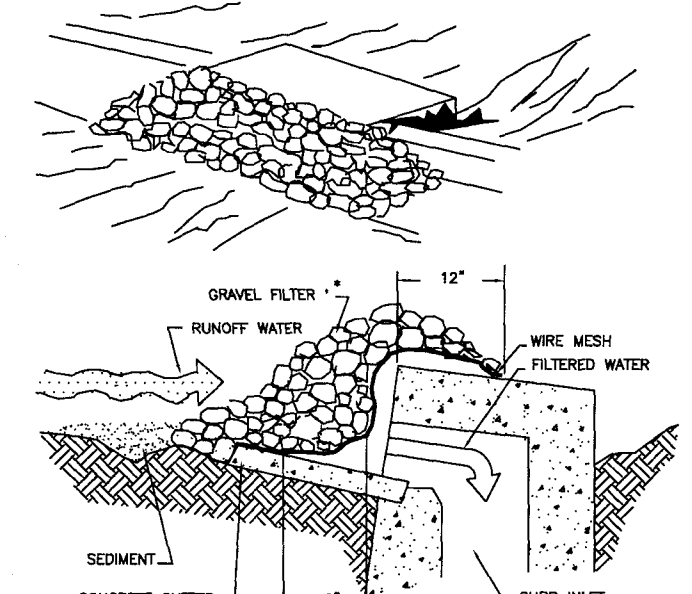
3.01	SAFETY FENCE	SAF
3.02	TEMPORARY STONE CONSTRUCTION ENTRANCE	CE
3.05	SILT FENCE	SF
3.07	STORM DRAIN INLET PROTECTION	IP
3.09	TEMPORARY DIVERSION DIKE	DD
3.13	TEMPORARY SEDIMENT TRAP	ST
3.31	TEMPORARY SEEDING	TS
3.32	PERMANENT SEEDING	PS
3.35	MULCHING	MU
3.36	SOIL STABILIZATION BLANKETS & MATTING	B/M

## TEMPORARY DIVERSION DIKE



- GENERAL NOTES:**
1. ACTUAL SIZE TO BE DETERMINED IN FIELD. A MINIMUM OF 10' WIDE BY 10' LONG AND SIZED TO CONTAIN ALL LIQUID AND SOLID WASTE. A MINIMUM OF 12" FREEBOARD SHALL BE PROVIDED.
  2. THE CONCRETE WASHOUT SHALL NOT BE PLACED WITHIN 50' OF STORM DRAINS.
  3. EXCESS AND SLUMP TEST SOLIDS SHALL BE PLACED ON PLASTIC LINER UNTIL HARDENED. CONTRACTOR MAY CONSIDER INSTALLING WIRE OR REBAR HOOD FOR LATER PICKUP REMOVAL.
  4. INSPECTORS SHALL USE THE WASHOUT FACILITY OR PLASTIC FOR CLEANING OF THEIR TOOLS.

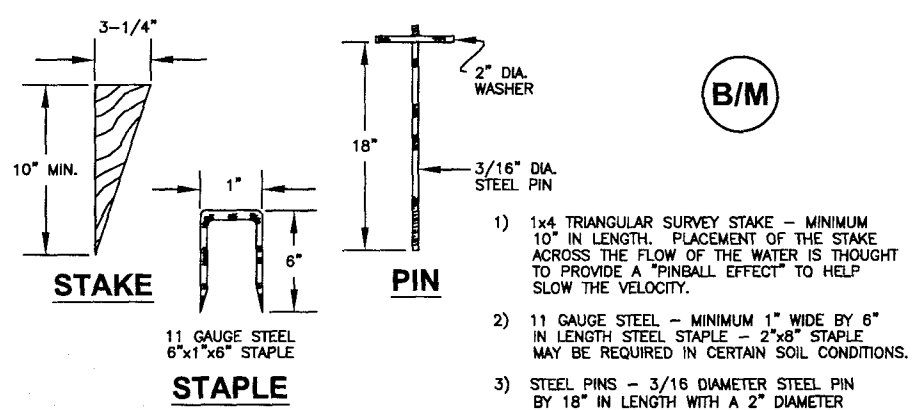
- MAINTENANCE NOTES:**
1. CHECK ALL CONCRETE WASHOUT FACILITIES DAILY TO DETERMINE IF THEY HAVE BEEN FILLED TO 75% CAPACITY. THE FACILITY SHALL BE CLEANED OUT OR CHANGED WHEN 75% FULL.
  2. INSPECT LINERS DAILY TO ENSURE THAT LINERS ARE INTACT AND SIDEWALLS HAVE NOT BEEN DAMAGED BY CONSTRUCTION ACTIVITIES. LINERS SHALL BE REPLACED IF THERE ARE HOLES OR TEARS OBSERVED.
  3. CONCRETE WASTE SHALL BE WASHED INTO THE DESIGNATED AREA AND ALLOWED TO HARDEN. THE HARDENED CONCRETE SHALL BE BROKEN UP AND DISPOSED OF OFFSITE PER APPLICABLE VA, DEQ RULES AND REGULATIONS. LIQUIDS SHALL NOT BE DISCHARGED DIRECTLY INTO WATERWAYS, STORM DRAINS, SWALES, OR DIRECTLY ONTO THE GROUND.
  4. REMOVE LIQUIDS OR COVER STRUCTURE BEFORE PREDICTED STORMS TO PREVENT OVERFLOWS.
  5. INSTALL A NEW PLASTIC LINER AFTER EVERY CLEANING.



## IP GRAVEL CURB INLET SEDIMENT FILTER

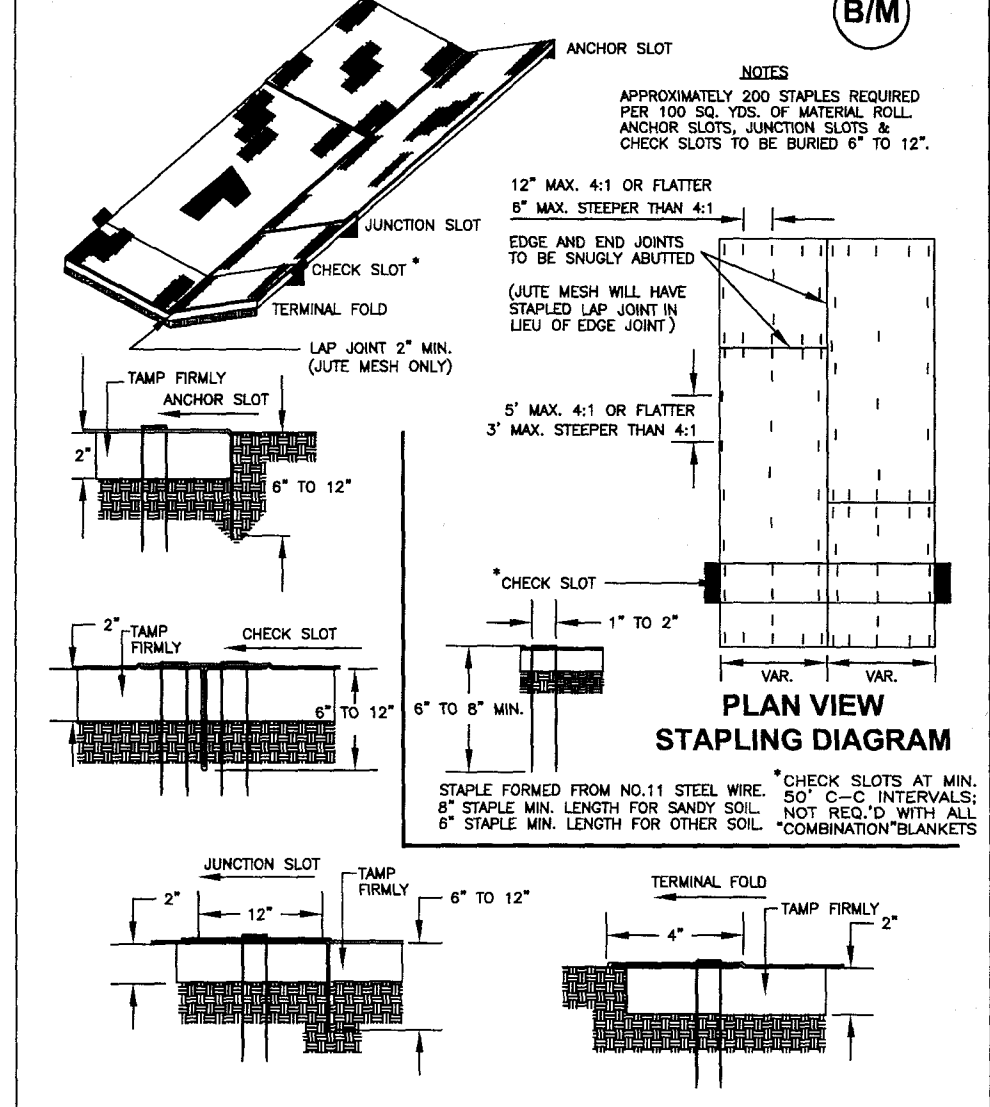
THIS METHOD OF INLET PROTECTION IS APPLICABLE AT CURB INLETS WHERE FLOWING IN FRONT OF THE INLET IS NOT POSSIBLE. IT IS DESIGNED TO PROVIDE A TRAP FOR SEDIMENT AND OTHER SOLIDS BEFORE THEY ENTER THE STORM DRAIN.

## STAKES, STAPLES, & PINS FOR INSTALLATION OF TREATMENT - 2 SOIL STABILIZATION MATTING

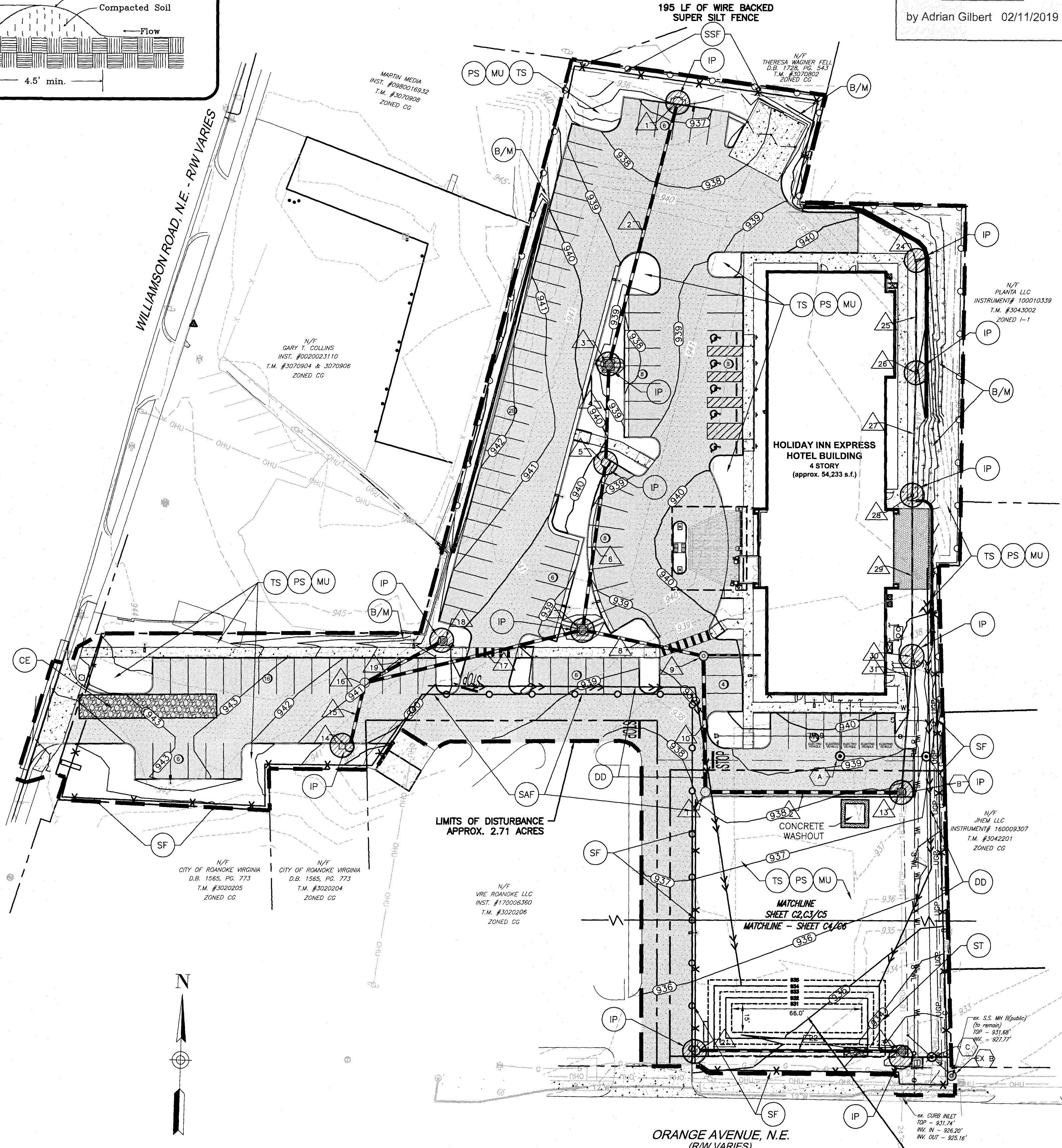


SOURCE: PRODUCT LITERATURE FROM GREENSTREAK, INC. PLATE: 3.36-3

## TYPICAL TREATMENT - 1 (SOIL STABILIZATION BLANKET) INSTALLATION CRITERIA



SOURCE: VDOT ROAD AND BRIDGE STANDARDS PLATE: 3.36-2



City of Roanoke  
Planning, Building, & Development  
COMPREHENSIVE DEVELOPMENT PLAN  
**APPROVED**  
by Adrian Gilbert 02/11/2019

**BALZER**  
AND ASSOCIATES, INC.  
REFLECTING TOMORROW  
www.balzer.cc

Roanoke  
New River Valley  
Richmond  
Staunton  
Harrisonburg

RESIDENTIAL LAND DEVELOPMENT ENGINEERING  
SITE DEVELOPMENT ENGINEERING  
LAND USE PLANNING & ZONING  
LANDSCAPE ARCHITECTURE  
LAND SURVEYING  
ARCHITECTURE  
STRUCTURAL ENGINEERING  
TRANSPORTATION ENGINEERING  
ENVIRONMENTAL & SOIL SCIENCE  
WETLAND DELINEATIONS & STREAM EVALUATIONS

Balzer and Associates, Inc.

1208 Corporate Circle  
Roanoke, VA 24018  
540-772-9580  
FAX 540-772-8050

COMMONWEALTH OF VIRGINIA  
CHRISTOPHER P. BURNS  
Lic. No. 047338  
4/17/18  
PROFESSIONAL ENGINEER

**HOLIDAY INN EXPRESS HOTEL**  
536 ORANGE AVENUE NE  
E.S.C. PLAN - PHASE 2  
Incode: ROAOA Location#: 18807  
CITY OF ROANOKE, VIRGINIA

DRAWN BY BTC  
DESIGNED BY BTC  
CHECKED BY CPB  
DATE 2/9/2018  
SCALE 1"=30'  
REVISIONS:  
3/20/2018  
4/17/2018

SHEET NO.

**C8**

JOB NO. 04170051.00