

KNOW ALL MEN BY THESE PRESENTS, TO WIT:

THAT J. B. SMITH, L.L.C. IS THE FEE SIMPLE OWNER AND PROPRIETOR OF THE LAND SHOWN HEREON TO BE SUBDIVIDED, BOUNDED BY OUTSIDE CORNERS 1 THRU 7 TO 1 INCLUSIVE, WHICH COMPRISES ALL OF THE LAND CONVEYED TO SAID OWNER BY DEED DATED JULY 24, 2007 AND RECORDED IN THE CLERK'S OFFICE OF THE CIRCUIT COURT OF ROANOKE COUNTY, VIRGINIA IN INSTRUMENT #200712948. WHICH SAID LAND IS SUBJECT TO THE LIEN OF A CERTAIN DEED OF TRUST TO BB&T - VA COLLATERAL SERVICE CORPORATION, TRUSTEE SECURING BRANCH BANKING AND TRUST COMPANY, BENEFICIARY DATED AUGUST 15, 2007 AND RECORDED IN INSTRUMENT #200715121.

THE SAID OWNER HEREBY CERTIFIES THAT IT HAS SUBDIVIDED THE LAND AS SHOWN HEREON ENTIRELY OF ITS OWN FREE WILL AND CONSENT AND PURSUANT TO AND IN COMPLIANCE WITH SECTION 15.2-2240 THROUGH 2276 OF THE CODE OF VIRGINIA, 1950 (AS AMENDED) TO DATE AND FURTHER PURSUANT TO AND IN COMPLIANCE WITH THE ROANOKE COUNTY LAND SUBDIVISION ORDINANCE.

THE SAID OWNER, BY VIRTUE OF THE RECORDATION OF THIS PLAT, DEDICATES THE NEW PUBLIC UTILITY EASEMENTS TO THE COUNTY OF ROANOKE FOR PUBLIC USE.

THE SAID OWNER, BY VIRTUE OF THE RECORDATION OF THIS SUBDIVISION PLAT, GRANTS TO THE WESTERN VIRGINIA WATER AUTHORITY, ALL WATERLINE RIGHTS AND EASEMENTS AND ALL SANITARY SEWER LINE RIGHTS AND EASEMENTS AS SHOWN HEREON. TO CONSTRUCT, INSTALL, IMPROVE, OPERATE, INSPECT, USE, MAINTAIN, REPAIR AND REPLACE A WATER AND/OR SEWER LINE OR LINES TOGETHER WITH RELATED IMPROVEMENTS, INCLUDING SLOPE(S), IF APPLICABLE, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS THERETO FROM A PUBLIC ROAD, UPON, OVER, UNDER AND ACROSS CERTAIN TRACTS OR PARCELS OF LAND BELONGING TO THE OWNER.

WITNESS THE FOLLOWING SIGNATURES AND SEALS ON THIS ____ DAY OF ____ 2007.

BY: James B. Smith
JAMES B. SMITH, PRESIDENT
J. B. SMITH, L.L.C., OWNER

BY: Michael E. Horan
BB&T - VA COLLATERAL SERVICE
CORPORATION, TRUSTEE

BY: C. Kevin Lockhart
BRANCH BANKING AND TRUST COMPANY
BENEFICIARY

STATE OF VIRGINIA, County of Roanoke

I, Vetta W. Bayse, A NOTARY PUBLIC IN AND FOR THE AFORESAID County AND STATE DO HEREBY CERTIFY THAT JAMES B. SMITH, PRESIDENT OF J. B. SMITH, L.L.C., OWNER, HAS PERSONALLY APPEARED BEFORE ME IN MY AFORESAID County AND STATE AND ACKNOWLEDGED THE SAME ON November 29, 2007.

MY COMMISSION EXPIRES ON Jan. 31, 2009 REGISTRATION NO. 357040

Vetta W. Bayse
NOTARY PUBLIC

STATE OF VIRGINIA, City of Roanoke

I, Amanda S. Minton, A NOTARY PUBLIC IN AND FOR THE AFORESAID City AND STATE DO HEREBY CERTIFY THAT Michael E. Horan, FOR BB&T - VA COLLATERAL SERVICE CORPORATION, TRUSTEE AND THAT C. Kevin Lockhart FOR BRANCH BANKING AND TRUST COMPANY, BENEFICIARY HAS PERSONALLY APPEARED BEFORE ME IN MY AFORESAID City AND STATE AND ACKNOWLEDGED THE SAME ON January 4, 2008.

MY COMMISSION EXPIRES ON 1-31-11 REGISTRATION NO. 165744

Amanda S. Minton
NOTARY PUBLIC

NOTES:

1. THIS PROPERTY IS NOT LOCATED WITHIN THE LIMITS OF A 100 YEAR FLOOD BOUNDARY AS DESIGNATED BY FEMA. THIS OPINION IS BASED ON AN INSPECTION OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL #510190 0232 G, MAP #51161C0232 G, DATED SEPTEMBER 28, 2007 AND HAS NOT BEEN VERIFIED BY ACTUAL FIELD ELEVATIONS.
2. THIS PLAT WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT AND THERE MAY EXIST ENCUMBRANCES WHICH AFFECT THIS PROPERTY THAT ARE NOT SHOWN HEREON.
3. IRON PINS SET AT ALL CORNERS, UNLESS OTHERWISE NOTED.
4. THIS PLAT IS BASED ON A CURRENT FIELD SURVEY.
5. APPROVAL HEREOF BY THE ROANOKE COUNTY SUBDIVISION AGENT IS FOR THE PURPOSES OF ENSURING COMPLIANCE WITH THE ROANOKE COUNTY SUBDIVISION ORDINANCE. PRIVATE MATTERS, SUCH AS COMPLIANCE WITH RESTRICTIVE COVENANTS OR OTHER TITLE REQUIREMENTS, APPLICABLE TO THE PROPERTIES SHOWN HEREON, ARE NOT REVIEWED OR APPROVED WITH REGARD TO THIS SUBDIVISION OR RE-SUBDIVISION.
6. THE INTENT OF THIS PLAT IS TO SUBDIVIDE ROANOKE COUNTY TAX PARCEL #087.05-01-05.00.
7. LOT 4 IS CURRENTLY SERVED BY PUBLIC WATER AND BY PRIVATE SEWER. LOTS 1 THROUGH 3 SHALL BE SERVED BY PUBLIC WATER AND SEWER.
8. ONLY LOTS 3 & 4 MAY USE THE EXISTING GRAVEL DRIVE. LOTS 1 & 2 WILL HAVE ACCESS FROM PENN FOREST BOULEVARD.

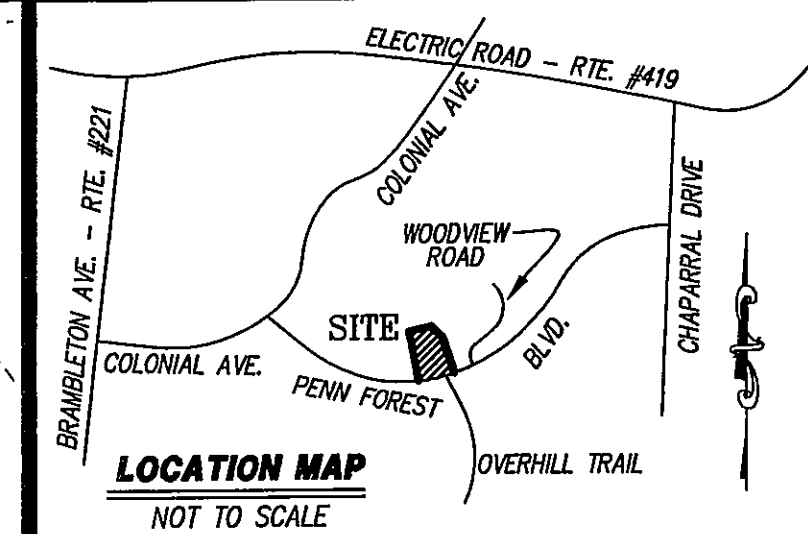
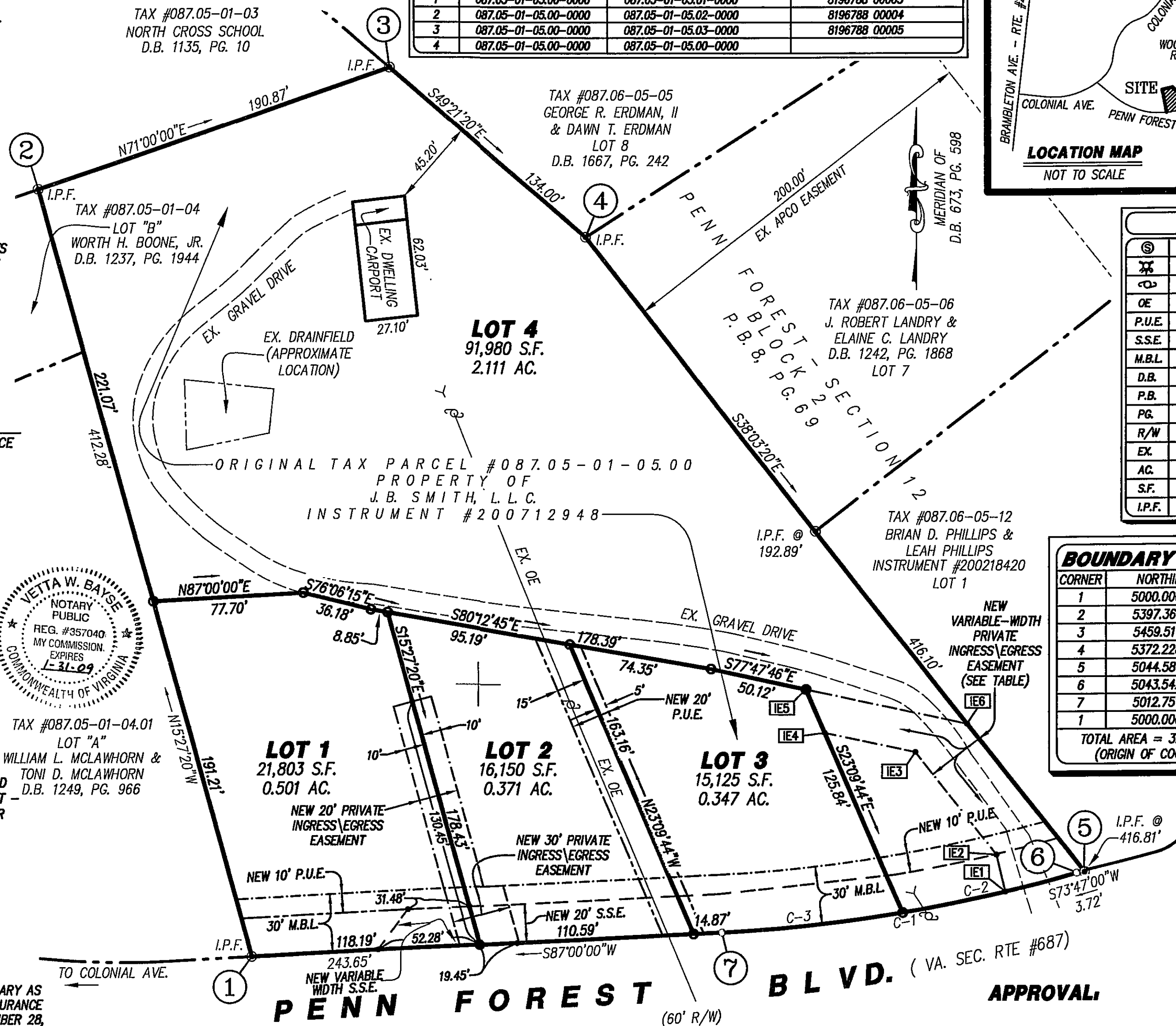
CLERK'S CERTIFICATE:

IN THE CLERK'S OFFICE OF THE CIRCUIT COURT OF ROANOKE COUNTY, VIRGINIA, THIS PLAT WITH ITS CERTIFICATE OF ACKNOWLEDGMENT, THERETO ANNEXED, IS ADMITTED TO RECORD ON THIS ____ DAY OF ____ 2007, AT ____ O'CLOCK ____ M.

TESTEE: STEVEN A. MCGRAW, CLERK

DEPUTY CLERK

PARCEL IDENTIFICATION TABLE			
LOT	OLD TAX MAP NUMBER (OMN)	PROPOSED PARCEL ID FULL (PPIDF)	PROPOSED PROPERTY ID (TPID)
1	087.05-01-05.00-0000	087.05-01-05.01-0000	8196788 00003
2	087.05-01-05.00-0000	087.05-01-05.02-0000	8196788 00004
3	087.05-01-05.00-0000	087.05-01-05.03-0000	8196788 00005
4	087.05-01-05.00-0000	087.05-01-05.00-0000	

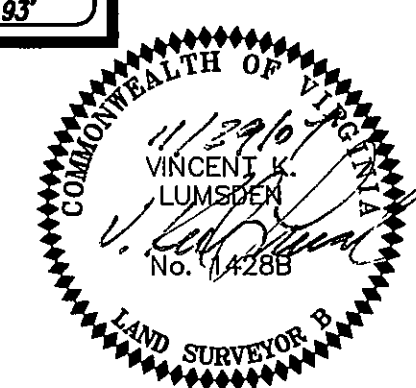
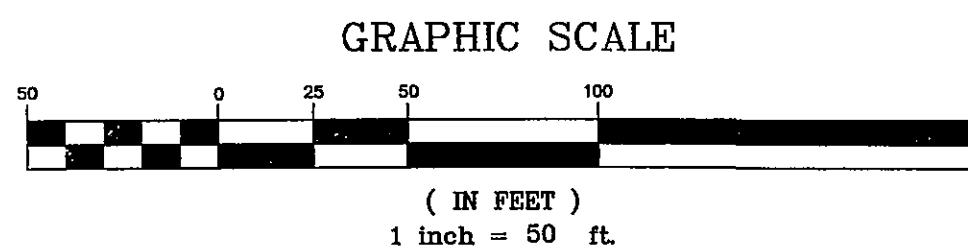


LEGEND	
⊙	SANITARY SEWER MANHOLE
⊕	FIRE HYDRANT
⊙	UTILITY POLE
OE	OVERHEAD ELECTRIC
P.U.E.	PUBLIC UTILITY EASEMENT
S.S.E.	SANITARY SEWER EASEMENT
M.B.L.	MINIMUM BUILDING LINE
D.B.	DEED BOOK
P.B.	PLAT BOOK
PG.	PAGE
R/W	RIGHT-OF-WAY
EX.	EXISTING
AC.	ACRES
S.F.	SQUARE FEET
I.P.F.	IRON PIN FOUND

BOUNDARY COORDINATES		
CORNER	NORTHING	EASTING
1	5000.00000	5000.00000
2	5397.36991	4890.13145
3	5459.51110	5070.60258
4	5372.22846	5172.27726
5	5044.58198	5428.77475
6	5043.54249	5425.20068
7	5012.75159	5243.31490
1	5000.00000	5000.00000
TOTAL AREA = 3.330 AC. (145,058 S.F.)		
(ORIGIN OF COORDINATES ASSUMED)		

CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C-1	801.49'	184.88'	92.85'	184.47'	S 80°23'30" W	137°3'00"
C-2	801.49'	91.54'	45.82'	91.49'	S 77°03'19" W	6°32'37"
C-3	801.49'	93.34'	46.73'	93.29'	S 83°39'49" W	6°40'23"

NEW VARIABLE-WIDTH PRIVATE INGRESS/EGRESS EASEMENT		
LINE	BEARING	DISTANCE
5-6	S 73°47'00" W	3.72'
6-IE1	S 75°08'05" W	37.80' CH.
IE1-IE2	N 13°28'12" W	19.69'
IE2-IE3	N 38°03'20" W	67.56'
IE3-IE4	N 77°47'46" W	47.32'
IE4-IE5	N 23°09'44" W	24.53'
IE5-IE6	S 77°47'46" E	84.39'
IE6-5	S 38°03'20" E	96.93'

**APPROVAL:**

AGENT, ROANOKE COUNTY PLANNING COMMISSION DATE

PLAT SHOWING THE SUBDIVISION OF
3.330 ACRES
PROPERTY OF
J. B. SMITH, LLC
CREATING HEREON NEW
LOT 1 (0.501 AC.),
LOT 2 (0.371 AC.),
LOT 3 (0.347 AC.)
AND
LOT 4 (2.111 AC.)

SITUATED ALONG PENN FOREST BLVD.
CAVE SPRING MAGISTERIAL DISTRICT
ROANOKE COUNTY, VIRGINIA

LUMSDEN ASSOCIATES, P.C.
ENGINEERS-SURVEYORS-PLANNERS
ROANOKE, VIRGINIA



DATE: November 29, 2007
COMM. NO.: 07-163
SCALE: 1" = 50'
SHEET 1 OF 1

4664 BRAMBLETON AVENUE, SW
P.O. BOX 20669
ROANOKE, VIRGINIA 24018

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FAX: (540) 772-9445
E-MAIL: MAIL@LUMSDENPC.COM