

SITE AND ZONING TABULATIONS

PROPERTY ZONED: I-1(C) - LIGHT INDUSTRIAL DISTRICT
PROPOSED USE: PARKING AREA EXPANSION FOR A GENERAL OFFICE AND UTILITY MAINTENANCE & SERVICE FACILITY
PROPERTY LOCATED WITHIN THE FLOODPLAIN (F) OVERLAY DISTRICT
SITE ACREAGE: 0.314 ACRES
MIN LOT AREA = 10,000 SF
MIN LOT FRONTAGE = 100' MIN. MIN. FRONT YARD = 0' MAX FRONT YARD 30' MIN SIDE YARD = 0'
MIN REAR YARD = 0'
MAX HEIGHT ALLOWED = 40'
MAX FLOOR AREA RATIO = 2.0

IMPERVIOUS SURFACE RATIO:
MAXIMUM ALLOWED = 90%
SITE AREA = 6.314 ACRES
EXISTING IMPERVIOUS SURFACE AREA = 2.45 ACRES (39%)
PROPOSED IMPERVIOUS SURFACE AREA = 2.90 ACRES (46%)

OFF STREET PARKING REQUIREMENTS:

OFFICE: GENERAL, PROFESSIONAL, OR GOVERNMENT = 1 SPACE PER 300 S.F. (NET FLOOR AREA)
MINIMUM REQUIRED = (13,360 S.F. / 300 S.F.) = 44.6 SPACES
ASSEMBLY: MEETING HALL = 1 SPACE PER 5 PERSONS OF MAX. LOAD OCCUPANCY
MINIMUM REQUIRED = (365 MAX. OCCUPANCY / 5 PERSONS) = 73 SPACES
LOCKER ROOM: PERSONAL SERVICE USE = 1 SPACE PER 300 S.F. (NET FLOOR AREA)
MINIMUM REQUIRED = (880 S.F. / 300 S.F.) = 2.9 SPACES
WAREHOUSING & STORAGE: WAREHOUSE = 1 SPACE PER 5,000 S.F. (BUILDING AREA)
MINIMUM REQUIRED = (7,277 S.F. / 5,000 S.F.) = 1.5 SPACES

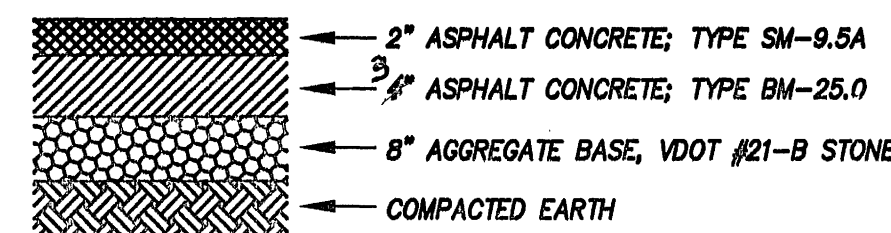
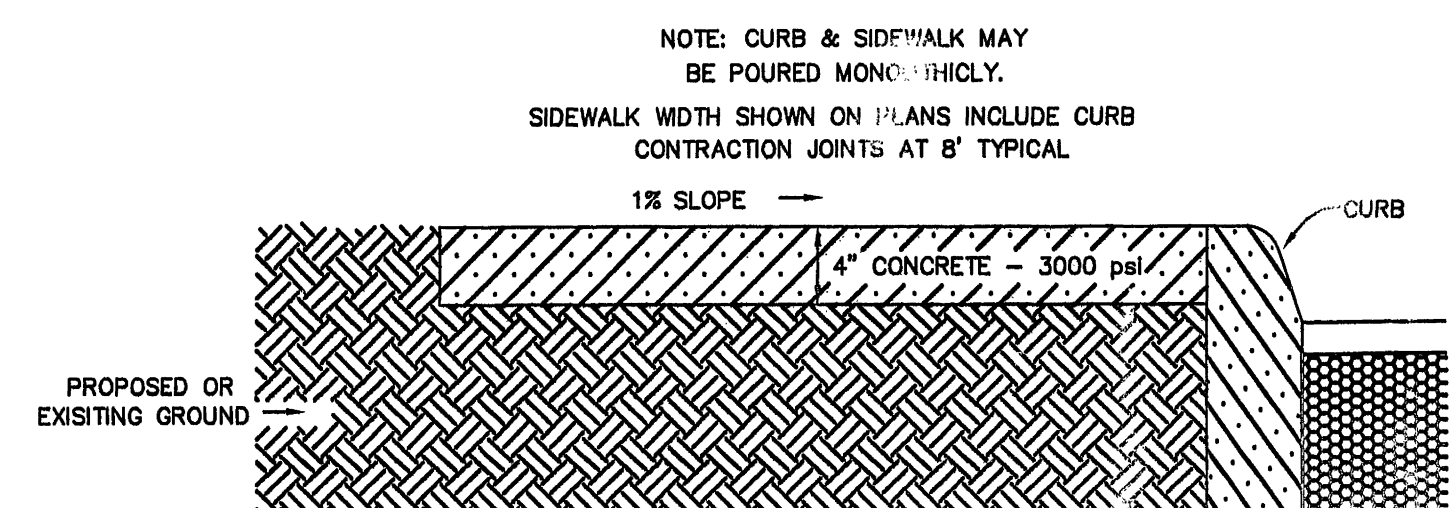
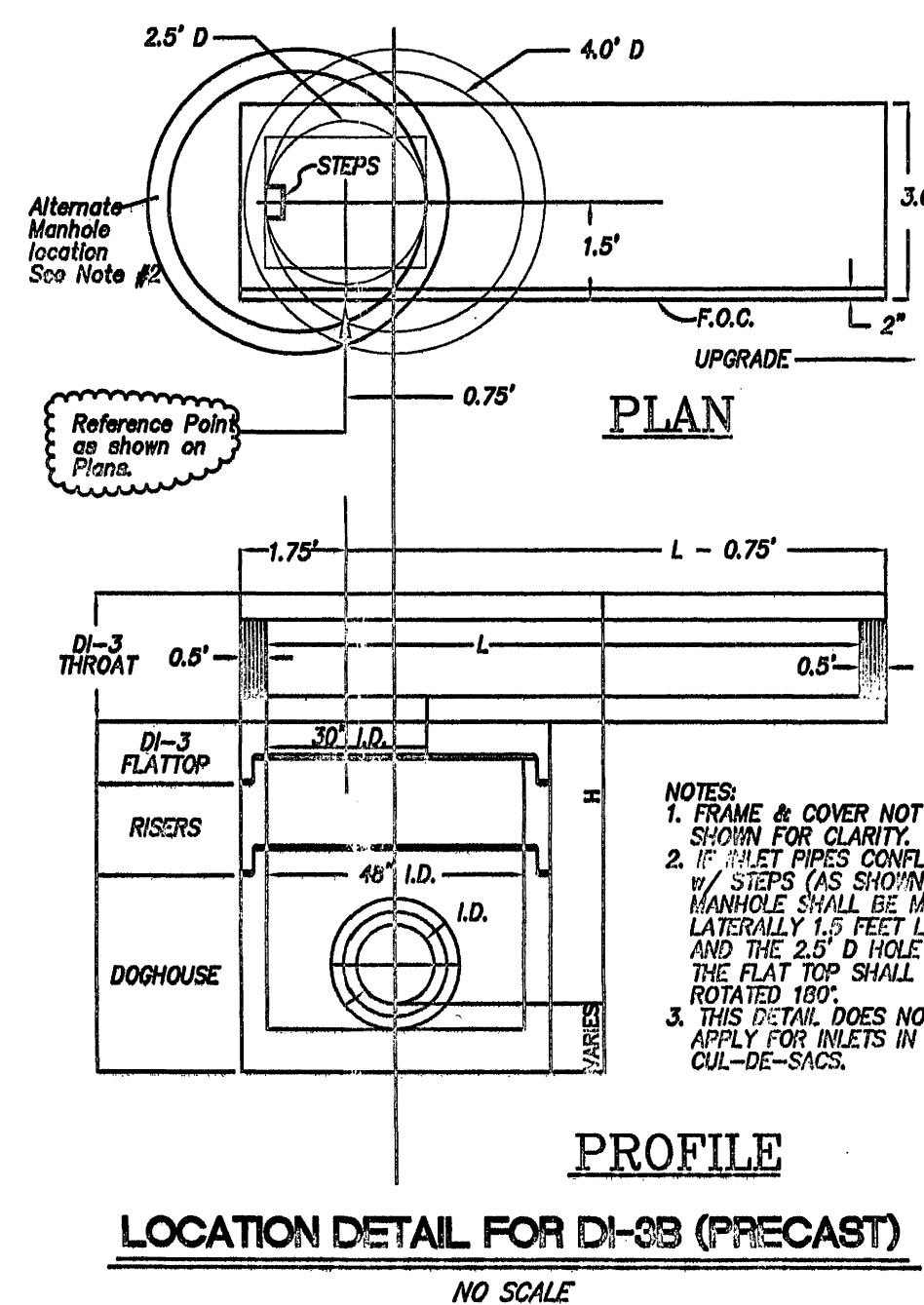
TOTAL MINIMUM REQUIRED = 44.6 + 73 + 2.9 + 1.5 = 122 SPACES

MAXIMUM OFF STREET PARKING = 140% OF TOTAL MINIMUM REQUIRED
MAXIMUM PARKING = 140% (122 SPACES) = 170.8 SPACES

PARKING PROVIDED: 123 STANDARD SPACES INCLUDING 5 HANDICAP SPACES PLUS AN ADDITIONAL 39 FLEET VEHICLE SPACES FOR A TOTAL OF 162 SPACES

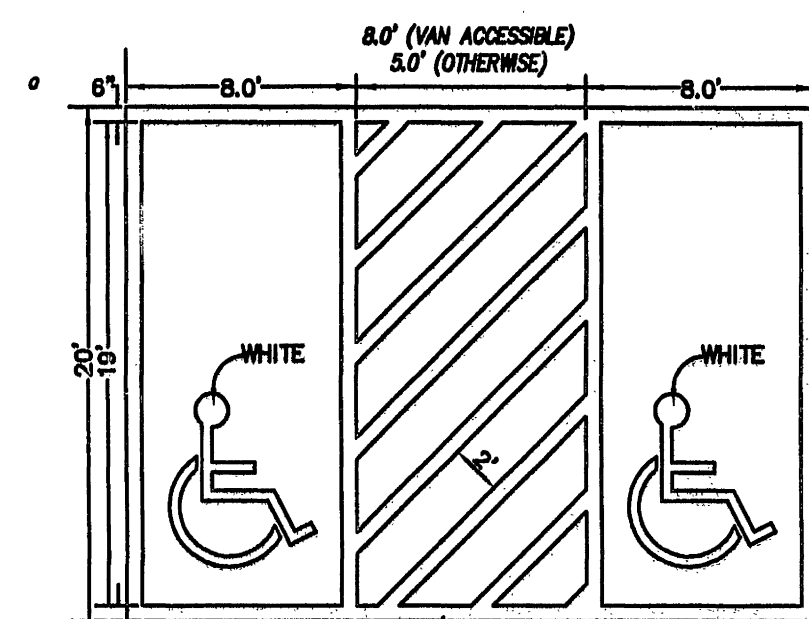
PROFFERED CONDITION

1. THE PROPERTY WILL NOT BE USED FOR THE FOLLOWING PERMITTED USES: (A) OUTDOOR ADVERTISING, (2) TOW TRUCK OPERATIONS AND/OR (C) AUTOMOBILE PAINTING AND BODY SHOP.



SIDEWALK DETAIL

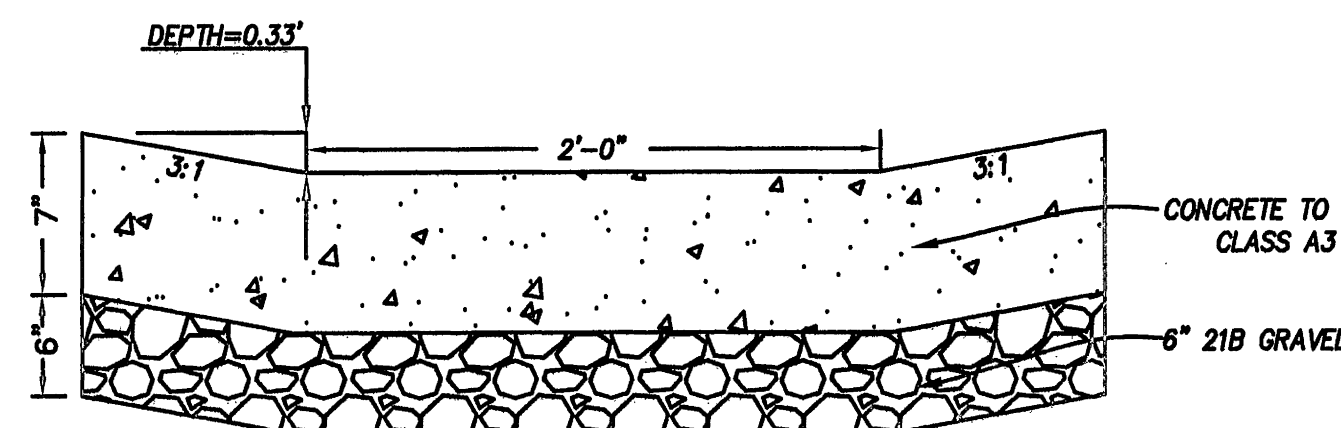
NO SCALE



**GRADING NOTE: FINISHED SLOPES WITHIN THE HANDICAP PARKING SPACES
AND STRIPED ISLEWAYS MAY NOT EXCEED 2% IN ANY DIRECTION.**

HANDICAP PARKING (VAN)

NO SCALE

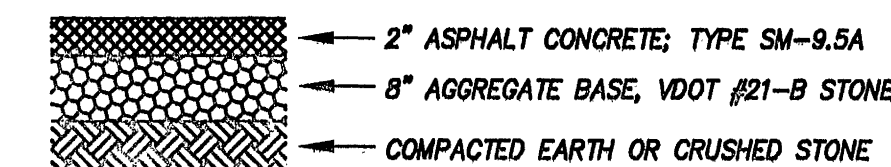


4' CONCRETE GUTTER

NO SCALE

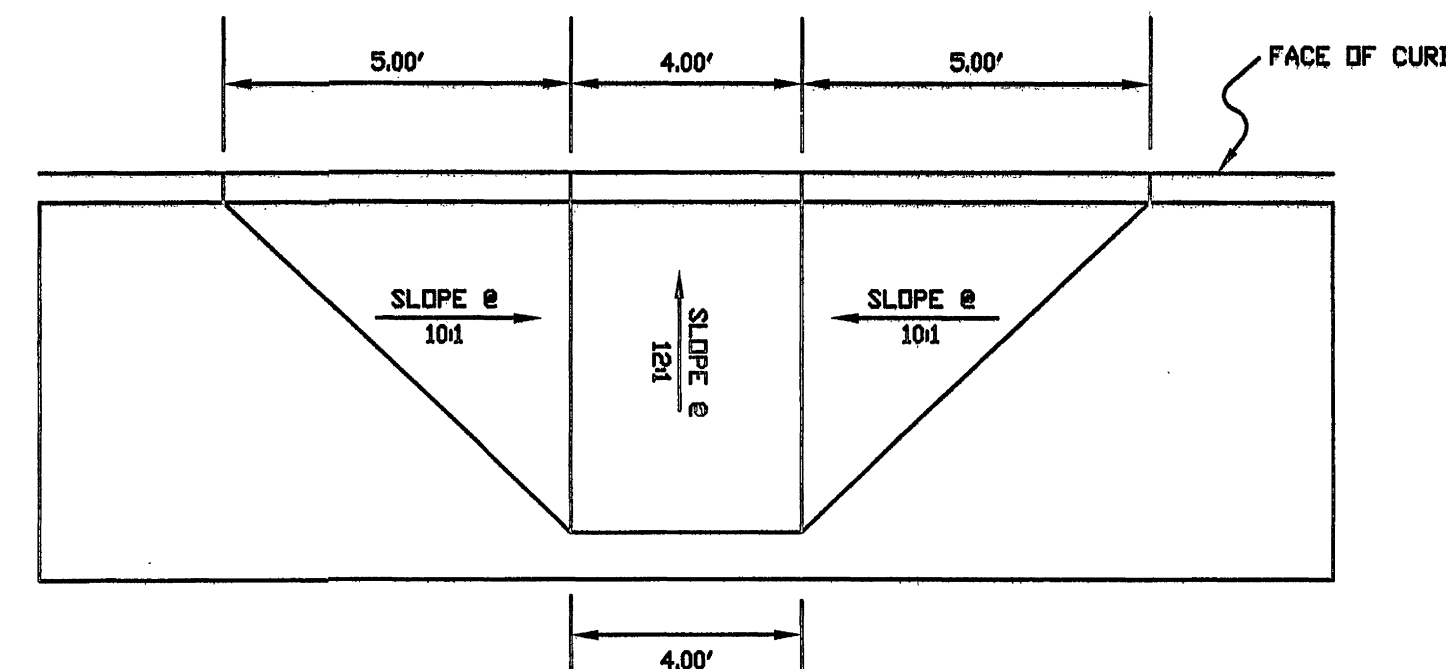
HEAVY DUTY PAVEMENT DETAIL

NO SCALE



STANDARD PAVEMENT DETAIL

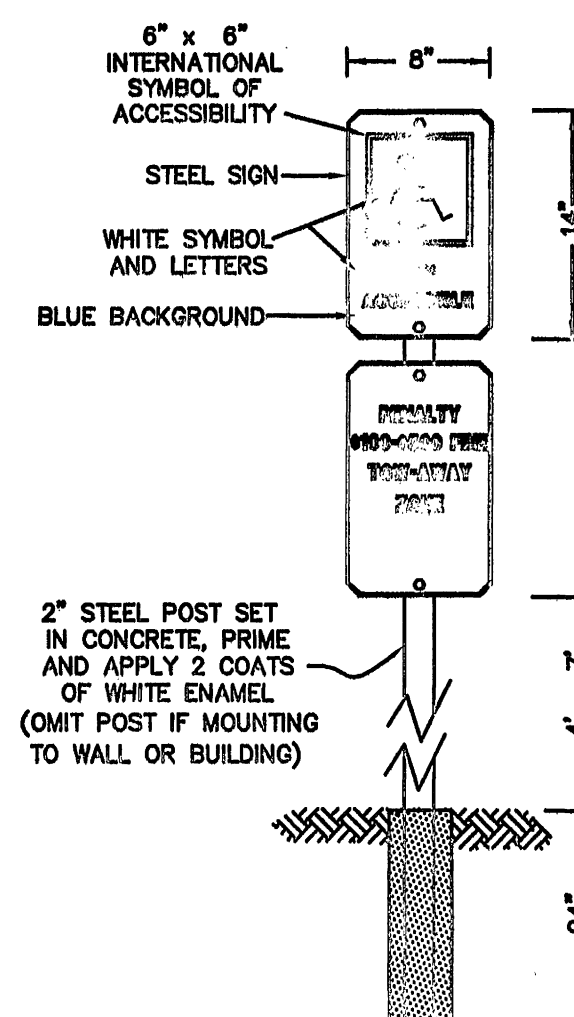
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NOTE: FOR ADDITIONAL INFORMATION, SEE VDOT STD. CG-12.

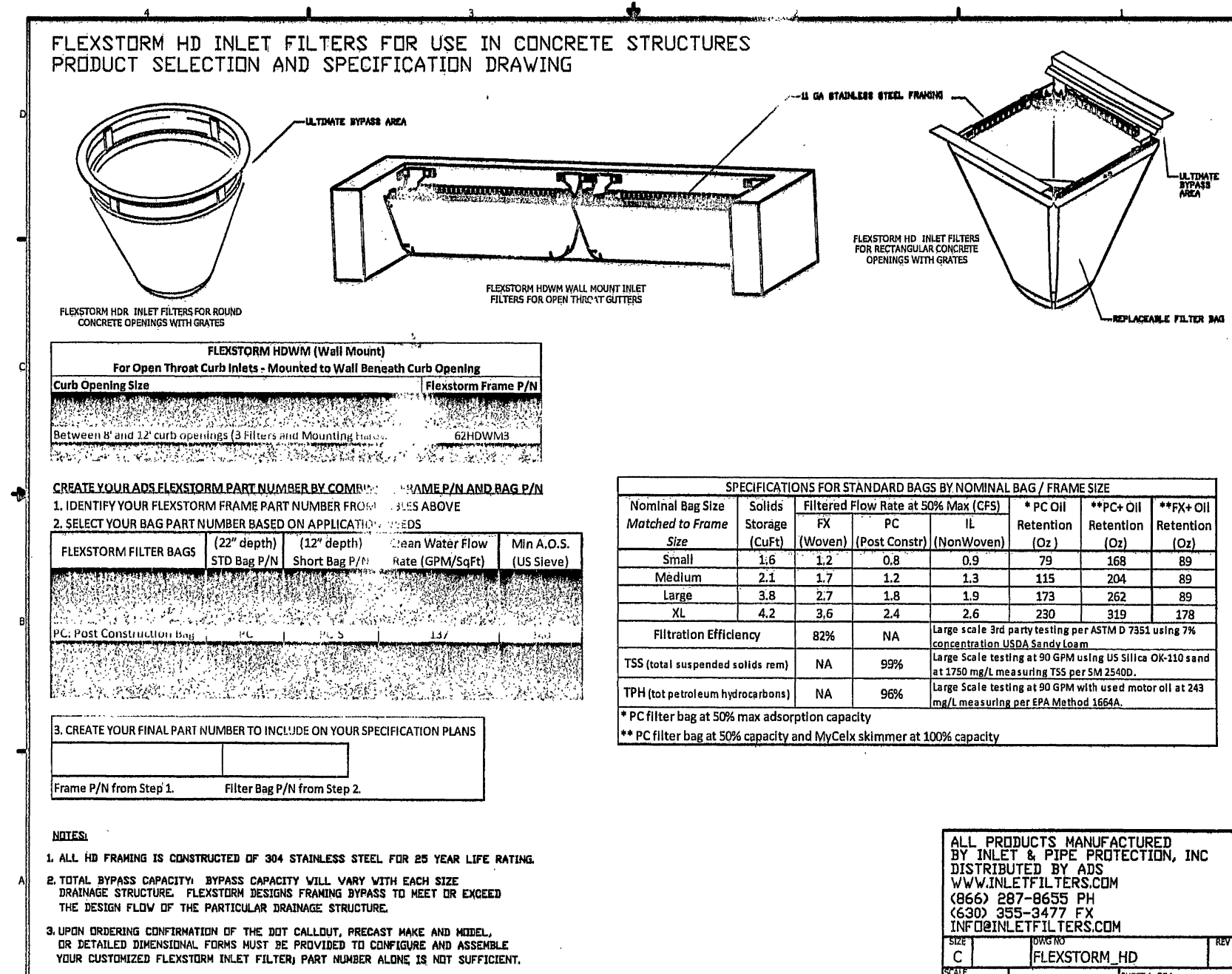
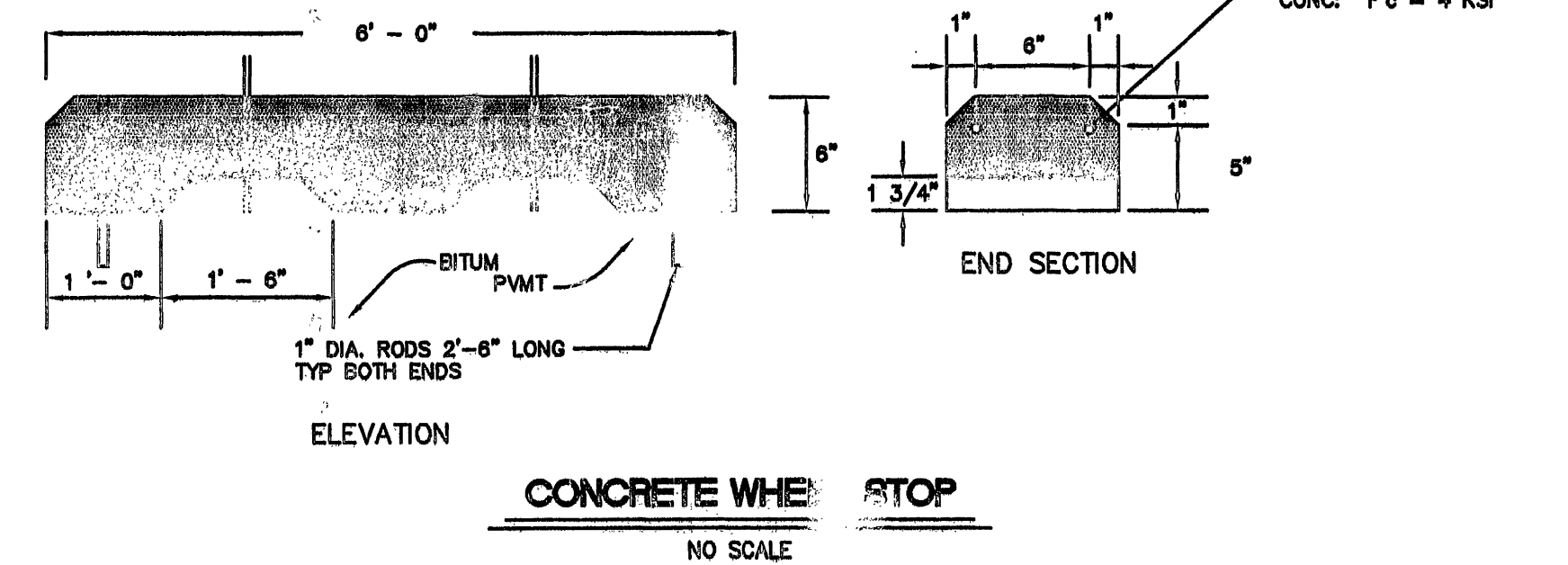
HANDICAP RAMP INSIDE SIDEWALK

NO SCALE



**VAN ACCESSIBLE
HANDICAP PARKING SIGN (S1)**

NO SCALE



APPROVED
OCT 22 2012

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PROFESSIONAL ENGINEER

NOTES AND
DETAILS

DEVELOPMENT PLAN SHOWING
PARKING LOT IMPROVEMENTS
FOR
WESTERN VIRGINIA WATER AUTHORITY
SITUATED AT
3322 HOLLINS ROAD
THE CITY OF ROANOKE, VIRGINIA

| REVISIONS | | DESCRIPTION |
|-----------|------|-------------|
| NO. | DATE | |
| 1 | | |
| 2 | | |
| 3 | | |
| 4 | | |
| 5 | | |

DATE: September 19, 2012

SCALE: NONE

COMMISSION NO. 11-258

SHEET 2 OF 10