

NOTICE:

ALL LANDOWNERS, DEVELOPERS AND CONTRACTORS

FAILURE TO COMPLY WITH THE CONSTRUCTION PROCEDURE REQUIREMENTS LISTED BELOW MAY RESULT IN THE COSTLY REMOVAL OF STRUCTURES, TIME DELAYS, OR THE ISSUANCE OF A STOP WORK ORDER.

CONSTRUCTION PROCEDURE REQUIREMENTS

- CITY INSPECTIONS:** TO ENSURE THE COORDINATION OF TIMELY AND PROPER INSPECTIONS, A PRECONSTRUCTION CONFERENCE SHALL BE INITIATED BY THE CONTRACTOR WITH THE CITY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT. CALL 703/981-2250 TO ARRANGE A CONFERENCE AT LEAST THREE (3) DAYS PRIOR TO ANTICIPATED CONSTRUCTION.
- STREET OPENING PERMIT:** PRIOR TO THE COMMENCEMENT OF ANY DIGGING, ALTERATION, OR CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY (STREETS, ALLEYS, PUBLIC EASEMENTS) A STREET OPENING PERMIT SHALL BE APPLIED FOR AND OBTAINED BY THE CONTRACTOR FROM THE CITY OF ROANOKE.
- PLANS AND PERMITS:** A COPY OF THE PLANS APPROVED BY THE CITY (SIGNED BY THE PROPER CITY OFFICIALS) AND ALL PERMITS ISSUED BY THE CITY SHALL BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES OF ONGOING CONSTRUCTION.
- LOCATION OF UTILITIES:** THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.
- CONSTRUCTION ENTRANCE:** THE CONTRACTOR SHALL INSTALL AN ADEQUATE CONSTRUCTION ENTRANCE FOR ALL CONSTRUCTION-RELATED EGRESS FROM THE SITE. SIZE AND COMPOSITION OF CONSTRUCTION ENTRANCE SHALL BE DETERMINED BY THE CITY SITE PLAN INSPECTOR.
- STREETS TO REMAIN CLEAN:** IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT THE PUBLIC STREET ADJACENT TO THE CONSTRUCTION ENTRANCE REMAINS FREE OF MUD, DIRT, DUST, AND/OR ANY TYPE OF CONSTRUCTION MATERIALS OR LITTER AT ALL TIMES.
- BARRICADES/DITCHES:** THE CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF ALL EXCAVATED DITCHES AND SHALL FURNISH AND ENSURE THAT ALL BARRICADES PROPER AND NECESSARY FOR THE SAFETY OF THE PUBLIC ARE IN PLACE.
- SEWER AND PAVEMENT REPLACEMENT:** CONSTRUCTION OF SANITARY SEWERS AND THE REPLACEMENT OF PAVEMENT SHALL BE IN ACCORDANCE WITH APPROVED STANDARDS AND SPECIFICATIONS OF THE CITY OF ROANOKE.
- APPROVED PLANS/CONSTRUCTION CHANGES:** ANY CHANGE OF VARIATION FROM CONSTRUCTION DESIGN AS SHOWN ON THE OFFICIALLY APPROVED PLANS SHALL BE APPROVED BY THE CITY ENGINEER PRIOR TO SAID CHANGES OR VARIATIONS IN CONSTRUCTION BEING MADE.
- FINAL ACCEPTANCE/CITY:** THE DEVELOPER OR CONTRACTOR SHALL FURNISH THE CITY OF ROANOKE ENGINEERING DEPARTMENT WITH A FINAL CORRECT SET OF AS-BUILT PLANS PRIOR TO FINAL ACCEPTANCE BY THE CITY.

SITE TABULATION

PROPOSED ZONE: C2
SETBACKS: FRONT 25'
REAR 25'
SIDE NONE (20' WHERE ABUTTING RESIDENTIAL)

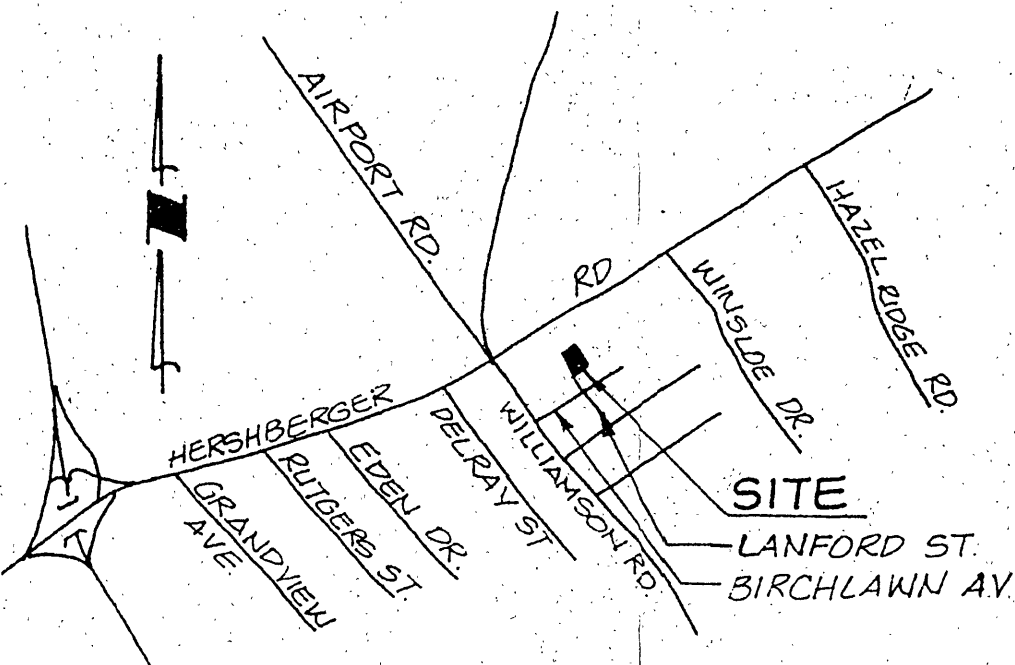
AREA: 1.042 ACRES
MINIMUM LOT SIZE REQUIRED: 10,000 SF
MINIMUM LOT FRONTAGE: 75'
LOT FRONTAGE PROVIDED: 71.71'
MAXIMUM LOT COVERAGE: 60% OR 27,233 SF
LOT COVERAGE PROVIDED: 29% OR 13,102 SF
MAXIMUM HEIGHT: 45'
REQUIRED PARKING: 1 SPACE PER UNIT OR 16 SPACE
PROVIDED PARKING: 15 SPACES
+ 1 HANDICAP SPACE
16 SPACES

THE PROPERTY WAS REZONED SUBJECT TO THE FOLLOWING PROFFERED CONDITIONS:

- THAT THE PROPERTY WILL BE DEVELOPED IN SUBSTANTIAL CONFORMITY WITH THE SITE PLAN PREPARED BY BALZER & ASSOCIATES DATED AUGUST 10, 1995, REVISED AUGUST 28, 1995, A COPY OF WHICH IS ATTACHED HERETO AS EXHIBIT B, SUBJECT TO ANY CHANGES REQUIRED BY THE CITY DURING SITE PLAN REVIEW.
- THE PROPERTY WILL BE USED AS A 16 UNIT HOTEL FACILITY.
- THAT LANDSCAPING ON THE SOUTH AND EAST SIDE OF THE PROPERTY WOULD BE IN COMPLIANCE WITH THE REQUIREMENTS OF THE ROANOKE CITY ORDINANCES.
- THAT A SIX FOOT STOCKADE FENCE WILL BE CONSTRUCTED ON THE PROPERTY LINE ON THE SOUTHERLY SIDE OF THE PROPERTY ADJOINING THE EXISTING SINGLE FAMILY RESIDENCE.
- THAT THE PROPERTY WILL BE CONSTRUCTED IN SUBSTANTIAL CONFORMITY WITH THE PHOTOGRAPH INCLUDED IN THE PAMPHLET PRESENTED TO THE PLANNING COMMISSION AT ITS MEETING ON OCTOBER 4, 1995.
- THAT NO SINGLE DAY LEASES AND RENTALS WILL OCCUR.
- THAT THERE WILL BE NO SIGNAGE ON THE PROPERTY.
- THAT ALL LIGHTING ON THE PROPERTY, INCLUDING LIGHTING OF THE STRUCTURE ITSELF, PARKING LOTS AND LIGHTING AT THE INDIVIDUAL UNITS WILL BE DIRECTED AWAY FROM THE ADJOINING RESIDENTIAL PROPERTY.

DEVELOPER: LANCE COPPERMAN
ADDRESS: 2410 WILLIAMSON ROAD, NE.
ROANOKE VIRGINIA 24012-4810
TELEPHONE: (540) 563-0112

TAX NUMBER(S): 2170139
TRACT SIZE: 1.042 ACRES
PRESENT ZONING: C2 CONDITIONAL
PRESENT USE: VACANT
PROPOSED USE: 16-UNIT APARTMENT BUILDING
SANITARY SEWER: CITY OF ROANOKE
WATER: CITY OF ROANOKE
STORM DRAINAGE: ON-SITE DETENTION



VICINITY MAP

AFFORDABLE EFFICIENCY INNS

4835 LANFORD STREET, NE
ROANOKE, VIRGINIA

SURVEY NOTES

HORIZONTAL CONTROL WAS PERFORMED BY
BALZER AND ASSOCIATES, INC. DATED AUGUST 1995
VERTICAL CONTROL AND TOPOGRAPHIC MAPPING WERE PERFORMED BY
BALZER AND ASSOCIATES, INC. DATED AUGUST 1995
ALL ELEVATIONS ARE REFERENCED TO THE NATIONAL GEODETIC
VERTICAL DATUM OF 1929.

BENCHMARK: BERNSTEIN ALUMINUM DISC MONUMENT SET FLUSH
WITH GROUND AND STAMPED "PRESTON 1991" AT
INTERSECTION WILLIAMSON ROAD AND PRESTON
AVENUE.
ELEVATION: 1101.04

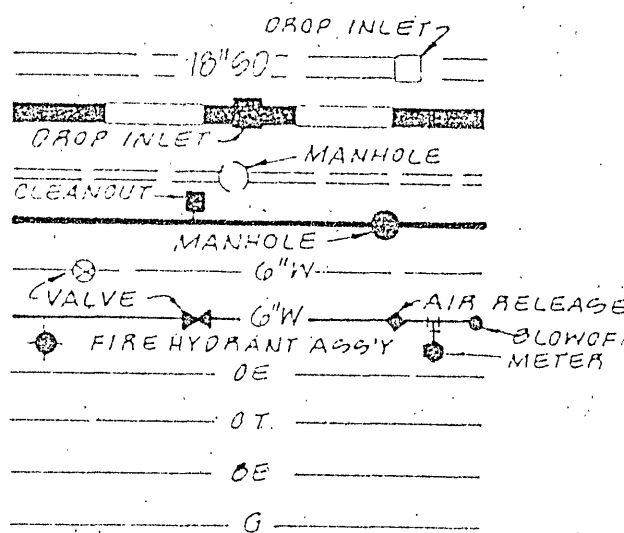
LEGEND

BOUNDARY

PROPERTY LINE
DEED LINE
RIGHT-OF-WAY
CENTERLINE
MIN. BLDG. LINE
EASEMENT
FOUND IRON PIN
SET IRON PIN

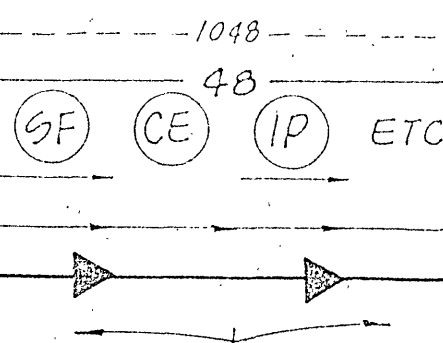
UTILITY

EXIST. STORM SEWER
PROP. STORM SEWER
EXIST. SANITARY SEWER
PROP. SANITARY SEWER
EXIST. WATERLINE
PROP. WATERLINE
OVERHEAD ELECTRIC
OVERHEAD TELEPHONE
BURIED ELECTRIC
GAS LINE



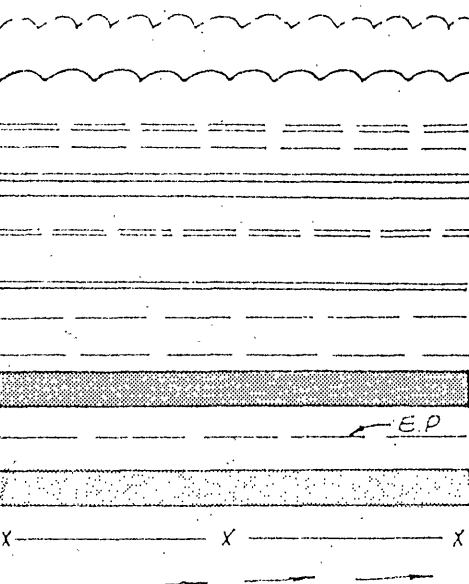
TOPOGRAPHY & ESC

EXIST. CONTOUR
PROP. CONTOUR
ESC DETAIL SYMBOL
GRASS DITCH
MESH LINED DITCH
PAVED DITCH
DRAINAGE DIVIDE



MISCELLANEOUS

EXIST. TREELINE
PROP. LIMITS OF CLEARING
EXIST. CURB & GUTTER
PROP. CURB & GUTTER
EXIST. CURB
PROP. CURB
EXIST. STRUCTURES
PROP. STRUCTURES
EXIST. EDGE OF PAVEMENT
PROP. PAVEMENT
FENCE
FLOW ARROWS

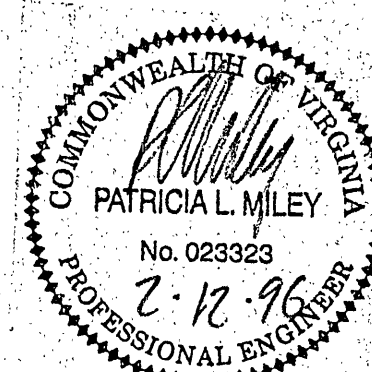


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APPROVED: [Signature]
CITY ENGINEER, CITY OF ROANOKE
AGENT, CITY OF ROANOKE PLANNING COMMISSION
DATE: 3/11/96

RECEIVED
FEB 27 1996
CITY OF ROANOKE
DEPARTMENT OF PLANNING AND
COMMUNITY DEVELOPMENT



PLANNERS ARCHITECTS
ENGINEERS SURVEYORS

1208 Corporate Circle
Roanoke, Virginia 24018
Phone: 703/772-9580
FAX: 703/772-8050

301 Branchway Road
Suite 100
Richmond, Virginia 23235
Phone: 804/794-0571
FAX: 804/794-7635

1514 East Parkman Road
Richmond, Virginia 23228
Phone: 804/262-5048
FAX: 804/264-3037

COVER SHEET
AFFORDABLE
EFFICIENCY INNS
LANFORD STREET PHASE II
ROANOKE, VIRGINIA

DRAWN BY: [Signature]
DESIGNED BY: [Signature]
CHECKED BY: [Signature]
DATE: DECEMBER 8, 1995

REVISIONS
FEB. 1, 1996
FEB. 23, 1996

SCALE: AS SHOWN
SHEET NO.

C1

JOB NO. 95115