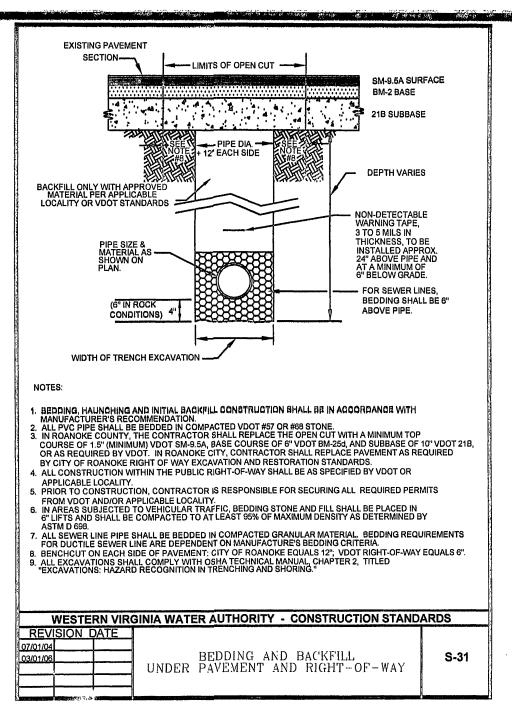
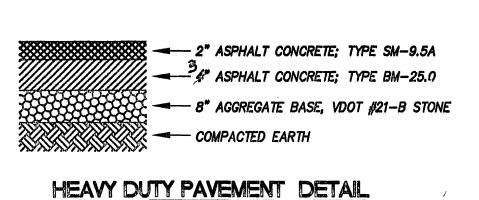


NO SCALE

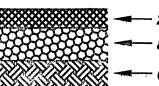




NO SCALE

1. THE SIZE 21B AGGREGATE SHALL BE PRIMED WITH APPROXIMATELY 0.35 GAL/SY OF RC-250 ASPHALT AND COVERED WITH 16 TO

18 LBS/SY OF SIZE 8-P AGGREGATE BEFORE PLACING SM-9.5A



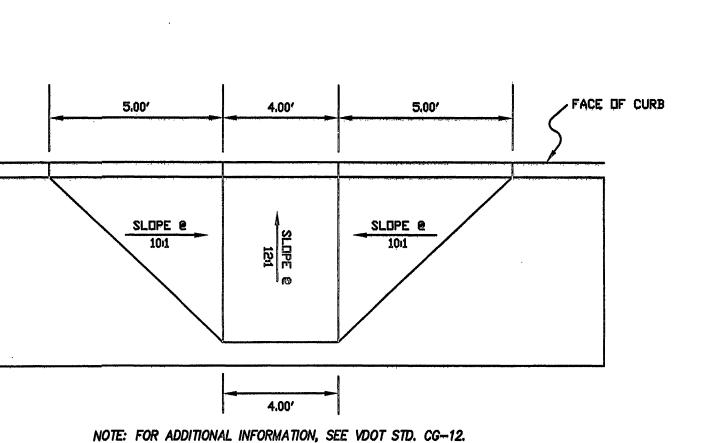
FOR STANDARD PAVEMENT ONLY.

PAVEMENT NOTES:

— 2" ASPHALT CONCRETE; TYPE SM−9.5A 8" AGGREGATE BASE, VDOT #21-B STONE

- COMPACTED EARTH OR CRUSHED STONE

STANDARD PAVEMENT DETAIL NO SCALE



HANDICAP RAMP INSIDE SIDEWALK

VAN ACCESSIBLE HANDICAP PARKING SIGN (SI) NO SCALE

MEMALTY

Tow-Aviay

SITE AND ZONING TABULATIONS

PROPERTY ZONED: I-1(C) - LIGHT INDUSTRIAL DISTRICT

SITE ACREAGE: 6.314 ACRES

MIN LOT AREA = 10,000 SF

MAX HEIGHT ALLOWED = 40' MAX FLOOR AREA RATIO = 2.0

IMPERVIOUS SURFACE RATIO

MAXIMUM ALLOWED = 90%

SITE AREA = 6.314 ACRES

OFF STREET PARKING REQUIREMENTS:

PROFFERED CONDITION

Reference Point as shown on Plans.

RISERS

DOGHOUSE

MIN REAR YARD = 0'

PROPERTY LOCATED WITHIN THE FLOODPLAIN (F) OVERLAY DISTRICT

EXISTING IMPERVIOUS SURFACE AREA = 2.45 ACRES (39%)

PROPOSED IMPERVIOUS SURFACE AREA = 2.90 ACRES (46%)

PROPOSED USE: PARKING AREA EXPANSION FOR A GENERAL OFFICE AND UTILITY MAINTENANCE & SERVICE FACILITY

OFFICE: GENERAL, PROFESSIONAL, OR GOVERNMENT = 1 SPACE PER 300 S.F. (NET FLOOR AREA)

MINIMUM REQUIRED = (365 MAX. OCCUPANCY / 5 PERSONS) = 73 SPACES

PARKING PROVIDED: 123 STANDARD SPACES INCLUDING 5 HANDICAP SPACES PLUS AN ADDITIONAL 39 FLEET VEHICLE SPACES

THE PROPERTY WILL NOT BE USED FOR THE FOLLOWING PERMITTED USES: (A) OUTDOOR

ADVERTISING, (2) TOW TRUCK OPERATIONS AND/OR (C) AUTOMOBILE PAINTING AND BODY SHOP.

MINIMUM REQUIRED = (13,360 S.F. / 300 S.F.) = 44.6 SPACES ASSEMBLY: MEETING HAUL = 1 SPACE PER 5 PERSONS OF MAX. LOAD OCCUPANCY

LOCKER ROOM: PERSONAL SERVICE USE = 1 SPACE PER 300 S.F. (NET FLOOR AREA)

WAREHOUSING & STORAGE: WAREHOUSE = 1 SPACE PER 5,000 S.F. (BUILDING AREA)

MINIMUM REQUIRED = (7,277 S.F. / 5,000 S.F.) = 1.5 SPACES

MINIMUM REQUIRED = (880 S.F. / 300 S.F.) = 2.9 SPACES

MAXIMUM PARKING = 140% (122 SPACES) = 170.8 SPACES

UPGRADE ---

0.5

— L — 0.75**' —**—

PROFILE

LOCATION DETAIL FOR DI-3B (PRECAST)

NO SCALE

INTERNATIONAL

SYMBOL OF ACCESSIBILITY

STEEL SIG

white symbol/ AND LETTERS

BLUE BACKGROUND-

2" STEEL POST SET IN CONCRETE, PRIME AND APPLY 2 COATS -

OF WHITE ENAMEL

TO WALL OR BUILDING)

(OMIT POST IF MOUNTING

TOTAL MINIMUM REQUIRED = 44.6 + 73 + 2.9 + 1.5 = 122 SPACES

MAXIMUM OFF STREET PARKING = 140% OF TOTAL MINIMUM REQURED

FOR A TOTAL OF 162 SPACES

MIN LOT FRONTAGE = 100' MIN MIN. FRONT YARD = 0' MAX FRONT YARD 30' MIN SIDE YARD = 0'

GENERAL NOTES

THE PROPERTY SHOWN ON THESE PLANS IS LOCATED AT ROANCKE CITY TAX ASSESSMENT MAP No. 3140301. INSTRUMENT. NO. 080010661, ZONED I-1(C) - LIGHT INDUSTRIAL DISTRICT. OWNER: WESTERN VIRGINIA WATER AUTHORITY

THE BOUNDARY IS THE DIRECT RESULT OF A FIELD SURVEY BY LUMSDEN ASSOCIATES, P.C. DATED 2012.

TOPOGRAPHY DATA BASED ON A FIELD SURVEY BY LUMSDEN ASSOCIATES, P.C. IN 2012.

A TITLE REPORT WAS NOT FURNISHED FOR THIS PROJECT.

THE DEVELOPMENT SHOWN ON THESE PLANS SHALL BE SERVED BY WESTERN VIRGINIA WATER AUTHORITY WATER AND SANITARY SEWER. (NO NEW CONNECTIONS)

SSOCIA RVEYORS-ISINIA

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September 19, 2012

NONE

11-258

2 OF 10

THE PROPERTY ON THESE PLANS IS ACCESSED BY A PRIVATE ROAD (RILEY ROAD). A SEPARATE SIGN PERMIT WILL BE REQUIRED FOR EXTERIOR SIGNAGE. (NO NEW SIGNAGE PLANNED) NO CONSTRUCTION/FIELD REVISIONS ARE ALLOWED WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER, THE CITY OF ROANOKE, AND/OR THE WESTERN VIRGINIA WATER AUTHORITY.

IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO CLEAN OUT THE EXISTING STORM SEWER SYSTEM WITHIN EXISTING DEVELOPMENTS SHOULD THESE SYSTEMS BECOME SILTED OR BLOCKED IN ANY WAY DUE TO THE CONSTRUCTION OF THIS PROPOSED DEVELOPMENT. A PORTION OF THIS PROPERTY IS LOCATED WITHIN THE LIMITS OF A 100 YEAR FLOOD BOUNDARY AS DESIGNATED BY

FEMA. THIS OPINION IS BASED ON AN INSPECTION OF THE FLOOD INSURANCE RATE MAP AND HAS NOT BEEN VERIFIED IN THE FIELD. SEE COMMUNITY PANEL NO. 510130 0166 G, MAP NUMBER 51161C0166 G, DATED 9-28-07. THIS PLAT DOES NOT GUARANTEE THE EXISTENCE OR LOCATION OF ANY UNDERGROUND UTILITIES. STORM DRAIN STRUCTURE. SANITARY SEWER MANHOLES, AND ALL OTHER SURFACE UTILITIES WERE FIELD LOCATED. ALL

UNDERGROUND UTILITY LINES ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED PRIOR TO THE START OF ANY ALL UTILITY SERVICE LATERALS OR SERVICE LINES, INCLUDING ELECTRIC, SHALL BE INSTALLED UNDERGROUND. ALL EXTERIOR LIGHTS SHALL BE DESIGNED, ARRANGED, AND LOCATED SO AS NOT TO DIRECT GLARE ON ADJACENT RESIDENTIAL PROPERTIES OR RIGHT OF WAYS. THE MAXIMUM LIGHTING DENSITY AT ADJOINING PROPERTIES OR RIGHT

CONSTRUCTION NOTES

OF WAYS SHALL NOT EXCEED 0.5 FOOT CANDLES.

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT CITY OF ROANOKE STANDARDS AND SPECIFICATIONS AND THE CURRENT EDITION OF VDOT'S ROAD AND BRIDGE STANDARDS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND THE ENGINEER OF ANY CHANGES OR CONDITIONS ATTACHED TO PERMITS OBTAINED FROM ANY AUTHORITY ISSUING PERMITS. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION. THE CONTRACTOR SMALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION.

ALL WATER CONNECTIONS TO EXISTING LINES SHALL BE COORDINATED WITH AND PERFORMED BY THE WESTERN VIRGINIA

ALL SANITARY SEWER CONNECTIONS TO EXISTING LINES SHALL BE PERFORMED BY THE CONTRACTOR WITH A WESTERN

VIRGINIA WATER AUTHORITY INSPECTOR ONSITE. SEE VOOT ROAD AND BRIDGE STANDARDS FOR CONCRETE CURB AND STORM DRAINAGE DETAILS.

THE CONTRACTOR AND OR OWNER SHALL PROVIDE A STORAGE CONTAINER FOR TEMPORARY STORAGE AND DISPOSAL OF LAND CLEARANCE DEBRIS AND BUILDING MATERIALS. ON—SITE BURIAL OF MATERIAL SHALL NOT BE PERMITTED.

AREAS TO BE GRADED SHALL BE CLEARED OF ALL VEGETATION, STRUCTURES, AND OTHER PHYSICAL FEATURES IN PREPARATION OF GRADING.

TOPSOIL SHALL BE REMOVED FROM THE CLEARED AREA AND STOCKPILED FOR FUTURE USE. A SEPARATE E & S PLAN MAY BE REQUIRED FOR OFFSITE STOCKPILES.

FILL MATERIAL SHALL BE FREE FROM ORGANIC MATTER AND ROCKS LARGER THAN 6 INCHES IN DIAMETER.

FILL MATERIAL SHALL BE PLACED AND COMPACTED IN EIGHT (8) INCH LOOSE LIFTS AND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF THE MATERIAL'S MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698, STANDARD PROCTOR. MAINTAIN MOISTURE CONTENT OF FILL MATERIAL WITHIN THREE (3) PERCENT OF OPTIMUM TO ATTAIN REQUIRED COMPACTION DENSITY.

