

VIRGINIA DEPARTMENT OF TRANSPORTATION  
GENERAL NOTES

1. QUALITY CONTROL

Streets to be graded, paved and all structural components erected in accordance with the Virginia Department of Transportation Road and Bridge Specifications and Road Design Standards dated January 1987. All materials used shall be tested in accordance with standard policies. The Developer must contact the Office of the Resident Engineer prior to beginning any construction at which time an Inspection and Testing Procedure Policy will be drawn. The Developer will produce test reports from approved independent laboratories at the Developer's expense.

The pavement designs shown are based on a subgrade rating of CBR10 or greater. The subgrade soil is to be tested by an independent laboratory and the results submitted to the Virginia Department of Transportation prior to pavement construction. Should the CBR values be less than CBR10, then additional base material will be required in accordance with departmental specifications.

The subgrade must be approved by the Virginia Department of Transportation prior to placement of base material. Base must be approved by the Virginia Department of Transportation for depth, template and compaction before surface is applied.

2. UTILITIES

All necessary utility laterals will be placed prior to pavement base and conduit provisions made for the same (i.e. water, sewer, gas and telephone). Gas or petroleum transmission lines will not be permitted within the pavement or shoulder element (back of curb to back of curb) of this development. Service laterals crossing and pipe lines located outside the pavement but inside the right-of-way will be constructed in conformity with AASB 31.8 Specification and Safety Regulations. Distribution lines with pressure less than 120 psi are unaffected by the above.

Permits will be required for all utilities within the street right-of-way prior to acceptance into the secondary highway system.

Any easements granted to a utility company for placement of power, telephone, etc., must be released prior to acceptance.

3. PRIVATE ENTRANCES

Standard CG-8 gutter will be provided at all entrances to private lots where standard CG-6 curb and gutter is approved for use.

Permits will be required for all private entrances constructed on street rights-of-way prior to acceptance into the secondary highway system.

4. EROSION CONTROL AND LANDSCAPING

Care must be taken during construction to prevent erosion, dust and mud from damaging adjacent property, clogging ditches, tracking public streets and otherwise creating a public nuisance to surrounding areas.

The entire construction area back of the curbs and or pavement shall be backfilled and seeded together with ditches and channels, at the earliest possible time after final grading.

Drainage easements must be defined by excavated ditches or channels for their full length to well defined existing natural watercourses.

The road will be reviewed during construction for the need of paved gutters. If erosion is encountered in any drainage easement, it will be the responsibility of the Developer to sod, rip-rap, grout, pave, or do whatever is necessary to correct the problem.

All vegetation and overburden to be removed from shoulder to shoulder prior to conditioning (cutting and/or preparation) of the subgrade.

Minimum pavement radius of 25 feet required at all street intersections.

While these plans have been approved, such approval does not exempt connections with existing State maintained roads from critical review at the time permit applications are made. This is necessary in order that the prevailing conditions be taken into consideration regarding safety accompaniments such as turning lanes.

Standard guardrail with safety end sections may be required on fills as deemed necessary by the VDOT Engineer. After completion of rough grading operations, the VDOT Engineer shall be notified so that a field review may be made of the proposed locations.

Field review will be made during construction to determine the need and limits of paved gutter and/or ditch stabilization treatments, to determine the need and limits of additional drainage easements. All drainage easements must be cut and made to function to a natural watercourse. Any erosion problems encountered in an easement must be corrected by whatever means necessary prior to subdivision acceptance.

Contractor shall obtain entrance permit to the existing Virginia Department of Transportation right-of-way from the Resident Engineer prior to road construction.

An Inspector will not be furnished except for periodic progress inspection, the above mentioned field reviews and checking the required stone depths. The Developer will be required to post a surety to guarantee the road free of defects for one year after acceptance by the Virginia Department of Transportation.

The streets must be properly maintained until acceptance. At such time as all requirements have been met for acceptance, another inspection will be made to determine that the street has been properly maintained.

In order to meet public service requirements, all streets must serve a minimum of three occupied dwellings prior to acceptance.

The Contractor shall verify the location and elevation of all underground utilities shown on the plans in areas of construction prior to starting work. Contact the Engineer immediately if the location or elevation is different from that shown on the plan. If there appears to be a conflict, and upon discovery of any utility not shown on this plan, call "Miss Utility" of Central Virginia at 1-800-552-7001.

Approval of these plans will be based on specification and standards in effect at the time of approval and will be subject, until completion of the roadway and acceptance by the Virginia Department of Transportation, to future revisions of the Specifications and Standards.

# DEVELOPMENT PLANS

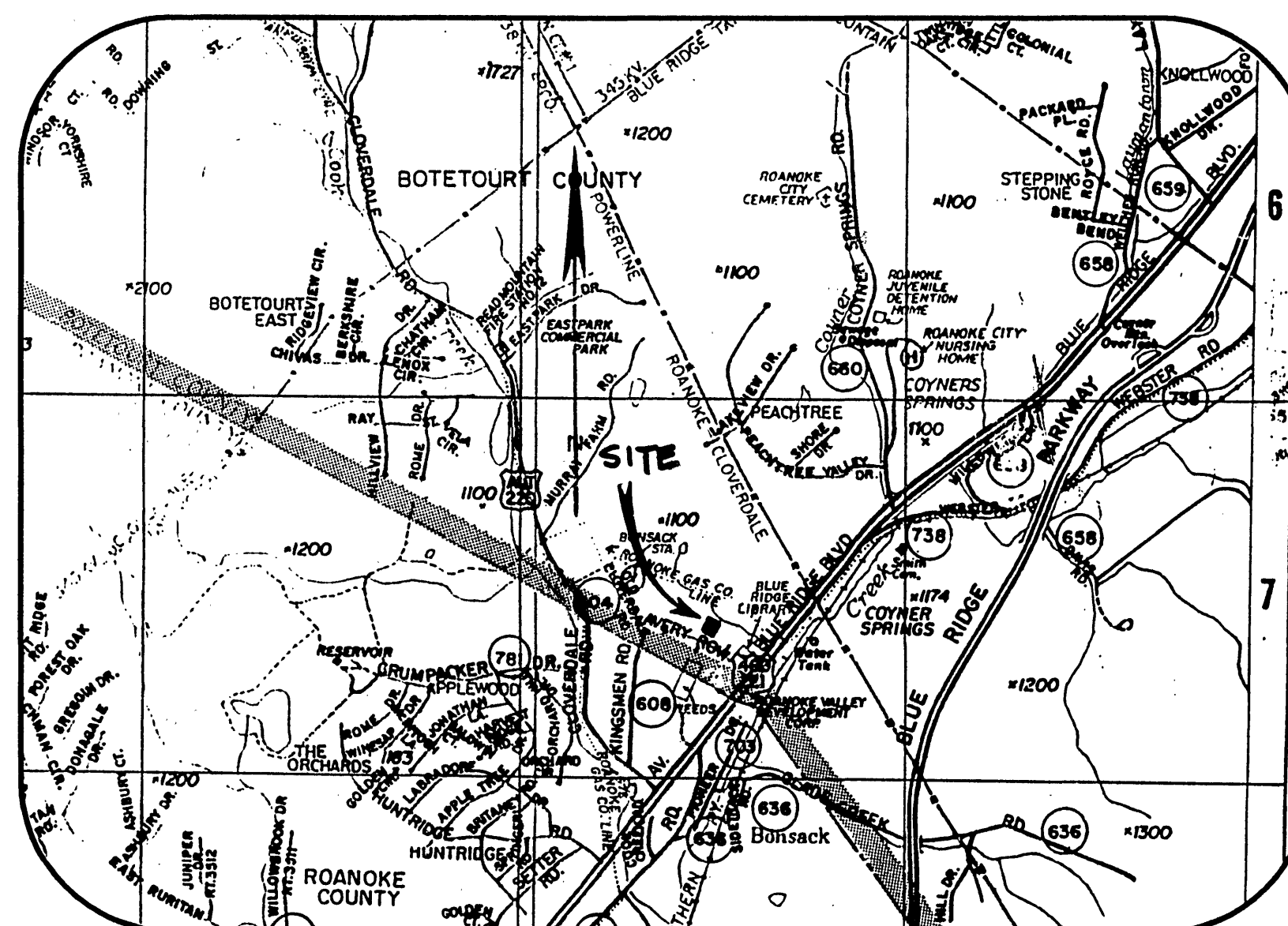
## FOR

### DVW, INC. INDUSTRIAL TRACT

### WITHIN JACK SMITH INDUSTRIAL PARK

### BLUE RIDGE MAGISTERIAL DISTRICT

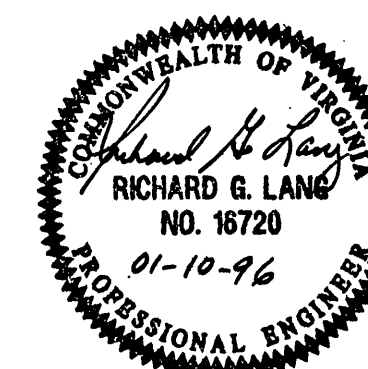
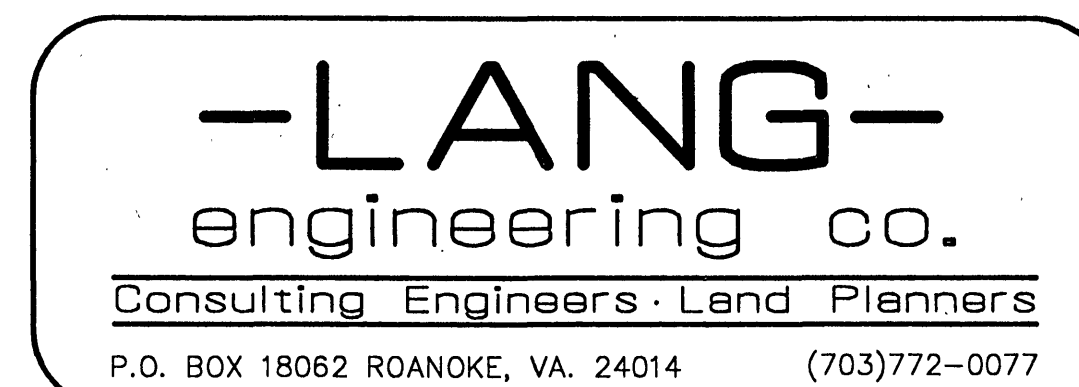
### BOTETOURT COUNTY, VIRGINIA



VICINITY MAP

TAX NOS: 112(3)D & 112-4A  
TRACT SIZE: 5.68 ACRES ±  
PRESENT ZONING: M-1  
PRESENT USE: VACANT  
PROPOSED USE: INDUSTRIAL  
SEWER: BOTETOURT COUNTY  
WATER: BOTETOURT COUNTY

DEVELOPER: DVW, INC.  
ADDRESS: P.O. BOX 398  
DALEVILLE, VA. 24083  
PHONE: (703)992-4917  
FAX: (703)992-4918



HORIZONTAL AND VERTICAL CONTROL  
IN 1992 BY ROBERT G. CANTLEY, INC.

ALL ELEVATIONS ARE REFERENCED TO TH

SOURCE OF TOPOGRAPHIC MAPPING IS RC

BOUNDARY SURVEY PERFORMED BY ROBEK

LEGEND

BOUNDARY:  
TRACT BOUNDARY  
PROPERTY LINE  
RIGHT-OF-WAY  
CENTERLINE  
MIN. BUILDING LINE

UTILITIES:  
EXISTING STORM SEWER  
PROPOSED STORM SEWER  
EXISTING SANITARY SEWER  
PROPOSED SANITARY SEWER  
EXISTING WATER MAIN  
PROPOSED WATER MAIN

TOPOGRAPHIC:  
EXISTING CONTOUR  
PROPOSED CONTOUR

MISCELLANEOUS:  
PROPOSED LIMIT OF CLEARING  
EXISTING CURB & GUTTER  
PROPOSED CURB & GUTTER  
PROPOSED PAVEMENT

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	MASTER ENGINEERING PLAN
3	ROADWAY PROFILE
4	POTABLE WATER DETAILS
5	EROSION & SEDIMENT CONTROL DETAILS
PROJECT #	96-SP-00006