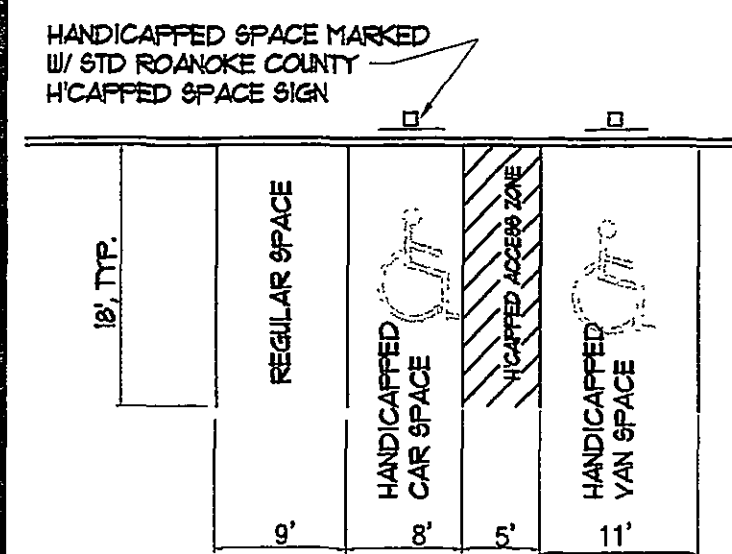
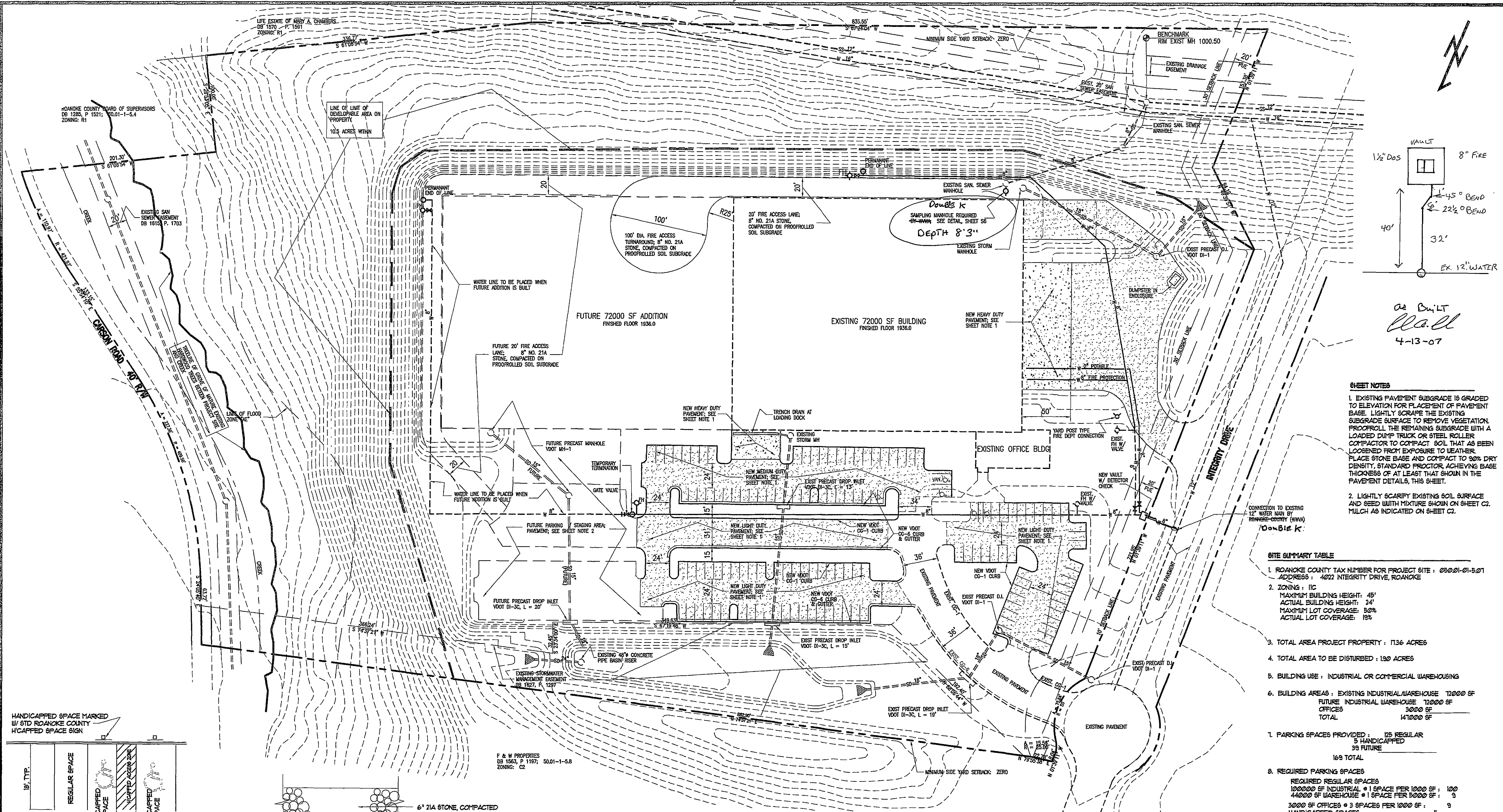
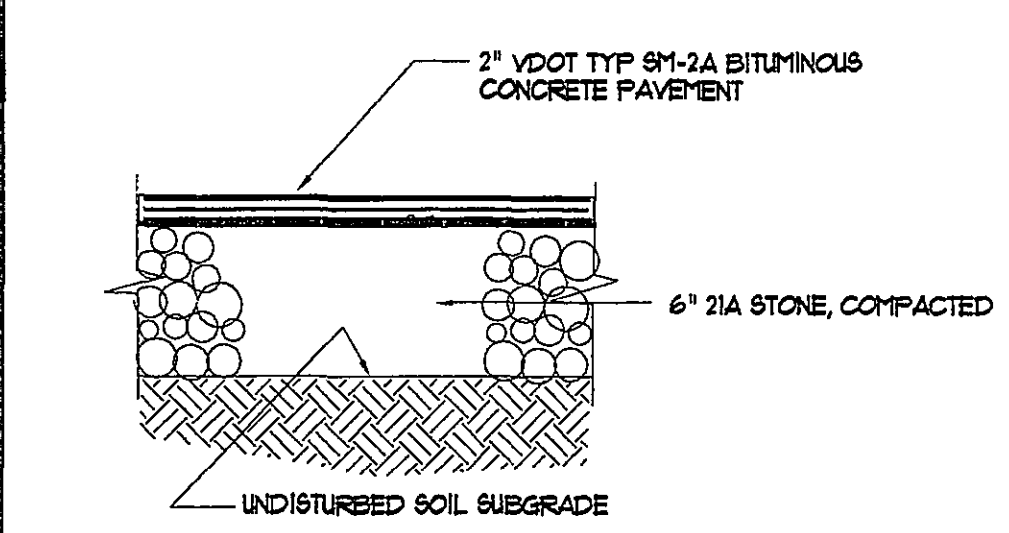
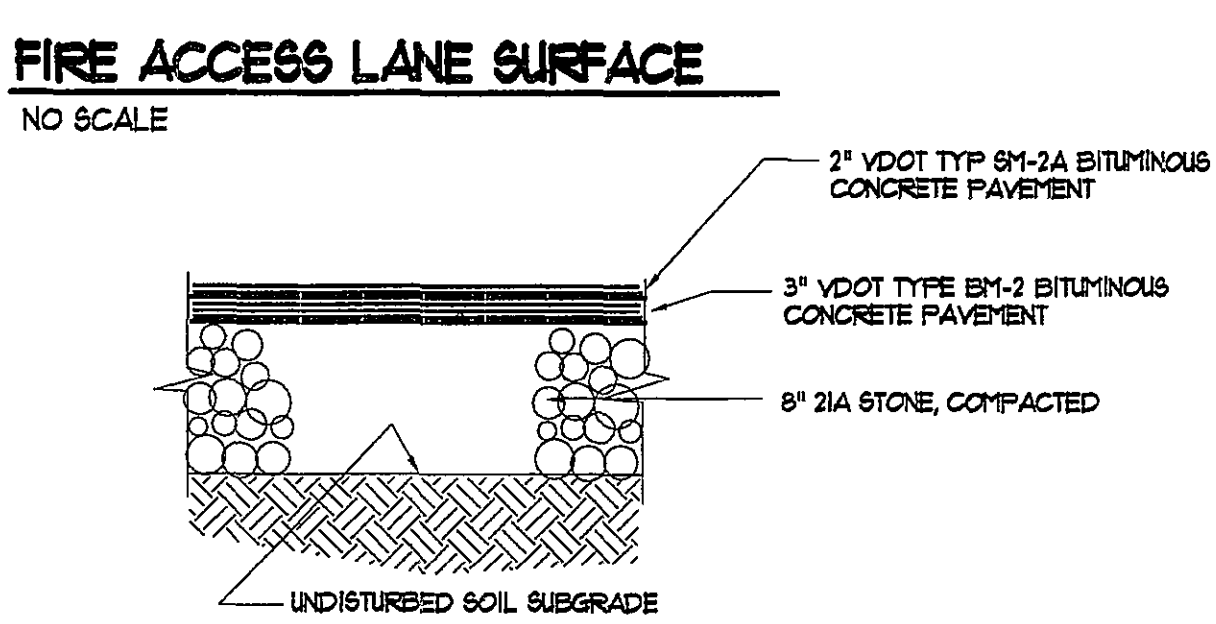




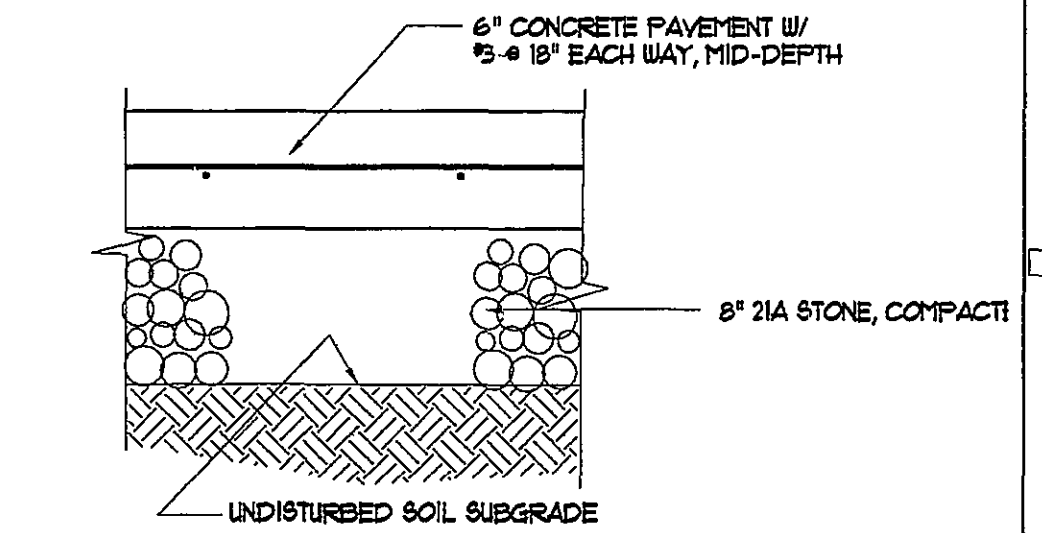
TYPICAL PARKING SPACES



PAVEMENT DETAIL - LIGHT DUTY
NO SCALE

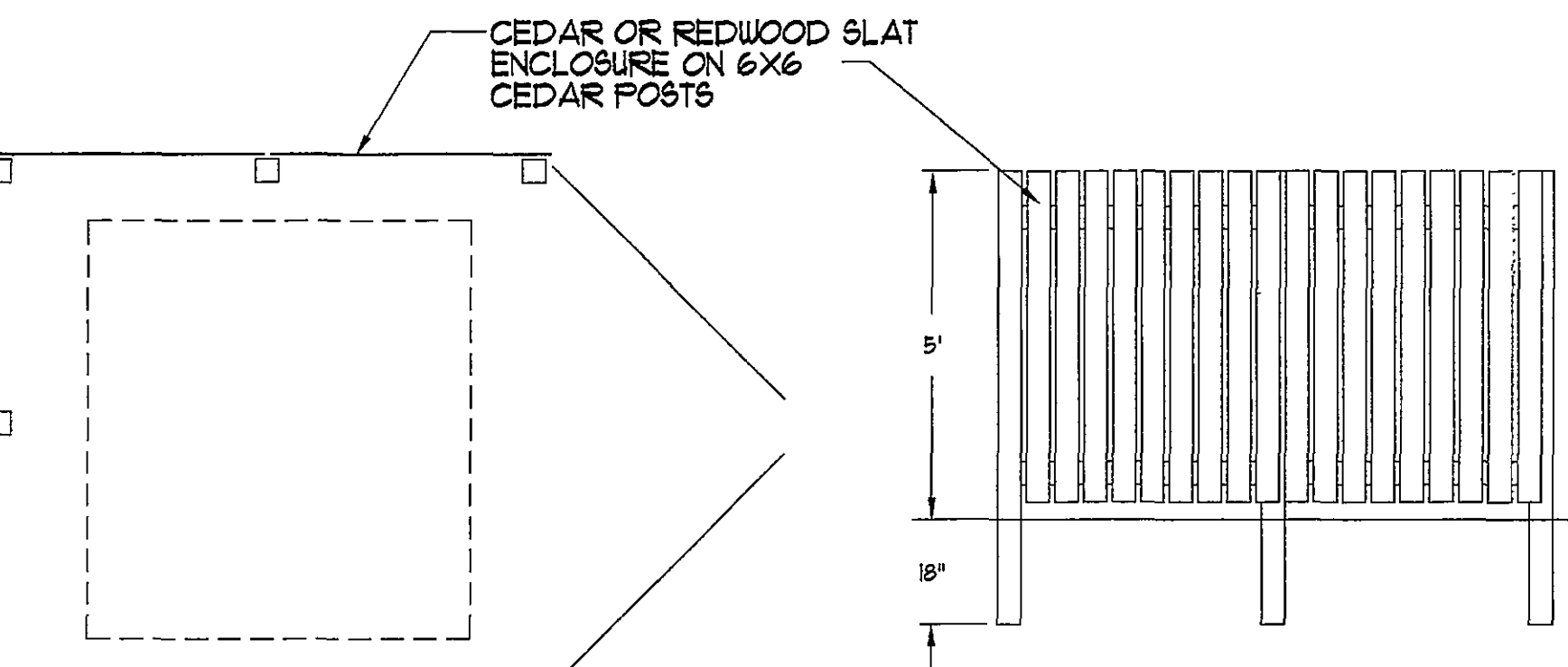


PAVEMENT DETAIL - MEDIUM DUTY
NO SCALE



PAVEMENT DETAIL - HEAVY DUTY
NO SCALE

LAYOUT, GRADING, & DIMENSIONAL PLAN
1" = 50'



DUMPSTER ENCLOSURE
NO SCALE

SHEET NOTES

- EXISTING PAVEMENT SUBGRADE IS GRADED TO ELEVATION FOR PLACEMENT OF PAVEMENT BASE. LIGHTLY SCRAPE THE EXISTING SUBGRADE SURFACE TO REMOVE VEGETATION. PROFOGROLL THE REMAINING SUBGRADE WITH A LOADED DUMP TRUCK OR STEEL ROLLER COMPACTOR TO COMPACT SOIL THAT HAS BEEN LOOSENED FROM EXPOSURE TO WEATHER. PLACE STONE BASE AND COMPACT TO 90% DRY DENSITY. STANDARD PROCTOR, ACHIEVING BASE THICKNESS OF AT LEAST THAT SHOWN IN THE PAVEMENT DETAILS, THIS SHEET.
- LIGHTLY SCARIFY EXISTING SOIL SURFACE AND SEED WITH MIXTURE SHOWN ON SHEET C2. MULCH AS INDICATED ON SHEET C2.

SITE SUMMARY TABLE

- ROANOKE COUNTY TAX NUMBER FOR PROJECT SITE : 050201-01-5-01
ADDRESS : 4022 INTEGRITY DRIVE, ROANOKE
- ZONING : IIC
MAXIMUM BUILDING HEIGHT: 45'
ACTUAL BUILDING HEIGHT: 24'
MAXIMUM LOT COVERAGE: 50%
ACTUAL LOT COVERAGE: 18%
- TOTAL AREA PROJECT PROPERTY : 1136 ACRES
- TOTAL AREA TO BE DISTURBED : 130 ACRES
- BUILDING USE : INDUSTRIAL OR COMMERCIAL WAREHOUSING
- BUILDING AREAS : EXISTING INDUSTRIAL/WAREHOUSE 72000 SF
FUTURE INDUSTRIAL WAREHOUSE 72000 SF
OFFICES 3000 SF
TOTAL 147000 SF
- PARKING SPACES PROVIDED : 125 REGULAR
5 HANDICAPPED
39 FUTURE
169 TOTAL
- REQUIRED PARKING SPACES
REQUIRED REGULAR SPACES
120000 SF INDUSTRIAL @ 1 SPACE PER 1000 SF : 120
44000 SF WAREHOUSE @ 1 SPACE PER 5000 SF : 9
3000 SF OFFICES @ 3 SPACES PER 1000 SF : 9
HANDICAPPED SPACES : 5
TOTAL : 123
- ONLY THE AREA ALONG THE CREEK AT THE EASTERN EDGE OF THE SITE, AS SHOWN BY THE LIMITS OF FEMA ZONE 'AE', LIES WITHIN THE BOUNDARY OF A 100 YEAR FLOOD ZONE
- ALL GRADING AND STORM DRAIN INLETS AND PIPING HAS BEEN DONE AS SHOWN ON THIS PLAN. SOIL SUBGRADE HAS BEEN GRADED FOR THE PARKING AREAS AND TRAFFIC AISLES SHOWN, READY FOR PROFOGROLLING. WATERLINE SHOWN, NO EARTHWORK OR GRADING IS PART OF THE WORK AND INSTALLATION OF PAVEMENT BASE. EXCEPT FOR TRENCHING FOR NE
- SITE AND EXTERIOR BUILDING LIGHTING SHALL CONFORM TO ROANOKE COUNTY ZONING ORDINANCE, SECTION 30-34.1
SIGNS TO BE ERECTED ON THE SITE SHALL CONFORM TO ROANOKE COUNTY ZONING ORDINANCE, SECTION 30-35
GROUND MOUNTED EQUIPMENT TO BE LOCATED ON THE SITE SHALL BE SCREENED AS PRESCRIBED IN ROANOKE COUNTY ZONING ORDINANCE SECTION 30-32-6(E)
- COUNTY SETBACK REQUIREMENTS
FRONT: 30'
SIDE: 10'
REAR: 5'
- LANDSCAPING COV. COVERAGE PROVIDED: 30%

Revisions By: _____ Date: _____

COVENANT Engineering

P.O. Box 12062, Roanoke, VA 24022
(540) 345-5555
Email: info@covenanteng.com

LAYOUT, GRADING, & UTILITY PLAN

INDUSTRIAL SHELL BUILDING

VALLEY GATEWAY PARK

BONSAK, VIRGINIA

Scale: **AS SHOWN**
Date: **7/15/06**
Design By: **RBS**
CAD By: **MRS**
Checked By: _____
Comm. No.: **06129**

Sheet No.
4