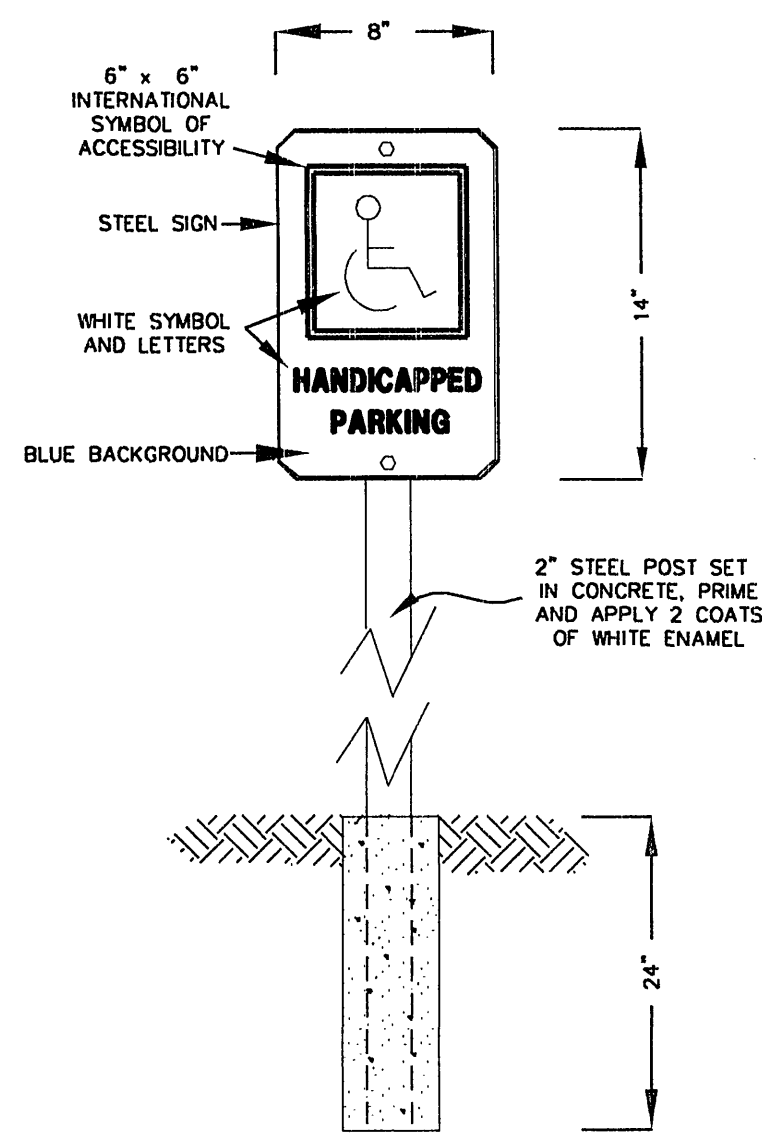
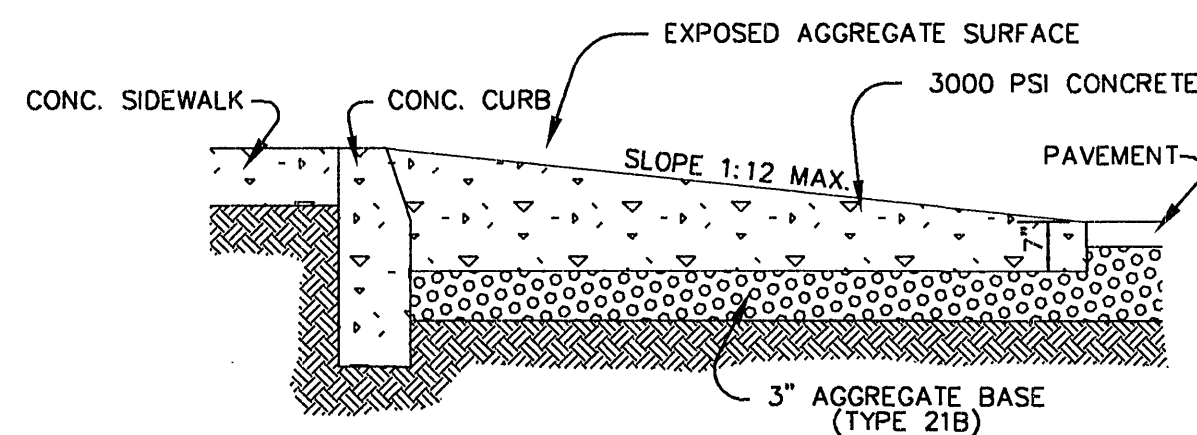


WHITE OUTLINE
PAINT: DURO KOTE
ACRYLIC LATEX
WHITE

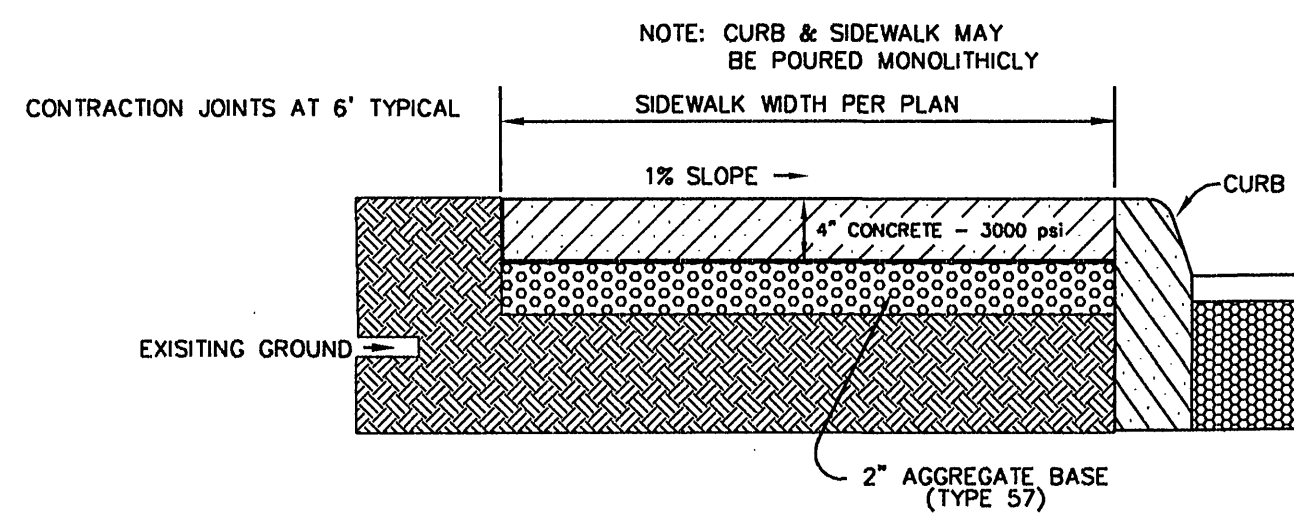
HANDICAP PARKING



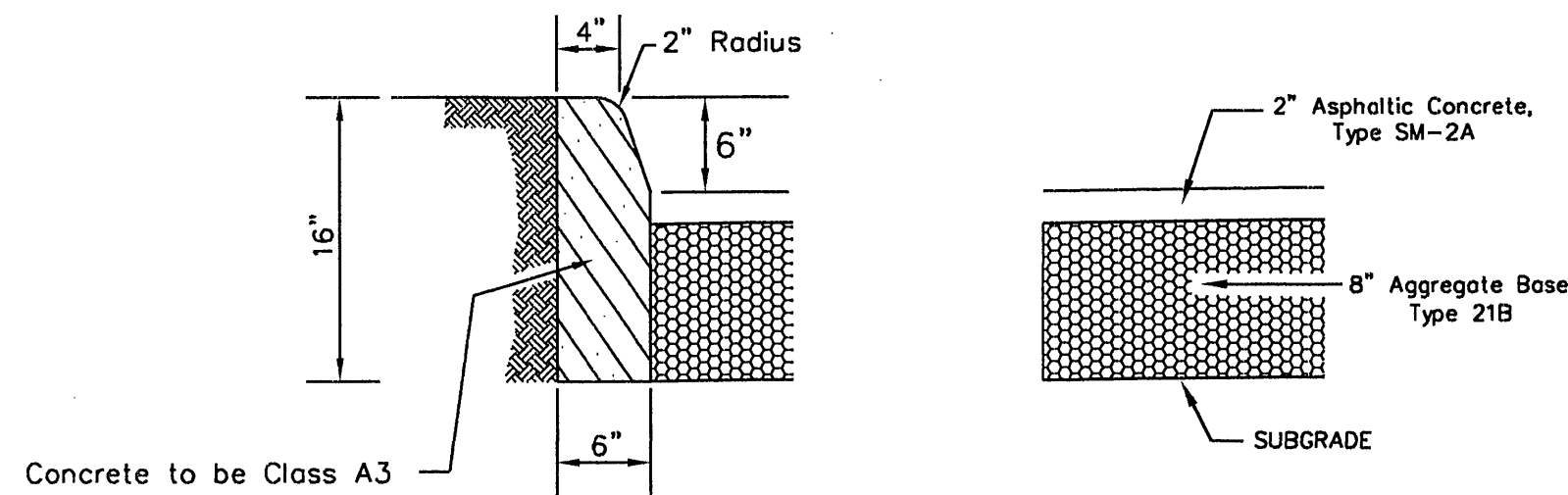
HANDICAP PARKING SIGN (S1)



HANDICAP RAMP DETAIL

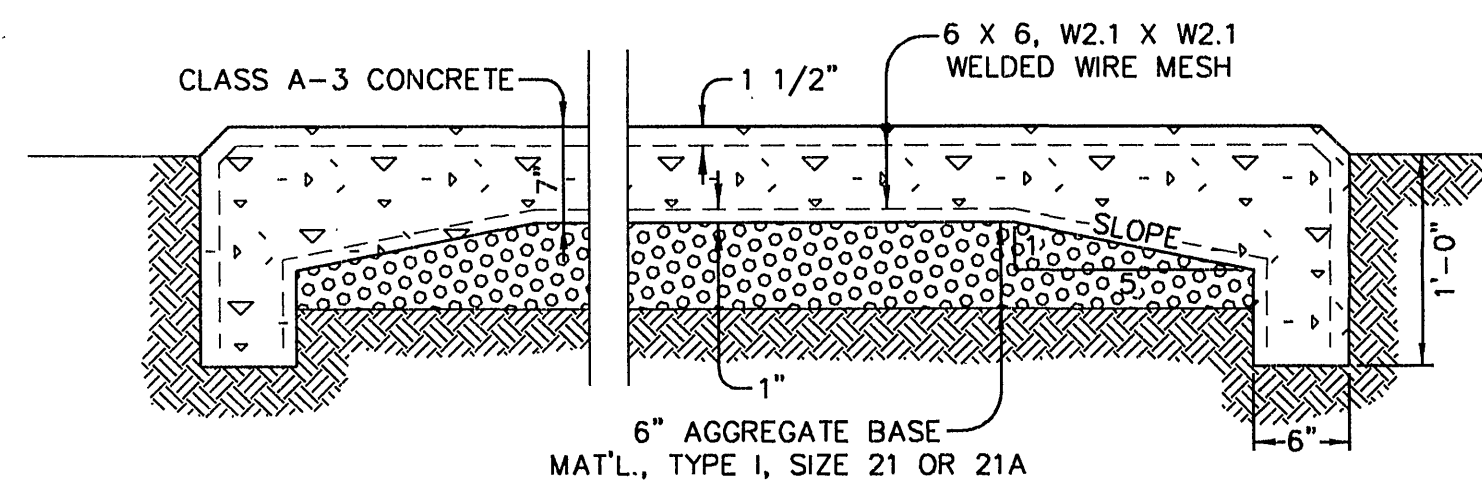


TYPICAL SIDEWALK DETAIL

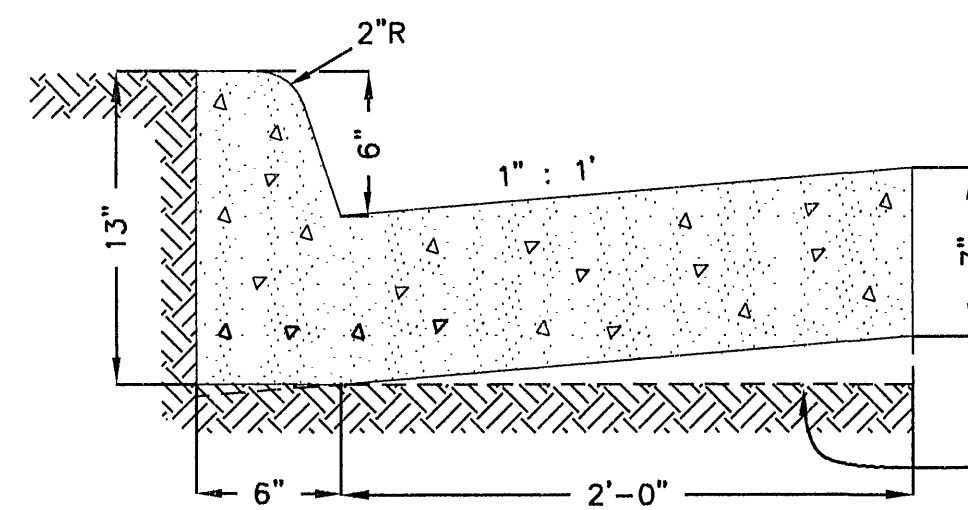


CONCRETE CURB (CG-2)

**PAVEMENT DETAIL
TYPE I**



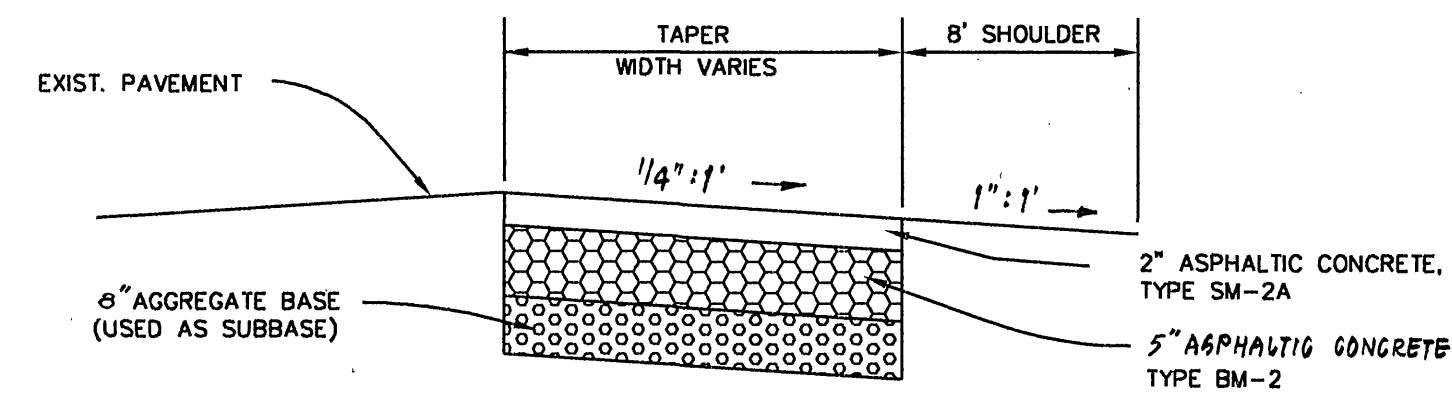
TYPICAL DUMPSTER PAD SECTION



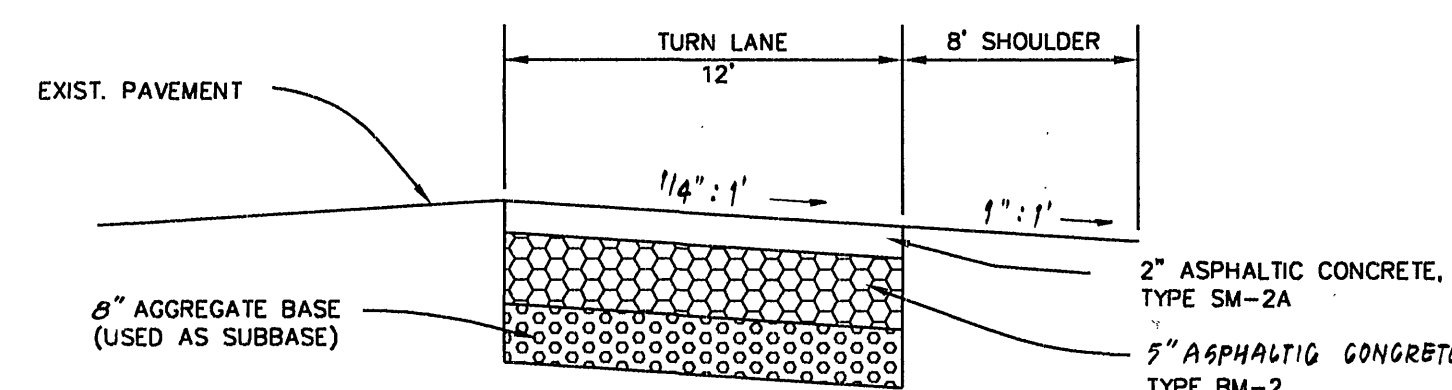
CONCRETE TO BE CLASS A3

THE BOTTOM OF THE CURB AND GUTTER MAY BE CONSTRUCTED PARALLEL TO THE SLOPE OF SUB-SURFACE COURSES PROVIDED A MINIMUM DEPTH OF 7" IS MAINTAINED.

CONCRETE CURB + GUTTER (CG-6)



TYPICAL SECTION FOR TAPER



TYPICAL SECTION FOR TURN LANE

SITE AND ZONING TABULATIONS:

PROPOSED ZONING - C-1
PROPOSED USE - GENERAL OFFICE
SITE ACREAGE - 2.60 ACRES

MINIMUM REQUIRED SETBACKS:

FRONT - 30'
REAR - 25'
SIDE YARD - 12' MINIMUM
MAXIMUM HEIGHT ALLOWED - 35'
MAXIMUM LOT COVERAGE - 50% OF TOTAL LOT AREA
PROPOSED - 28%

PARKING:

GENERAL OFFICE 1/300 SQUARE FEET 13,688 = 46 SPACES
PROPOSED = 44
3 HANDICAP SPACES
47 TOTAL

VARIANCE:

ORDER OF THE BOARD OF ZONING APPEALS APPEAL NO. 70-97V-A
TAX PARCEL #5380105
THE BOARD OF ZONING APPEALS HELD A PUBLIC MEETING ON SEPTEMBER 9, 1997 AT WHICH THE APPLICATION FOR A VARIANCE FROM SECTION 36.1-433, ITEM C, ZONING, WAS ADDRESSED. THE REQUEST FOR CONSTRUCTING A PARKING LOT IN THE FRONT YARD AREA WAS GRANTED BY THE BOARD OF APPEALS. PERMITS MUST BE OBTAINED WITHIN 6 MONTHS OF THE ORDER, OTHERWISE THE DECISION IS NULL AND VOID.

INTERIOR LANDSCAPING:

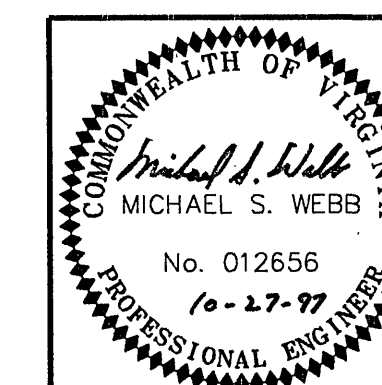
PAVEMENT = 17,349 SQ. FT.
5% REQUIRED = 867 SQ. FT.
PROPOSED = 993 SQ. FT.

GENERAL NOTES:

1. THE PROPERTY SHOWN ON THESE PLANS IS LOCATED AT ROANOKE CITY TAX ASSESSMENT MAP #5380105.
2. DEVELOPER: BILL BRANCH, 3804 FRANKLIN ROAD, SW, ROANOKE, VIRGINIA, 24014
3. THE ASSESSED AREA IS APPROXIMATELY 2.60 ACRES
4. NO TITLE REPORT FURNISHED FOR THIS PROPERTY.
5. THE PROPERTY SHOWN ON THESE PLANS IS TO BE SERVED BY ROANOKE CITY WATER AND SEWER.
6. NO PORTION OF THIS PROPERTY FALLS WITHIN THE LIMITS OF THE 100 YEAR BOUNDARY AS DESIGNATED BY F.E.M.A. THIS IS BASED ON THE INSPECTION OF THE FLOOD INSURANCE RATE MAP AND HAS NOT BEEN VERIFIED BY ACTUAL FIELD ELEVATIONS. SEE FEMA MAP #51161C0062 D DATED 10/15/93.

CONSTRUCTION NOTES:

1. ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT CITY OF ROANOKE STANDARDS AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND THE ENGINEER OF ANY CHANGES OR CONDITIONS ATTACHED TO PERMITS OBTAINED FROM ANY AUTHORITY ISSUING PERMITS.
3. NO SUBSOIL INVESTIGATIONS HAVE BEEN MADE BY THE DESIGNING ENGINEER.
4. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTIONS.
5. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION.
6. THE CONTRACTOR SHALL COORDINATE SITE WORK WITH THE ARCHITECTURAL PLANS.
7. UTILITY CONSTRUCTION SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.
8. ALL UTILITY TRENCHES SHALL BE BACKFILLED IN SIX INCH LIFTS AND COMPACTED TO 95% MAXIMUM DRY DENSITY, STANDARD PROCTOR.
9. ALL AREAS TO BE GRADED SHALL BE STRIPPED OF PAVEMENT AND ORGANIC MATTER. ALL MATERIAL NOT SUITED FOR USE AS FILL MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF PROPERLY. FILL MATERIAL SHALL BE CLEAN EARTH AND PLACED IN 8-INCH LIFTS. FILL MATERIAL SHALL BE COMPACTED USING HEAVY SHEEPSFOOT OR PADTYPE ROLLERS TO AT LEAST 95% MAXIMUM DRY DENSITY, STANDARD PROCTOR.



REVISION	DATE	DESCRIPTION
DESIGNED	GAM	
DRAWN	GAM	
CHECKED	MSW	
NOTES & DETAILS FOR "HUNTING HILLS SUITES" PREPARED FOR BRANCH FAMILY LLC ROANOKE CITY, VIRGINIA		
LUMSDEN ASSOCIATES, P.C. ENGINEERS-SURVEYORS-PLANNERS ROANOKE, VIRGINIA		SCALE: NONE DATE: 22 DEC. 1997 COMM: 97-191 SHEET 2 of 8