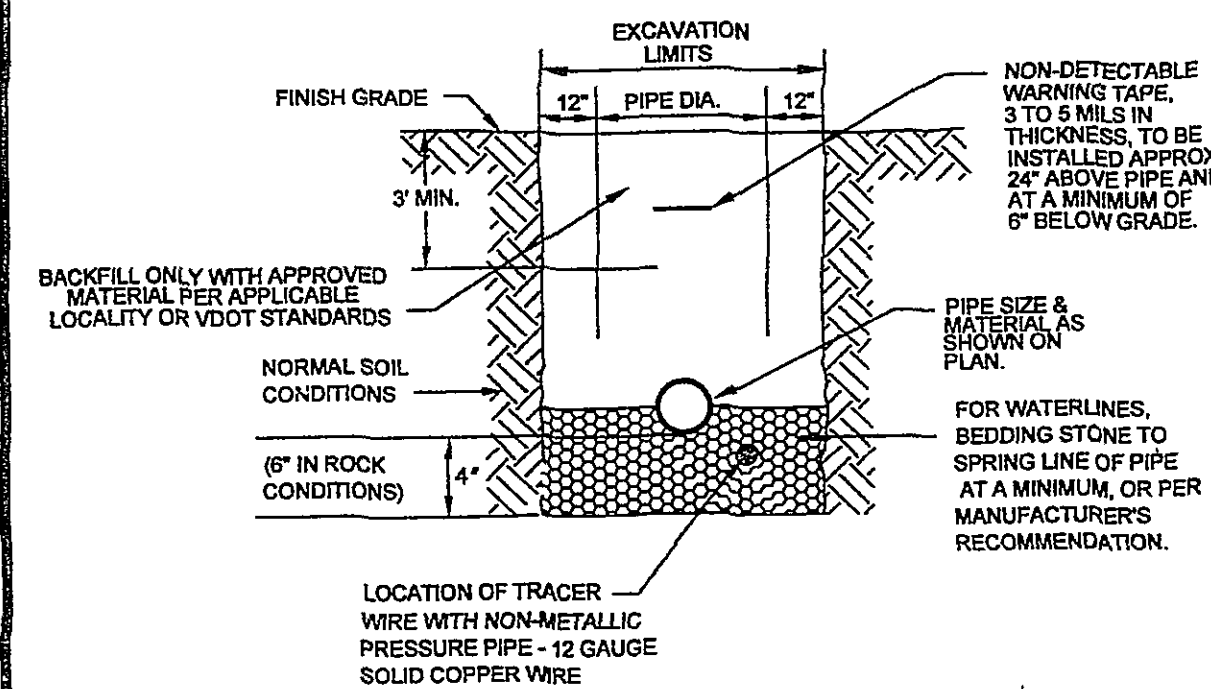
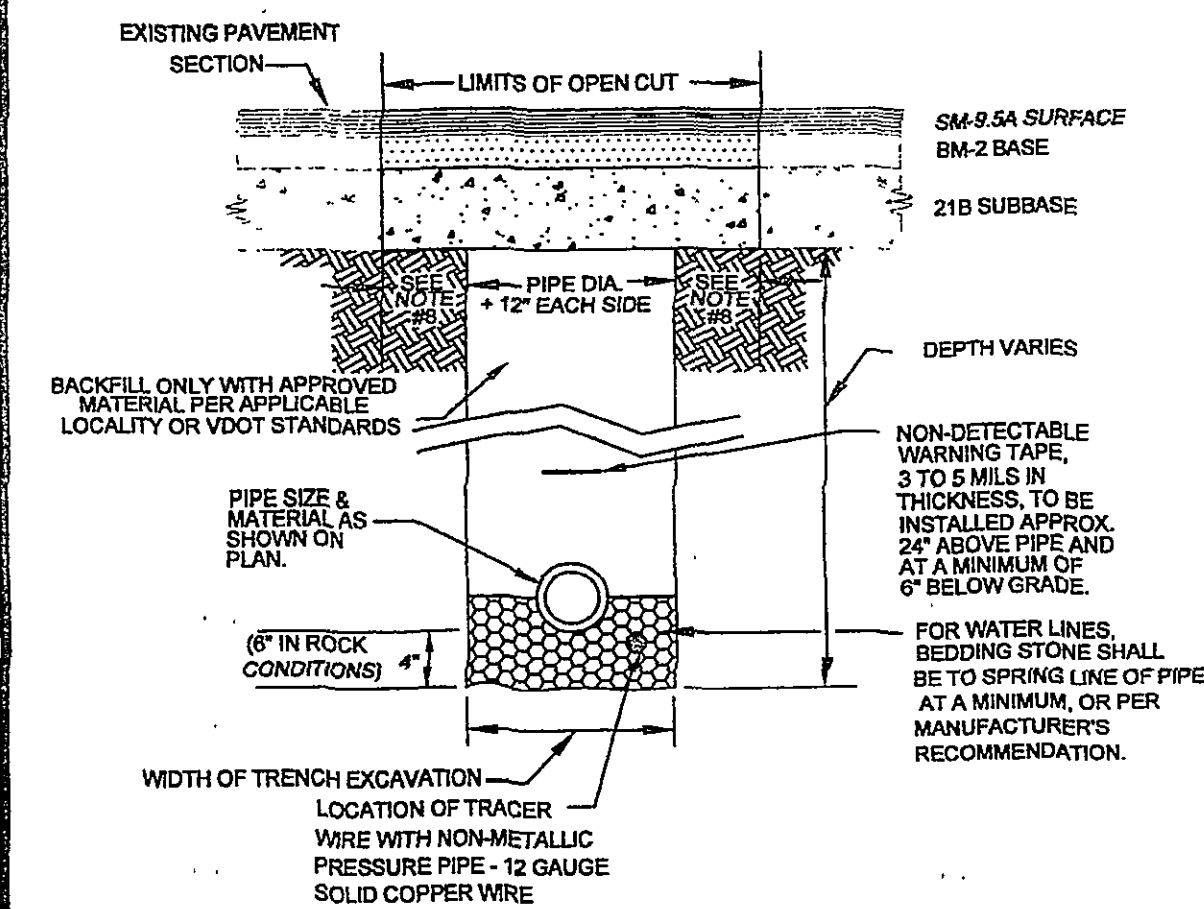


- NOTES:
1. BEDDING, HAUNCHING AND INITIAL BACKFILL CONSTRUCTION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION.
 2. ALL PVC PIPE SHALL BE BEDDED IN COMPACTED VDOT #57 OR #88 STONE.
 3. IN AREAS NOT SUBJECTED TO VEHICULAR TRAFFIC, BEDDING STONE AND FILL SHALL BE PLACED IN 6" LIFTS FROM BOTTOM OF TRENCH TO 1" ABOVE THE PIPE AND THE REMAINING SHALL BE PLACED IN 10" LIFTS AND SHALL BE COMPACTED TO AT LEAST 90% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D 698.
 4. BEDDING REQUIREMENTS FOR DUCTILE IRON WATER LINE ARE DEPENDENT ON MANUFACTURER'S BEDDING CRITERIA.
 5. ALL EXCAVATIONS SHALL COMPLY WITH OSHA TECHNICAL MANUAL, CHAPTER 2, TITLED "EXCAVATIONS: HAZARD RECOGNITION IN TRENCHING AND SHORING."

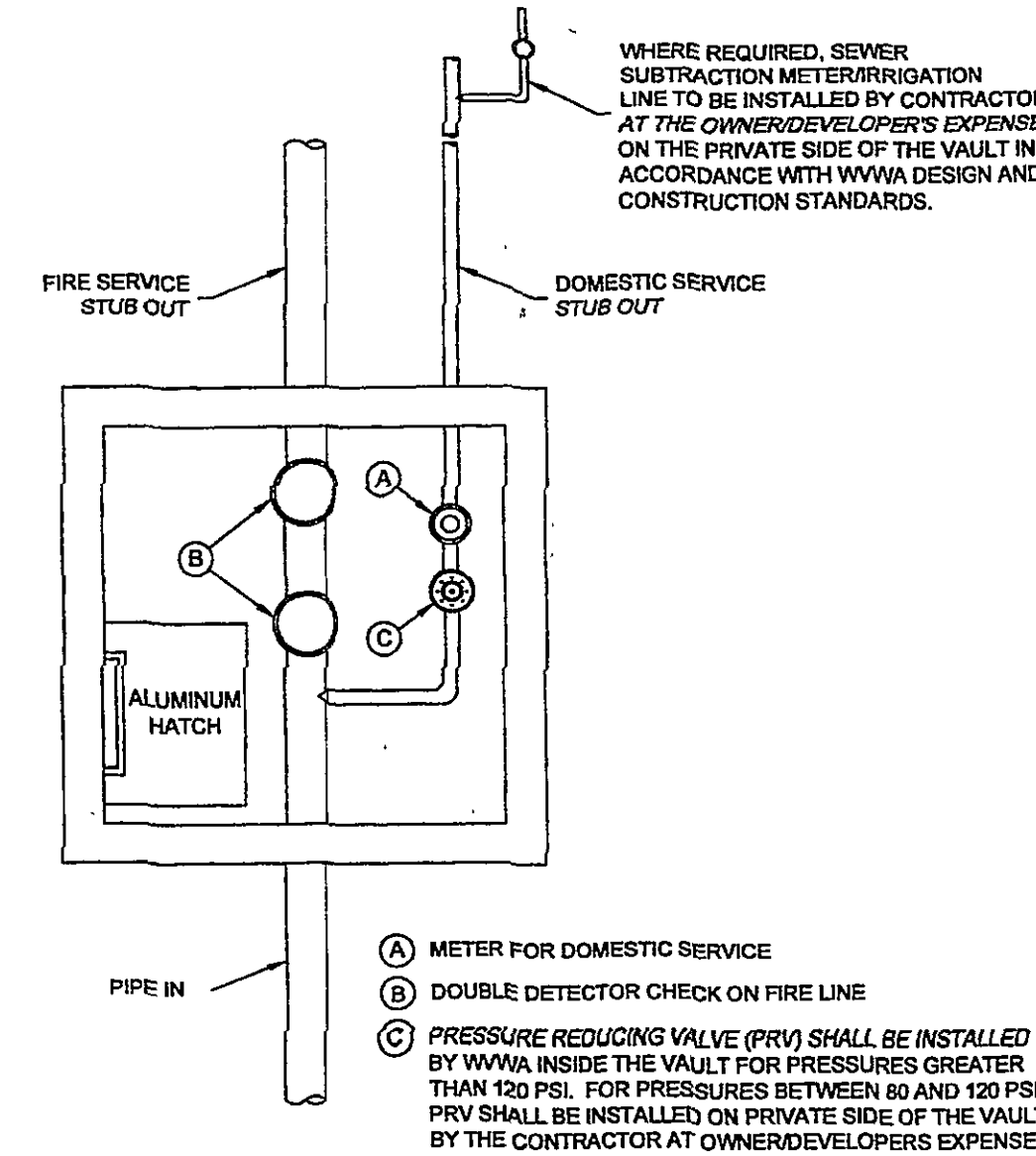


WESTERN VIRGINIA WATER AUTHORITY - CONSTRUCTION STANDARDS		
REVISION DATE		
07/01/04		
03/01/06		
	BEDDING AND BACKFILL OUTSIDE OF PAVED AREAS	W-24



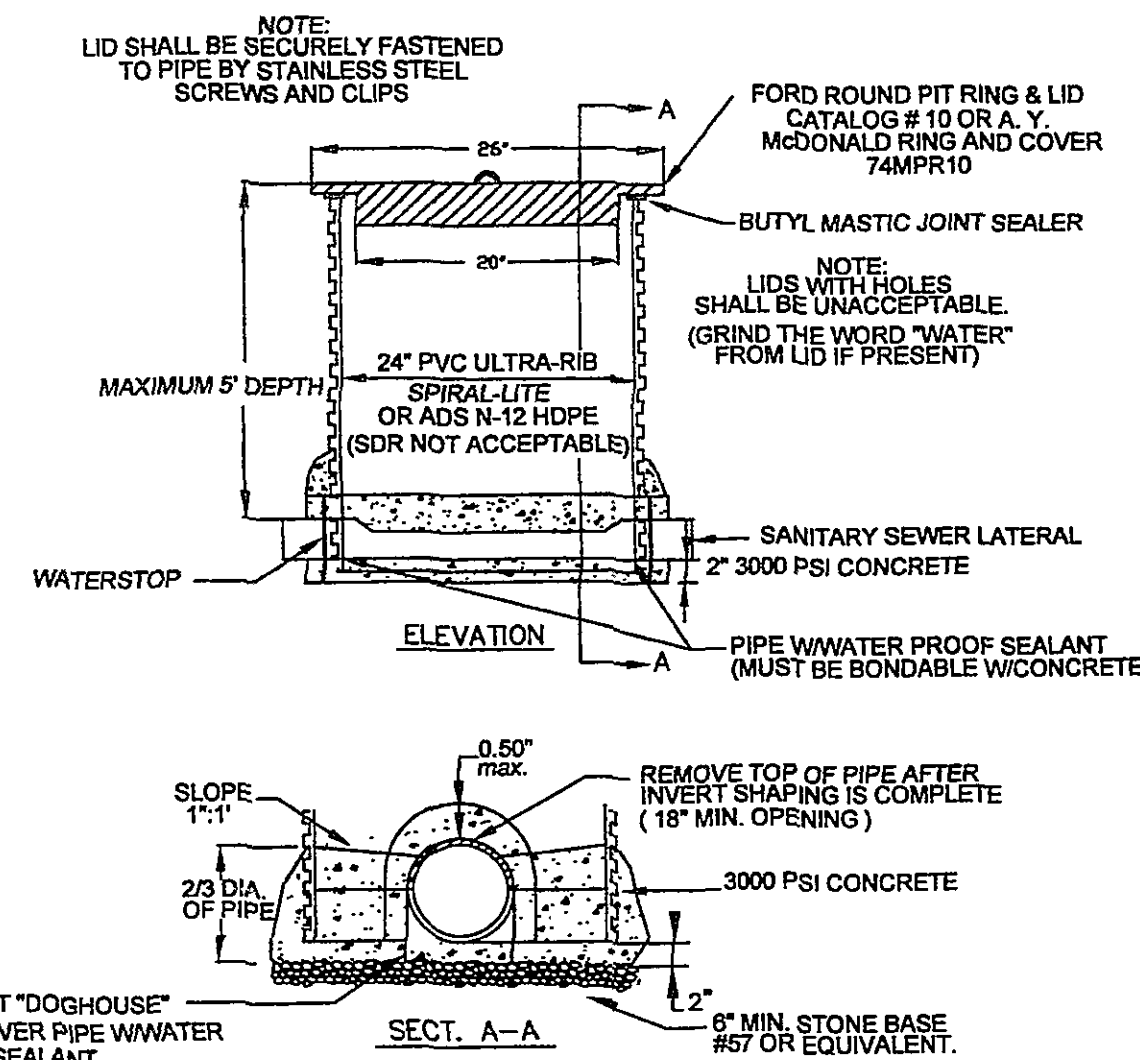
- NOTES:
1. BEDDING, HAUNCHING AND INITIAL BACKFILL CONSTRUCTION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION.
 2. ALL PVC PIPE SHALL BE BEDDED IN COMPACTED VDOT #57 OR #88 STONE.
 3. IN ROANOKE COUNTY, THE CONTRACTOR SHALL REPLACE THE OPEN CUT WITH A MINIMUM TOP COURSE OF 1.5" (MINIMUM) VDOT SM-9.5A, BASE COURSE OF 6" VDOT BM-25S, AND SUBBASE OF 10" VDOT 21B, OR AS REQUIRED BY VDOT. IN ROANOKE CITY, CONTRACTOR SHALL REPLACE PAVEMENT AS REQUIRED BY CITY OF ROANOKE RIGHT OF WAY EXCAVATION AND RESTORATION STANDARDS.
 4. ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE AS SPECIFIED BY VDOT OR APPLICABLE LOCALITY.
 5. PRIOR TO CONSTRUCTION, CONTRACTOR IS RESPONSIBLE FOR SECURING ALL REQUIRED PERMITS FROM VDOT AND/OR APPLICABLE LOCALITY.
 6. IN AREAS SUBJECTED TO VEHICULAR TRAFFIC, BEDDING STONE AND FILL SHALL BE PLACED IN 6" LIFTS AND SHALL BE COMPACTED TO AT LEAST 90% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D 698.
 7. BEDDING REQUIREMENTS FOR DUCTILE WATER LINE ARE DEPENDENT ON MANUFACTURER'S BEDDING CRITERIA.
 8. BENCH CUT ON EACH SIDE OF PAVEMENT: CITY OF ROANOKE EQUALS 12"; VDOT RIGHT-OF-WAY EQUALS 6".
 9. ALL EXCAVATIONS SHALL COMPLY WITH OSHA TECHNICAL MANUAL, CHAPTER 2, TITLED "EXCAVATIONS: HAZARD RECOGNITION IN TRENCHING AND SHORING."

WESTERN VIRGINIA WATER AUTHORITY - CONSTRUCTION STANDARDS		
REVISION DATE		
07/01/04		
03/01/06		
	BEDDING AND BACKFILL UNDER PAVEMENT AND RIGHT-OF-WAY	W-25



- NOTES:
1. FOR 6" FIRE LINE, EXTERIOR VAULT DIMENSIONS SHALL BE 6' X 6'
 2. FOR 6" FIRE LINE, EXTERIOR VAULT DIMENSIONS SHALL BE 11' X 7'
 3. VAULT TO BE FURNISHED AND INSTALLED BY WVA AT OWNER/DEVELOPERS EXPENSE.

WESTERN VIRGINIA WATER AUTHORITY - CONSTRUCTION STANDARDS		
REVISION DATE		
03/01/06		
	WATER VAULT	W-26



- NOTES:
1. NOT ACCEPTABLE FOR USE IN TRAFFIC AREAS OR AREAS SUBJECT TO FLOODING.
 2. VACUUM OR EXFILTRATION TESTING SHALL BE USED. VACUUM TESTING SHALL MEET THE SAME STANDARD FOR CONCRETE MANHOLES. EXFILTRATION TESTING SHALL HAVE NO LEAKAGE WITHIN 1 HOUR.
 3. "Aquibak" WASTEWATER ACCESS CHAMBERS MAY BE SUBSTITUTED. TRAFFIC BEARING BOXES WILL BE REQUIRED IF INSTALLED IN TRAFFIC AREAS. TESTING OF "Aquibak" SHALL BE BY APPLICABLE PLUMBING CODE FOR SEWER LATERALS.
 4. 2' DIA. CONCRETE WELL CASING 3000 PSI MAY BE SUBSTITUTED FOR ULTRA-RIB PIPE. ANY VERT. JOINTS IN THE CASING PIPE MUST BE BY BELL & SPIGOT CONNECTION WITH MASTIC.
 5. INVERT SHAPING CHANNEL SHALL BE 180 DEGREES THROUGH SAMPLE MANHOLE. NO ANGLES, RADIUS, ETC ARE ALLOWED IN SAMPLE MANHOLES.

WESTERN VIRGINIA WATER AUTHORITY - CONSTRUCTION STANDARDS		
REVISION DATE		
07/01/04		
03/01/06		
	SAMPLING STRUCTURE DETAIL	S-07

WATER DETAILS NOT SHOWN ON COUNTY STANDARD DETAIL SHEET

VIRGINIA:

BEFORE THE BOARD OF COUNTY SUPERVISORS OF ROANOKE COUNTY

A 105± acre parcel of land,)
 generally located south of)
 Route 460 East (Challenger)
 Avenue), partially adjacent)
 to Route 758 (Carson Road))
 within the Vinton Magisterial)
 District, and recorded as parcel)
 Nos. 50.01-1-5, 50.01-1-5.1 in)
 the Roanoke County Tax Records.)

TO THE HONORABLE SUPERVISORS OF ROANOKE COUNTY:

Being in accord with Section 15.1-491.1 et seq. of the Code of Virginia and Section 21-105E. of the Roanoke County Zoning Ordinance, the County Petitioner, F&W Properties II, Inc., hereby voluntarily proffers to the Board of Supervisors of Roanoke County, Virginia, the following conditions to the rezoning of the above referenced parcel of land:

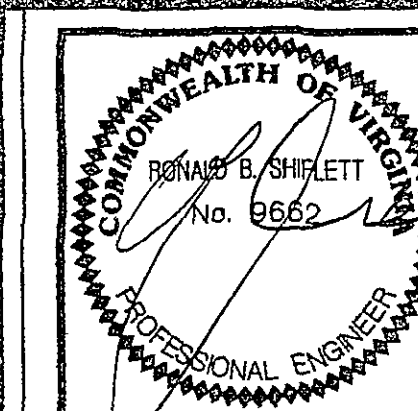
1. The property will not include permitted uses for:
 - a. Manufacture of pottery and figurines or other similar ceramic products;
 - b. Veterinary hospital and commercial kennels with exterior runs and yards;
 - c. Outside flea markets, unless a special exception has been granted by the Board of Supervisors.
2. That all locational signage [Sec. 21-93(D)] will be aesthetically pleasing and be no more than forty (40) square feet in sign face area and no more than eight (8) feet in height. Outdoor advertising signs (billboards) will be prohibited.
3. That all utilities will be underground.
4. That there will be no on-street parking.
5. That there will be sufficient truck loading spaces designed for each building site, as necessary.

6. That the Petitioner will evaluate the drainage situation for the subject tracts and implement a design for drainage facilities to either retain or detain the two (2) year storm (as required by Roanoke County) and the retention or detention for a ten (10) year storm.
7. That primary access to the property will be limited to Route 460.
8. Building placement and parking will be designed to not impede the future widening of one additional lane along Routes 460 and 758.
9. Should out-parcels be subdivided along Route 460 frontage (Parcel A), access will be provided via an internal road network plan utilizing the existing median cut on Route 460.
10. Type B (Option 2) buffer and screening requirements will be provided between Parcel "A" and single family residences. All Roanoke County screening and buffering requirements will be implemented as specific development occurs.
11. Existing oak trees on Parcel "A" will be preserved to the extent allowing for feasible development of the subject parcel.
12. All internal thoroughfares will be designed and constructed to VDOT standards for future dedication.
13. Dust mitigation controls will be implemented during site excavation activities.
14. The developer will cooperate with the Roanoke County Utility Department to provide necessary utility easement(s) for a sanitary sewer submain along Route 758 (Carson Road) at a mutually agreed upon location.

Respectfully submitted,
 F & W Properties II, INC.

By Richard S. Whitney, Jr.
 Richard S. Whitney, Jr.
 Executive Vice President

SITE DEVELOPMENT PROFFERS PER ORDINANCE 022790-6. 2/27/90



Revisions By	Date

COVENANT Engineering

P.O. Box 12062, Roanoke, VA 24022
 (540) 345-5555
 Email: info@covenanteng.com

SITE DETAILS

INDUSTRIAL SHELL BUILDING
 VALLEY GATEWAY PARK
 BONSACK, VIRGINIA

Scale: AS SHOWN
 Date: 7/15/06
 Design By: RBS
 CAD By: MRS
 Checked By: W47
 Comm. No.: 06129

Sheet No.

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