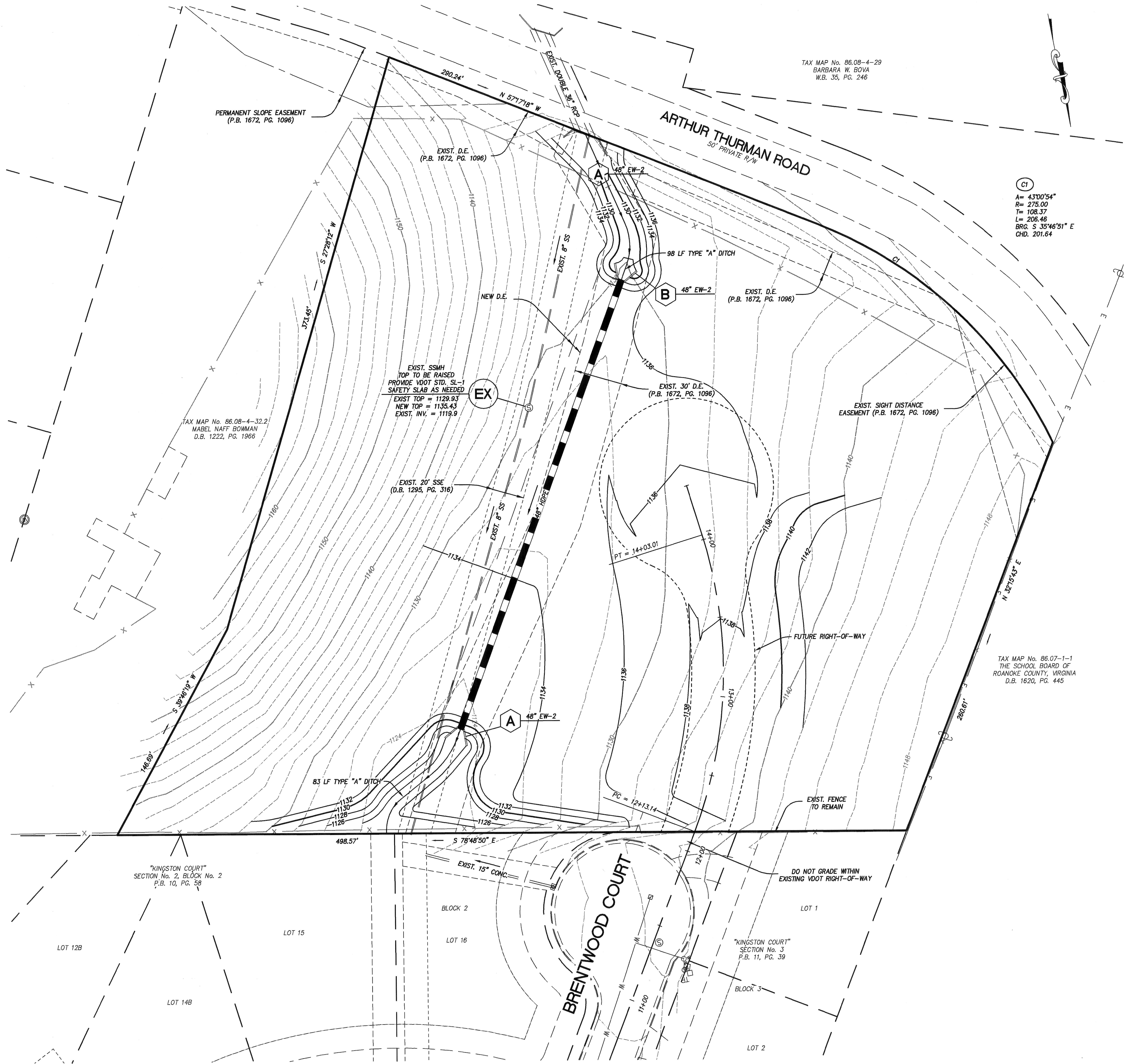




- GENERAL NOTES:**
1. FUTURE RIGHT-OF-WAY AS SHOWN IS PRELIMINARY. THIS LOCATION MAY CHANGE DURING THE FINAL DESIGN PROCESS.
 2. THIS PLAN IS FOR GRADING AND EROSION AND SEDIMENT CONTROL PURPOSES ONLY. NO ADDITIONAL IMPROVEMENTS (I.E. PAVEMENT, CURB, GUTTER, BUILDINGS, UTILITIES, ETC.) ARE PROPOSED AT THIS TIME.
 3. HDPE PIPE MATERIAL SHALL BE ADS N-12 PIPE OR APPROVED EQUAL.
 4. CURRENT ZONING: R2
 5. SITE ACREAGE: 4.4 ACRES
 6. THE PROPERTY SHOWN ON THESE PLANS IS LOCATED AT ROANOKE COUNTY TAX ASSESSMENT MAP No. 86.08-4-32.
 7. THE PROPERTY AS SHOWN DOES NOT LIE WITHIN THE LIMITS OF THE 100 YEAR FLOODPLAIN AS DEFINED BY THE FLOOD INSURANCE RATE MAPS.

- CONSTRUCTION NOTES:**
1. ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT COUNTY OF ROANOKE STANDARDS AND SPECIFICATIONS.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND THE ENGINEER OF ANY CHANGES OR CONDITIONS ATTACHED TO PERMITS OBTAINED FROM ANY AUTHORITY ISSUING PERMITS.
 3. NO SUBSOIL INVESTIGATIONS HAVE BEEN MADE BY THE DESIGNING ENGINEER. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION.
 4. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION.
 5. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION.
 6. SEE VDOT ROAD AND BRIDGE STANDARDS FOR STORM DRAINAGE DETAILS.
 7. THE CONTRACTOR AND OR OWNER SHALL PROVIDE A STORAGE CONTAINER FOR TEMPORARY STORAGE AND DISPOSAL OF LAND CLEARANCE DEBRIS AND BUILDING MATERIALS. ON-SITE BURIAL OF MATERIAL SHALL NOT BE PERMITTED.

- GRADING NOTES:**
1. AREAS TO BE GRADED SHALL BE CLEARED OF ALL VEGETATION, STRUCTURES, AND OTHER PHYSICAL FEATURES IN PREPARATION OF GRADING.
 2. TOPSOIL SHALL REMOVED FROM THE CLEARED AREA AND STOCKPILED FOR FUTURE USE.
 3. FILL MATERIAL SHALL BE FREE FROM ORGANIC MATTER AND ROCKS LARGER THAN 6 INCHES IN DIAMETER. FILL MATERIAL SHALL BE PLACED AND COMPACTED IN 8 INCH LIFTS TO 95% MINIMUM DENSITY, STANDARD PROCTOR.
 4. ALL GRADES SHOWN HEREON REFERENCE FINISHED GRADE. CONTRACTOR SHALL ADJUST ELEVATIONS TO SUBGRADE WHERE APPROPRIATE. FUTURE PAVEMENT SECTION AND BASE THICKNESS WILL BE 10" THICK.

LUMSDEN ASSOCIATES, P.C.
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COMMONWEALTH OF VIRGINIA
THOMAS C. DALE
No. 0330002
5/17/02
PROFESSIONAL ENGINEER

GRADING PLAN

TRACT "A" - BOWMAN SUBDIVISION
(P.B. 25, PG. 50)
PREPARED FOR
STEPHEN A. STILLWELL & JEFFREY S. TODD
CAVE SPRING MAGISTERIAL DISTRICT
ROANOKE COUNTY, VIRGINIA

NO.	DATE	REVISIONS	DESCRIPTION
1			
2			
3			
4			
5			

DATE: MAY 17, 2002
SCALE: 1" = 30'
COMMISSION NO: 2002-015
CADD FILE: F:\2002\02015\ENG\DWG\COMP.DWG
SHEET 3 OF 6