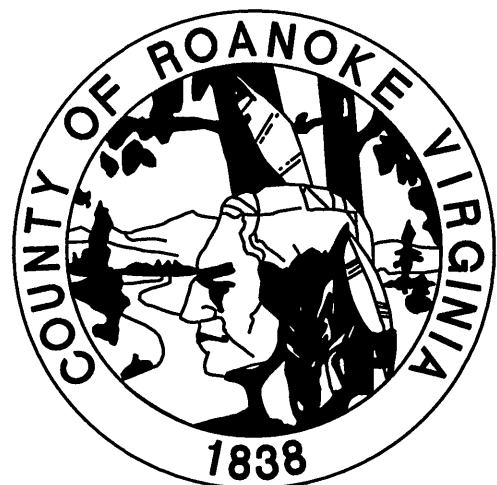


County of Roanoke, VA

1. All construction methods and materials shall conform to the Construction Standards and Specifications of Roanoke County, the Western Virginia Water Authority, and the Virginia Department of Transportation.
2. Stormwater Management Agreements with an attached 8 1/2" x 11" or 8 1/2" x 14" plat must be approved and recorded prior to the pre-construction meeting.
3. Once all required items are submitted to the County of Roanoke, the developer must contact the Development Review Coordinator to indicate that a pre-construction meeting needs to be scheduled. The pre-construction meeting will be scheduled with the owner/developer two (2) working days later.
4. Please note the 2001 General Assembly revisions to Va Erosion and Sediment Control Law. Effective July 1, 2001, all land disturbing projects that require approval of an erosion and sediment control plan, grading or clearing permit shall require that the applicant provide the name of an individual who will be responsible for land disturbing activities and that this individual hold a Responsible Land Disturber (RLD) Certificate from the Department of Conservation and Recreation. The Responsible Land Disturber can be anyone from the Project team that is certified by the State of Virginia to be in charge of carrying out the land disturbing activity for the project.
5. It is the responsibility of the owner/developer to notify the certified Responsible Land Disturber and the Utility Contractor to attend the pre-construction meeting.
6. The Development Review Coordinator will schedule the pre-construction meeting with the County Review Engineer, the County Inspector, and the Western Virginia Water Authority and the Town of Vinton Public Works Department if applicable.
7. An approved set of plans and all permits must be available at the construction site at all times.
8. The developer and/or contractor shall supply all utility companies with copies of approved plans, advising them that all grading and installation must conform to approved plans.
9. The project engineer will inform the owner/developer verbally and in writing of the County's obligation to perform inspections on site. Everyone in the meeting will be required to sign a pre-construction checklist indicating their knowledge of Roanoke County's obligation to perform inspections on site.
10. The Erosion Control Permit is given to the developer at this pre-construction meeting.
11. The developer MUST contact the project inspector 24 hours before beginning any grading or construction on the property.
12. The project inspector will visit the site within 48 hours of the developer's call to ensure that all necessary erosion and sediment control measures are properly installed according to the approved plan.
13. All work shall be subject to inspection by Roanoke County, the Western Virginia Water Authority and the Virginia Department of Transportation Inspectors.
14. Contractors shall notify utilities of proposed construction at least two (2), but not more than ten (10) working days in advance. Area public utilities may be notified thru "Miss Utility"; 1-800-552-7001.
15. 100 year Floodway and Floodplain information shall be shown where applicable. FIRM Index Data sheet shall be shown on the plans. The 100 year Floodway shall be staked prior to any construction.
16. Grade stakes shall be set for all curb and gutter, culvert, sanitary sewer and storm sewer at all times of construction.
17. The Department of Community Development shall be notified when a spring is encountered during construction.
18. Construction debris shall be containerized in accordance with the Virginia Litter Control Act. No less than one litter receptacle shall be provided on site.
19. The contractor shall provide adequate means of cleaning mud from trucks and/or other equipment prior to entering public streets or rights of ways. It is the contractors responsibility to insure that the streets are in a clean, mud and dust free condition at all times.
20. Plan approval in no way relieves the developer or contractors of the responsibilities contained within the erosion and sediment control policies.
21. Field construction shall honor proposed drainage divides as shown on plans.
22. Field corrections shall be approved by the Roanoke County Engineering Division and/or the Western Virginia Water Authority and the Professional of Record, prior to such construction.
23. The developer or contractor shall supply the County and the Western Virginia Water Authority with correct As-Built plans before final acceptance.

VIRGINIA DEPARTMENT OF TRANSPORTATION:

24. Plan approval by Roanoke County does not guarantee issuance of any permits by the Virginia Department of Transportation.
25. A permit must be obtained from the Virginia Department of Transportation, Salem Residency Office prior to construction in the highway right-of-way.
26. The preliminary pavement designs should be based on a predicted sub-grade CDR value of 7.0 and with a Resiliency Factor (RF) of 2.0 as shown in Appendix I of the 2000 Virginia Department of Transportation Pavement Design Guide for Subdivision and Secondary Roads. The sub-grade soil is to be tested by an independent laboratory and the results submitted to the Virginia Department of Transportation prior to base construction. Should the sub-grade CBR value and/or the RF value be less than the predicted values, additional base material will be required in accordance with Departmental specifications. Refer to the same manual as the number and locations of the required soil samples to be tested. All pavement designs shall be submitted to the Department for review and approval. The sub-grade shall be approved by the Virginia Department of Transportation prior to placement of the base. Base shall be approved by the Virginia Department of Transportation for depth, template, and compaction before the surface is applied.
27. Standard guardrail with safety end sections may be required on fills or in areas where hazards exist as deemed necessary. After completion of rough grading operations, the County Engineer and Virginia Department of Transportation shall be contacted to schedule a field review. Where guard rail is warranted, the standard shoulder width shall be provided and the guard rail shall be installed in accordance with the 2001 VDOT Road and Bridge Standards as part of this development.
28. Standard street and traffic control signs shall be erected at each intersection by the developer prior to final street acceptance.
29. All traffic devices shall be in accordance with current edition of the manual: "Uniform Traffic Control Devices (MUTCD)"
30. All unsuitable material shall be removed from the construction limits of the roadway before placing embankment.



NAME OF DEVELOPMENT	KROGER FUEL CENTER R-401			I, <u>Donald Guy Turner</u> OWNER/DEVELOPER, AM AWARE OF THE SITE DESIGN REQUIREMENTS IMPOSED BY THIS SITE DEVELOPMENT PLAN AND OTHER APPLICABLE ROANOKE COUNTY CODES. I HEREBY CERTIFY THAT I AGREE TO COMPLY WITH THESE REQUIREMENTS AND THE THIRTY (30) POINTS SHOWN ON THIS COVER SHEET UNLESS MODIFIED IN ACCORDANCE WITH LOCAL LAW.	
MAGISTERIAL DISTRICT(S)	WINDSOR HILLS				
OWNER (name, address, telephone)	RENÉE TURNER MARTIN WITH A LIFE ESTATE RESERVED FOR DONALD GUY TURNER P.O. BOX 315 CROZET, VA 22932				
DEVELOPER (name, address, telephone)	THE KROGER CO. — MID-ATLANTIC DIVISION 3631 PETERS CREEK ROAD ROANOKE, VA 24019 ATTN: TIMOTHY COLWELL 540-563-3645 FAX 540-563-3638				
ENGINEER, ARCHITECT OR SURVEYOR (name, address, telephone)	BALZER AND ASSOCIATES, INC. 1208 CORPORATE CIRCLE ROANOKE, VA 24018 540-772-9580 FAX 540-772-8050				
TAX MAP NO(S)	076.20-02-11.00 , 076.20-02-12.00				

SEWER NOTES

All sanitary sewer facilities shall be installed according to the Western Virginia Water Authority Design and Construction Standards. (Latest Edition).

A minimum cover of three (3) feet is required over proposed lines.

Contractor shall be responsible for locating and uncovering all manholes after paving. Manhole tops shall be adjusted to grade if necessary.

All existing utilities may not be shown in their exact location. The contractor shall comply with (State Water Works Regulations, Section 12.05.03, where lines cross.)

All trenches in existing or future rights-of-way shall be compacted according to Virginia Department of Transportation standards.

Lines shall be staked prior to construction.

PRIVATE UTILITIES

Underground utilities installed on private property or in private utility easements and building uniform storm drains shall be designed and installed per the current edition of the Virginia Uniform Statewide Building Code. Installation requirements issued by the Western Virginia Water Authority that meet or exceed the USBC requirements are acceptable for private utilities. All private utilities are to be permitted through and inspected by the Roanoke County Inspections Office. Vaults, valves and other devices installed by or under the control of the Western Virginia Water Authority may not substituted for the code required devices.

PRIVATE UTILITIES

C-1	COVER SHEET
C-2	EXISTING CONDITIONS AND DEMO. PLAN
C-3	LAYOUT & UTILITY PLAN
C-4	EASEMENT PLAN
C-5	GRADING PLAN
C-6	ESC. PLAN (PHASE I)
C-7	ESC PLAN (PHASE II)
C-8	ESC NOTES & DETAILS
C-9	PROFILES
C-10	INTERSECTION SIGHT DISTANCE
C-11	LANDSCAPE PLAN
C-12	DETAILS
C-13	DETAILS II
C-14	DETAILS III
C-15	WVWA WATER DETAILS
C-16	WVWA SANITARY SEWER DETAILS
C-17	GENERAL NOTES
C-18	LIGHTING/PHOTOMETRIC PLAN
C-19	RETAINING WALL SECTIONS (E.C.S.)
C-20	MAINTENANCE OF TRAFFIC
C-21	UNDERGROUND STORMWATER FACILITY

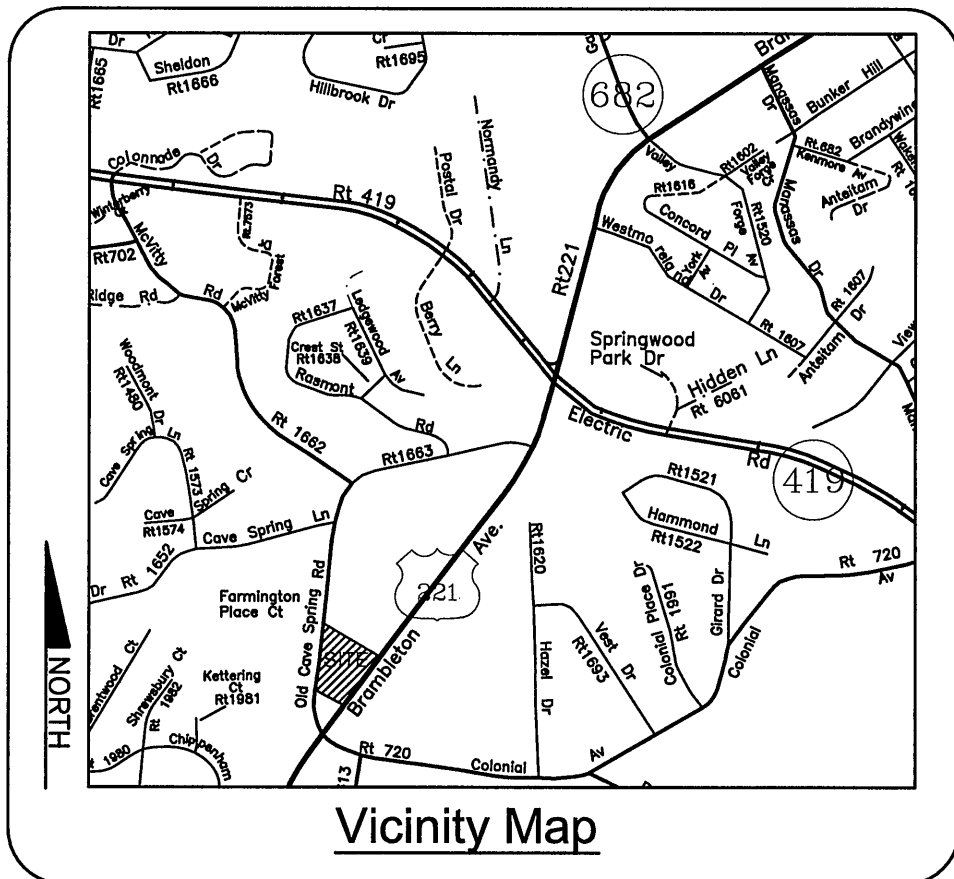
Horizontal and vertical control surveys were performed in year: 2009
By: BALZER & ASSOCIATES, INC.

Source of topographic mapping is dated BALZER & ASSOCIATES INC., 2009

Boundary was performed by BALZER & ASSOCIATES, INC. dated: 2009

Benchmark Information: EX. LID OF TELEPHONE MANHOLE= 300.36'

The professional seal and signature certifies the boundary survey and topographic mapping to be accurate and correct.



Property Line	=====	
Right-of-way	=====	
Centerline	-----	
Minimum Building Line	-----	
Existing Storm Sewer	-----	
Existing Sanitary Sewer	----- 8" ss -----	○
Existing Water Main	----- 8" w -----	
Existing Contour	-----	
Proposed Contour	----- 1155 -----	
Proposed Drainage Divide	-----	
Proposed Limits of Clearing	=====	
Proposed Storm Sewer	-----	
Proposed Sanitary Sewer	----- 8" ss -----	●
Proposed Water Main	----- 8" w -----	
To Be Removed		T.B.R.
Existing		Ex.
Downspout		DS

The Project Engineer shall provide electronic copies of the approved plans to the Development Review Coordinator within 5 working days of the pre-construction meeting.
This sheet may not be modified.

QUANTITY & COST ESTIMATE					
ITEM	QUANTITY	UNIT	UNIT PRICE	COST	BONDABLE
CLEARING AND GRUBBING		ACRES			
S.W.M. EXCAVATION		C.Y.			
S.W.M. EMBANKMENT		C.Y.			
CURB INLET DI-3C	2	EACH	1,200.00		2,400.00
VDOT STD MH-2	2	EACH	1,600.00		3,200.00
15" HDPE PIPE	162	LIN. FT.	12.00		1,944.00
15" HDPE END SECTION	1	EACH	200.00		200.00
6" SDR-35 PIPE	150	LIN. FT.	8.00		1,200.00
24" RCP PIPE W/GOASKETS	22	LIN. FT.	40.00		880.00
24" END SECTION	1	EACH	350.00		350.00
ORIFICE PLATE	1	EACH	25.00		25.00
UNDERGROUND STORMWATER MANAGEMENT (ALLUM. CMP)	1	EACH	12,000.00		12,000.00
FILTERRA S.W.Q. UNIT	2	EACH	8,000.00		16,000.00
CONTECH S.W.Q. UNIT	1	EACH	3,500.00		3,500.00
-IN. C.M. CULVERT		LIN. FT.			
-IN. C.M. CULVERT		LIN. FT.			
BOX CULVERT		LUMP SUM			
PAVED DITCH		LIN. FT.			
RIPRAP - CLASS		S.F.			
SODDED SWALE		S.Y.			
-IN. CONCRETE ENDWALL. EW-		EACH			
-IN. END SECTION ES-		EACH			
PAVEMENT (INCLUDING SUB-BASE)	1,800	S.Y.	15.00		27,000.00
CURB & GUTTER CG-6	515	LIN. FT.	12.00		6,180.00
VALLEY GUTTER		EACH			
GRAVEL BASE		S.Y.			
GRAVEL SHOULDER		S.Y.			
SURFACE TREATMENT		S.Y.			
-IN. BIT. CONC.: TYPE B-		S.Y.			
-IN. BIT. CONC.: TYPE S-		S.Y.			
-IN. BASE MATERIAL		C.Y.			
-IN. SUBBASE MATERIAL		C.Y.			
TRAFFIC BARRICADE		EACH			
WATER VAULT		EACH			
6" WATER LINE		LIN. FT.			
FIRE HYDRANT ASSEMBLIES	1	EACH	800.00		800.00
BLOW OFF'S W/VAULT, FRAME & COVER		EACH			
-IN. GATE VALVES, W/VAULT, FRAME & COVER		EACH			
-IN. GATE VALVES, W/VAULT, FRAME & COVER		EACH			
SANITARY SEWER MANHOLE	2	EACH	1,500.00		3,000.00
8" PVC SANITARY SEWER MAIN	86	LIN. FT.	40.00		3,440.00
6" SANITARY SEWER LATERAL	1	EACH	300.00		300.00
SAMPLING MANHOLE/PORT	1	EACH	500.00		500.00
LANDSCAPING	1	LUMP SUM (C-11)			5,970.00
AS-BUILT PLANS	1	LUMP SUM			1,000.00
(STORMWATER MANAGEMENT & STORM SEWER)					
SUB-TOTAL					89,889.00
25% CONTINGENCY					22,472.00
ESTIMATED TOTAL					112,361.00
I HEREBY CERTIFY THAT THE FOREGOING ESTIMATE REFLECTS THE CURRENT IMPROVEMENT COSTS OF THIS PROJECT.					
SIGNED:			DATE:		



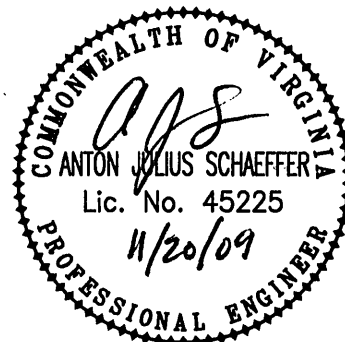
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www.balzer.cc
 PLANNERS • ARCHITECTS
 ENGINEERS • SURVEYORS

**1208 Corporate Circle
Roanoke, Virginia 24018
Phone: 540/772-9580
FAX: 540/772-8050**

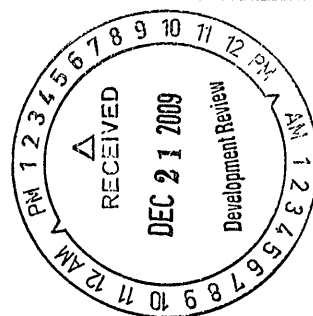
15871 City View Drive, Suite 200
Midlothian, Virginia 23113
Phone: 804/794-0571
FAX: 804/794-2635

448 Peppers Ferry Road
Christiansburg, Virginia 24073
Phone: 540/381-4290
FAX: 540/381-4291

1561 Commerce Road
Suite 401
Verona, Virginia 24482
Phone: 540/248-3220
FAX: 540/248-3221



Approved
Kroger Fuel Center R-401
Brambleton Ave.
SP-0902408



DEVELOPMENT PLAN APPROVED FOR CONSTRUCTION BY ROANOKE COUNTY	
Department	Date
Development Review	JP 12/2/09
Engineering	me 12/23/09
Water & Sewer	SL 1-6-2010
Planning & Zoning	JP 1/23/09

**KROGER FUEL
CENTER R-401**

4602 OLD CAVE SPRING ROAD
County of Roanoke, Virginia

SHEET No.:

1 of 21

JOB No.: R0800418.00

106
200
APPROVED
Kroger -
Ole C