

KNOW ALL MEN BY THESE PRESENTS, TO WIT:

THAT FRALIN & WALDRON, INC. A VIRGINIA CORPORATION IS THE FEE SIMPLE OWNER AND PROPRIETOR OF THE LAND SHOWN HEREON TO BE SUBDIVIDED BOUNDED BY OUTSIDE CORNERS 1 THRU 14 TO 1, INCLUSIVE, WHICH COMPRISES A PORTION OF THE LAND CONVEYED TO SAID OWNER FROM THE TRUSTEES OF ROANOKE COLLEGE BY DEED DATED JULY 28, 1997, AND RECORDED IN THE CLERK'S OFFICE OF THE CIRCUIT COURT OF ROANOKE COUNTY, VIRGINIA, IN DEED BOOK 1550, AT PAGE 1991.

THE SAID OWNER CERTIFIES THAT IT HAS SUBDIVIDED THIS LAND, AS SHOWN HEREON, ENTIRELY WITH ITS OWN FREE WILL AND CONSENT AND PURSUANT TO AND IN COMPLIANCE WITH THE VIRGINIA CODE OF 1950, AS REQUIRED BY SECTIONS 15.2-2240 THROUGH 15.2-2276, AS AMENDED TO DATE, AND WITH THE ROANOKE COUNTY SUBDIVISION ORDINANCE, AS AMENDED.

THE SAID OWNER HEREBY DEDICATES, IN FEE SIMPLE, TO THE COUNTY OF ROANOKE, ALL OF THE LAND EMBRACED WITHIN THE STREET OF THIS SUBDIVISION; ALL OF THE PUBLIC UTILITY EASEMENTS AND DRAINAGE EASEMENTS SHOWN HEREON ARE HEREBY DEDICATED FOR PUBLIC USE AND ALL WATERLINE EASEMENTS AND SANITARY SEWER EASEMENTS SHOWN HEREON ARE HEREBY DEDICATED TO THE WESTERN VIRGINIA WATER AUTHORITY.

THE SAID OWNER DOES AS A CONDITION PRECEDENT TO APPROVAL OF THIS PLAT AND SUBDIVISION AND ACCEPTANCE OF THE STREET SHOWN HEREON BY THE BOARD OF SUPERVISORS OF ROANOKE COUNTY, VIRGINIA ON ITS OWN BEHALF AND FOR AND ON ACCOUNT OF ITS HEIRS, SUCCESSORS, DEVISEES AND ASSIGNS, SPECIFICALLY RELEASES THE COUNTY OF ROANOKE AND THE VIRGINIA DEPARTMENT OF TRANSPORTATION FROM ANY AND ALL CLAIM OR CLAIMS FOR DAMAGES WHICH SUCH OWNER, ITS HEIRS, SUCCESSORS, DEVISEES AND ASSIGNS MAY OR MIGHT HAVE AGAINST THE COUNTY OR THE VIRGINIA DEPARTMENT OF TRANSPORTATION BY REASONS OF ESTABLISHING PROPER GRADE LINES ON OR ALONG SUCH STREETS AS SHOWN ON THIS PLAT OF THE LAND SUBDIVIDED (OR SUCH CHANGED STREETS AS MAY BE AGREED UPON IN THE FUTURE) AND BY REASON OF DOING NECESSARY GRADING, CUTTING OR FILLING FOR THE PURPOSE OF PLACING SUCH STREETS UPON THE PROPER GRADE AS MAY, FROM TIME TO TIME, BE ESTABLISHED BY SAID COUNTY OR THE VIRGINIA DEPARTMENT OF TRANSPORTATION, AND SAID COUNTY OR THE VIRGINIA DEPARTMENT OF TRANSPORTATION SHALL NOT BE REQUIRED TO CONSTRUCT ANY RETAINING WALL OR WALLS ALONG THE STREET AND PROPERTY LINES THEREOF, OR MAINTAIN ANY EASEMENTS AS SHOWN HEREON.

WITNESS THE SIGNATURES AND SEALS ON THIS _____ DAY OF _____ 2004.

FRALIN AND WALDRON, INC.

BY: **ANDREW C. KELDERHOUSE, PRESIDENT**

STATE OF _____ OF _____

I, _____ A NOTARY PUBLIC IN AND FOR THE AFORESAID _____ AND STATE DO HEREBY CERTIFY THAT ANDREW C. KELDERHOUSE, PRESIDENT OF FRALIN AND WALDRON, INC. WHOSE NAME IS SIGNED TO THE FOREGOING WRITING HAS PERSONALLY APPEARED BEFORE ME IN MY AFORESAID _____ AND STATE AND ACKNOWLEDGED THE SAME.

MY COMMISSION EXPIRES _____

NOTARY PUBLIC

BOUNDARY COORDINATES ORIGIN OF COORDINATES ASSUMED		
CORNER	NORTHING	EASTING
1	7454.00252	5368.44502
2	6347.91571	5820.13784
3	6087.84644	6010.03480
4	6080.85013	6217.53553
5	5886.13083	5931.31252
6	5938.56714	5898.44700
7	5913.90986	5854.94845
8	5868.36948	5883.02973
9	5834.53192	5877.06526
10	5774.91550	5796.77901
11	5889.33854	5711.81439
12	6043.56615	5652.91770
13	6648.10831	5166.08136
14	7416.29678	5271.99321
1	7454.00252	5368.44502
AREA = 13.451 AC.		

CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	825.00'	61.90'	30.96'	61.88'	S32°04'42"E	4°17'56"
C2	875.00'	53.51'	26.76'	53.50'	S31°39'32"E	3°30'14"
C3	25.00'	37.88'	23.65'	34.36'	N09°39'48"E	86°48'55"
C4	825.00'	100.06'	50.09'	100.00'	S30°45'11"E	6°56'57"
C5	825.00'	94.22'	47.16'	94.17'	S24°00'24"E	6°32'37"
C6	825.00'	132.39'	66.33'	132.24'	S25°19'54"E	9°11'39"
C7	425.00'	204.40'	104.22'	202.44'	N34°30'46"W	27°33'22"
C8	425.00'	25.08'	12.54'	25.07'	N22°25'30"W	3°22'50"
C9	425.00'	100.23'	50.35'	100.00'	N30°52'18"W	13°30'46"
C10	425.00'	79.09'	39.66'	78.98'	N42°57'34"W	10°39'46"
C11	375.00'	171.55'	87.30'	170.06'	S35°11'07"E	26°12'40"
C12	375.00'	21.06'	10.53'	21.06'	S46°40'55"E	3°13'04"
C13	375.00'	130.49'	65.91'	129.83'	S35°06'16"E	19°56'14"
C14	375.00'	20.00'	10.00'	20.00'	S23°36'28"E	3°03'22"
C15	25.00'	24.55'	13.37'	23.58'	S06°03'09"W	56°15'53"
C16	55.00'	271.04'	44.26'	68.96'	S73°00'30"W	282°21'12"
C17	55.00'	68.88'	39.78'	64.47'	N01°41'36"W	71°45'24"
C18	55.00'	57.60'	31.75'	55.00'	N67°34'18"W	60°00'00"
C19	55.00'	57.60'	31.75'	55.00'	S52°25'42"W	60°00'00"
C20	55.00'	86.97'	55.58'	78.19'	S22°52'13"E	90°35'48"
C21	25.00'	20.60'	10.93'	20.03'	N44°33'28"W	47°13'17"
C22	425.00'	202.83'	103.38'	200.91'	S34°37'08"E	27°20'37"
C23	425.00'	60.24'	30.17'	60.19'	S25°00'28"E	8°07'18"
C24	425.00'	142.58'	71.97'	141.91'	S38°40'47"E	19°13'20"
C25	375.00'	180.35'	91.96'	178.62'	N34°30'46"W	27°33'22"
C26	375.00'	59.84'	29.98'	59.77'	N43°43'11"W	9°08'32"
C27	375.00'	120.52'	60.78'	120.00'	N29°56'30"W	18°24'50"
C28	875.00'	140.08'	70.19'	139.93'	S25°19'15"E	9°10'20"
C29	875.00'	96.79'	48.45'	96.74'	S23°54'14"E	6°20'17"
C30	875.00'	96.79'	48.45'	96.74'	S30°14'31"E	6°20'17"

APPROVED:

AGENT, ROANOKE COUNTY SUBDIVISION AGENT

DATE

LEGEND

EX.	EXISTING
I.P.F.	IRON PIN FOUND
D.B.	DEED BOOK
P.B.	PLAT BOOK
P.G.	PAGE
M.B.L.	MINIMUM BUILDING LINE
P.U.E.	PUBLIC UTILITY EASEMENT
S.S.E.	SANITARY SEWER EASEMENT
D.E.	DRAINAGE EASEMENT
W.L.E.	WATER LINE EASEMENT
AC.	ACRES
S.F.	SQUARE FEET
R/W	RIGHT-OF-WAY
C10	CURVE No.
R	RADIUS
A	ARC LENGTH

**DRAINAGE EASEMENT
CENTERLINE TABLE**

CORNER	BEARING	DISTANCE
D1-D2	N16°11'06"E	73.38'
D3-D4	N78°13'48"W	102.45'
D5-D6	N18°06'03"W	56.83'

NOTES:

- THIS PLAT IS BASED ON A CURRENT FIELD SURVEY.
- THIS PLAT WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT AND THERE MAY EXIST ENCUMBRANCES WHICH AFFECT THE SUBJECT PROPERTY NOT SHOWN HEREON.
- IRON PINS AT ALL CORNERS UNLESS OTHERWISE NOTED.
- APPROVAL HEREOF BY THE ROANOKE COUNTY SUBDIVISION AGENT IS FOR PURPOSES OF ENSURING COMPLIANCE WITH THE ROANOKE COUNTY SUBDIVISION ORDINANCE. PRIVATE MATTERS, SUCH AS COMPLIANCE WITH RESTRICTIVE COVENANTS OR OTHER TITLE REQUIREMENTS, APPLICABLE TO THE PROPERTIES SHOWN HEREON, ARE NOT REVIEWED OR APPROVED WITH REGARD TO THIS SUBDIVISION OR RESUBDIVISION.
- THIS PROPERTY DOES NOT LIE WITHIN THE LIMITS OF A 100 YEAR FLOOD BOUNDARY AS DESIGNATED BY FEMA. THIS OPINION IS BASED ON AN INSPECTION OF THE FLOOD INSURANCE RATE MAPS AND HAS NOT BEEN VERIFIED BY ACTUAL FIELD ELEVATIONS. SEE COMMUNITY PANEL #510190 0037 D, MAP #51161C0037 D DATED OCTOBER 15, 1983. "ZONE X". THE NATURAL WATERCOURSE SHOWN HEREON DRAINS GREATER THAN 100 ACRES. A FLOOD ELEVATION CERTIFICATE MAYBE REQUIRED UPON APPLYING FOR A BUILDING PERMIT.
- THE HOMEOWNERS ASSOCIATION OF THIS SUBDIVISION SHALL ASSUME MAINTENANCE RESPONSIBILITIES OF THE STORMWATER MANAGEMENT FACILITY AS SHOWN ON DEVELOPMENT PLANS FOR "VINE CLIFF" (NOW KNOWN AS "KINGS CREST"), PREPARED BY LANG ENGINEERING CO. DATED DECEMBER 10, 1997.
- ALL EASEMENTS SHOWN HEREON ARE NEW UNLESS OTHERWISE NOTED.
- THIS PLAT IS A SUBDIVISION OF ROANOKE COUNTY TAX MAP #45.01-1-7.
- LEGAL REFERENCES: D.B. 1550, PG. 1991; TRACT "B-1", P.B. 16, PG. 88.
- BOUNDARY AS SHOWN HEREON TAKEN FROM ACTUAL FIELD SURVEY BY PHILIP W. NESTER, INC. FOR FRALIN AND WALDRON, INC. DATED SEPTEMBER 24, 1997.
- ALL WATER SERVICE CONNECTIONS ARE REQUIRED TO HAVE PRIVATE PRESSURE REDUCING VALVES.
- THE TOTAL AREA CONTAINED WITHIN THE STREET OF THIS SUBDIVISION IS 35,823 S.F.

GRAPHIC SCALE



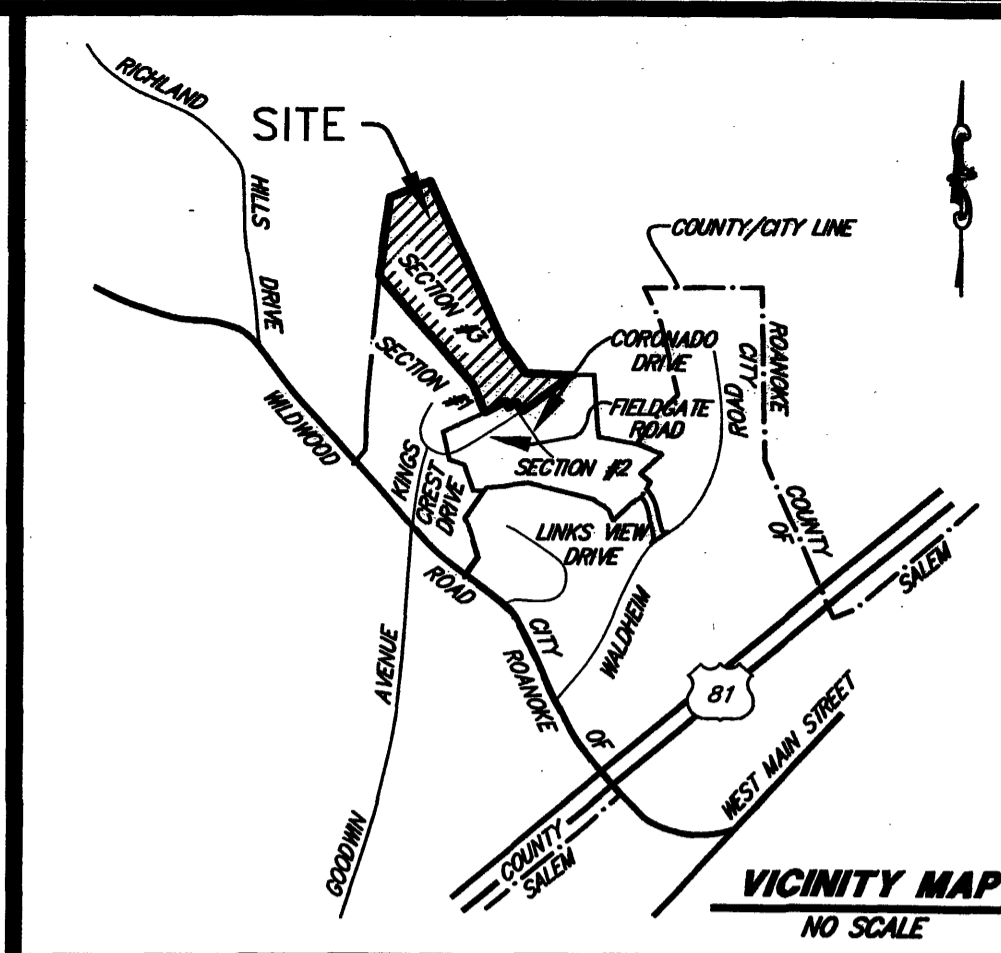
(IN FEET)
1 inch = 100 ft.

CLERK'S CERTIFICATE:

IN THE CLERK'S OFFICE OF THE CIRCUIT COURT OF THE COUNTY OF ROANOKE, VIRGINIA, THIS MAP WITH THE CERTIFICATE OF ACKNOWLEDGMENT THERETO ANNEXED IS ADMITTED TO RECORD ON _____ 2004, AT _____ O'CLOCK _____ M.

TESTEE: STEVEN A. MCGRAW, CLERK

DEPUTY CLERK



LUMSDEN ASSOCIATES, P.C.
ENGINEERS-SURVEYORS-PLANNERS
ROANOKE, VIRGINIA

PHONE: (540) 774-4411
FAX: (540) 772-9445
E-MAIL: MAIL@LUMSDENPC.COM

4664 BRAMBLETON AVENUE, SW
P.O. BOX 20669
ROANOKE, VIRGINIA 24018

DATE: MARCH 29, 2004
COMM. NO.: 04-073
SCALE: 1" = 100'
CADD FILE: F:\2004\04073\SUR\04073RPO1.DWG

SHEET 1 OF 1

PLAT SHOWING
SECTION No. 3
KINGS CREST
PROPERTY OF
FRALIN AND WALDRON, INC.
SITUATED OFF OF FIELDGATE ROAD
CATAWBA MAGISTERIAL DISTRICT
ROANOKE COUNTY, VIRGINIA

