

LINCOLN TERRACE VA 11-2
LINCOLN 2000 – PHASE I
ROANOKE, VIRGINIA

THE CITY OF ROANOKE REDEVELOPMENT AND HOUSING AUTHORITY

PROPERTY OWNER: THE CITY OF ROANOKE REDEVELOPMENT
AND HOUSING AUTHORITY
2624 SALEM TURNPIKE, NW
ROANOKE, VIRGINIA 24017
(540) 983-9281

ENGINEER: LMW PROFESSIONAL CORPORATION
1401 2nd STREET
ROANOKE, VIRGINIA 24016
(540) 345-0675

CONTRACTOR:
NAME:
ADDRESS:
TEL:

OFFICIAL TAX # OF PROPERTY: 2040101 (23.12 ACRES)
ZONING CLASSIFICATION: RM-2
TOTAL ACREAGE OF LAND TO BE DEVELOPED: 10.29 ACRES
TOTAL ACREAGE OF LAND TO BE DISTURBED: 10.29 ACRES
LEGAL REFERENCE: MB #1, PG 52

PROPOSED USE OF BUILDING: SINGLE/MULTI-FAMILY DWELLINGS
PROPOSED HEIGHT: ATTACHED - 22'; DETACHED - 23.5'
TOTAL SQUARE FOOTAGE OF BUILDING: ATTACHED - 2,140 SQ. FT; DETACHED - 1,253 SQ. FT
NUMBER OF PARKING/LOADING SPACES REQUIRED:
NUMBER OF PARKING/LOADING SPACES PROVIDED: ON STREET

BY ORDER OF THE BOARD OF ZONING APPEALS, THE REQUEST FOR VARIANCES FROM SECTIONS
36.1-130(a)(b)(c), 36.1-402(b)(5), 36.1-429(b), 36.1-433(c) AND 36.1-585(b)(1), ZONING,
TO ALLOW AN EXISTING DEVELOPMENT TO COME INTO COMPLIANCE WITH THE ZONING ORDINANCE
AND FOR THE EXISTING DEVELOPMENT TO BE REFURBISHED WAS GRANTED ON OCTOBER 7, 1997.

NOTICE: ALL LANDOWNERS, DEVELOPERS AND CONTRACTORS

FAILURE TO COMPLY WITH THE CONSTRUCTION REQUIREMENTS LISTED BELOW MAY RESULT
IN THE COSTLY REMOVAL OF STRUCTURES, TIME DELAYS OR THE ISSUANCE OF A STOP
WORK ORDER.

CONSTRUCTION PROCEDURE REQUIREMENTS

CITY INSPECTIONS - TO INSURE THE COORDINATION OF TIMELY AND PROPER INSPECTIONS, A PRE-CONSTRUCTION
CONFERENCE SHALL BE INITIATED BY THE CONTRACTOR WITH THE CITY BUILDING INSPECTIONS DEPARTMENT. CALL
(540) 981-2222 TO ARRANGE A CONFERENCE AT LEAST THREE (3) DAYS PRIOR TO ANTICIPATE CONSTRUCTION.

STREET OPENING PERMIT - PRIOR TO THE COMMENCEMENT OF ANY DIGGING ALTERATION OR CONSTRUCTION
WITHIN THE PUBLIC RIGHT-OF-WAY (STREETS, ALLEYS, PUBLIC EASEMENTS), A STREET OPENING PERMIT SHALL BE
APPLIED FOR AND OBTAINED BY THE CONTRACTOR FROM THE CITY OF ROANOKE.

PLANS AND PERMITS - A COPY OF THE PLANS APPROVED BY THE CITY (SIGNED BY THE PROPER CITY OFFICIALS)
AND ALL PERMITS ISSUED BY THE CITY SHALL BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES OF ONGOING
CONSTRUCTION.

LOCATION OF UTILITIES - THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE
COMMENCEMENT OF ANY CONSTRUCTION.

CONSTRUCTION ENTRANCE - THE CONTRACTOR SHALL INSTALL AN ADEQUATE CONSTRUCTION ENTRANCE FOR ALL
CONSTRUCTION RELATED EGRESS FROM THE SITE. SIZE AND COMPOSITION OF CONSTRUCTION ENTRANCE SHALL BE
DETERMINED BY THE CITY SITE PLAN INSPECTOR.

STREETS TO REMAIN CLEAN - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT THE PUBLIC
STREET ADJACENT TO THE CONSTRUCTION ENTRANCE REMAINS FREE OF MUD, DIRT, DUST AND/OR ANY TYPE OF
CONSTRUCTION MATERIALS OR LITTER AT ALL TIMES.

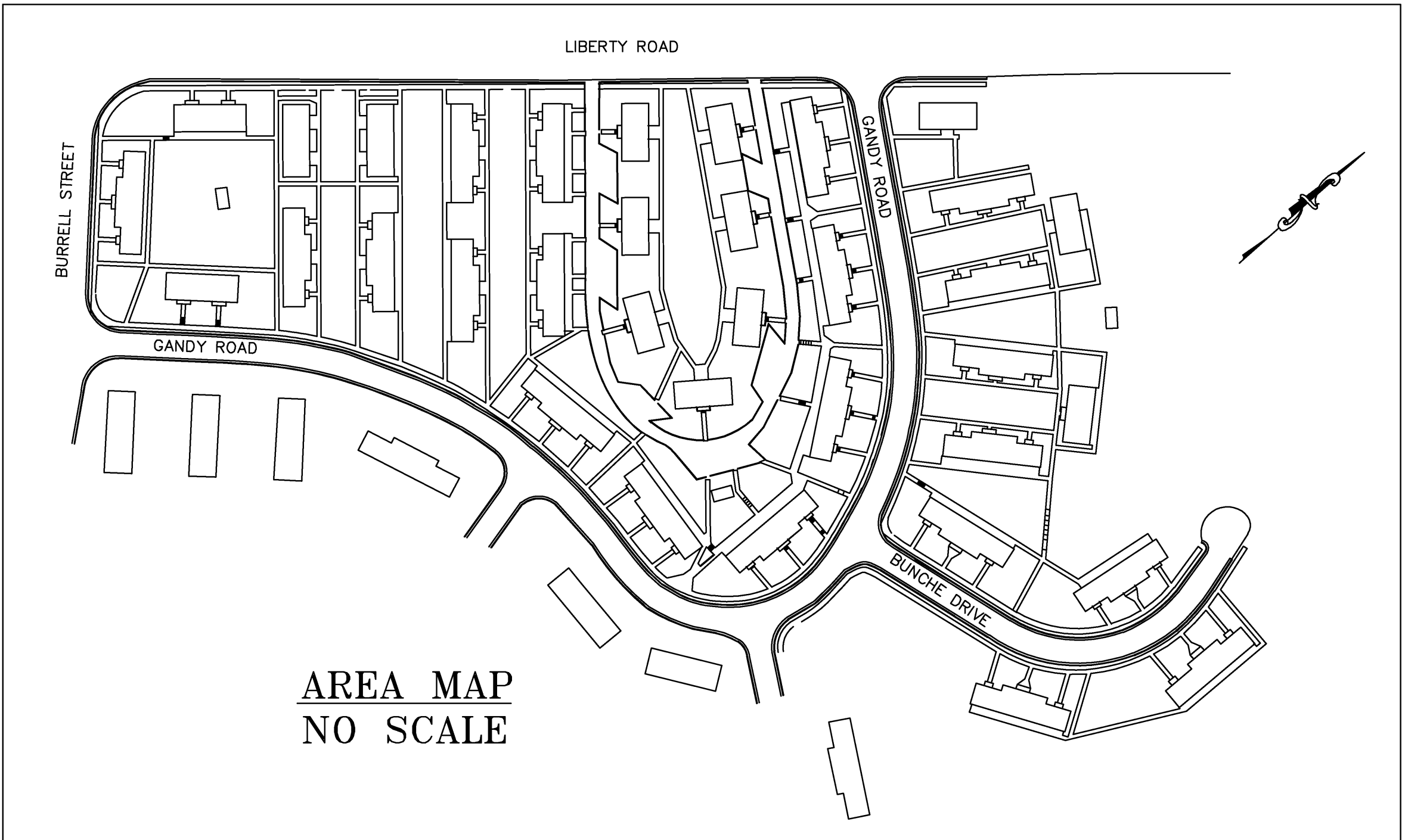
BARRICADES/DITCHES - THE CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF ALL EXCAVATED DITCHES AND SHALL
FURNISH AND ENSURE THAT ALL BARRICADES PROPER AND NECESSARY FOR THE SAFETY OF THE PUBLIC ARE IN
PLACE.

SEWER AND PAVEMENT REPLACEMENT - CONSTRUCTION OF SANITARY SEWERS AND THE REPLACEMENT OF
PAVEMENT SHALL BE IN ACCORDANCE WITH APPROVED STANDARDS AND SPECIFICATIONS OF THE CITY OF ROANOKE.

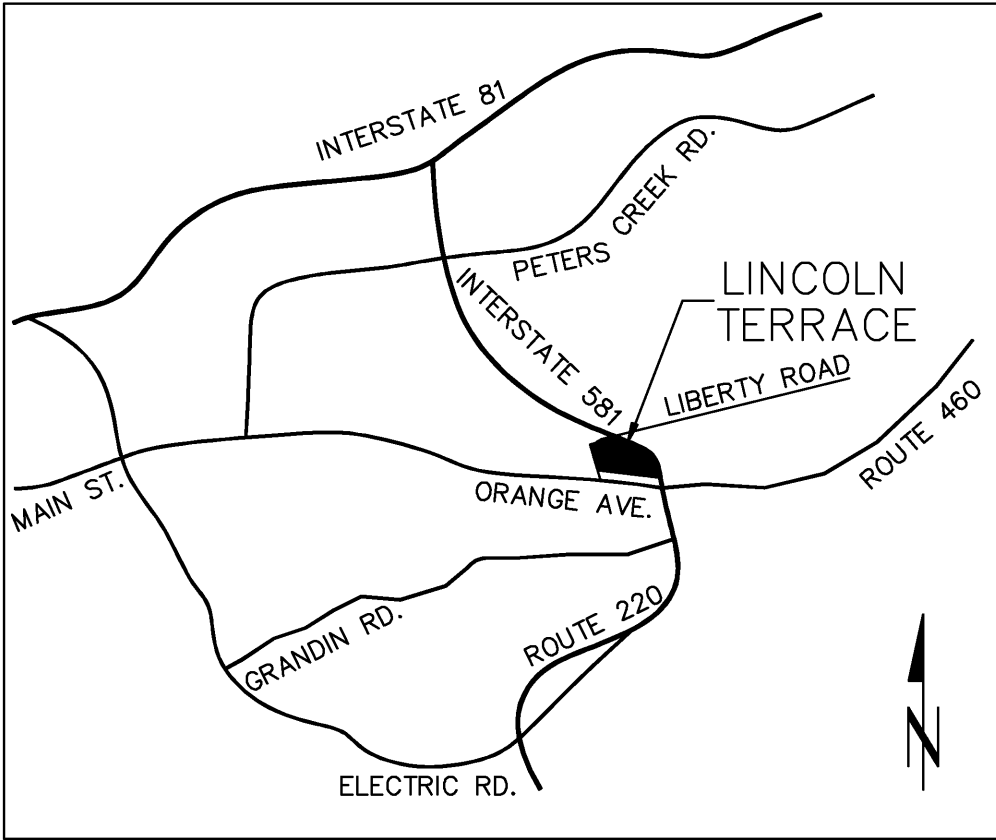
APPROVED PLANS/CONSTRUCTION CHANGES - ANY CHANGE OR VARIATION FROM CONSTRUCTION DESIGN AS
SHOWN ON THE OFFICIALLY APPROVED PLANS SHALL BE APPROVED BY THE CITY ENGINEER PRIOR TO SAID
CHANGES OR VARIATION IN CONSTRUCTION BEING MADE.

FINAL ACCEPTANCE/CITY - THE DEVELOPER OR CONTRACTOR SHALL FURNISH THE CITY OF ROANOKE'S ENGINEERING
DEPARTMENT WITH A FINAL CORRECT SET OF AS-BUILT PLANS PRIOR TO FINAL ACCEPTANCE BY THE CITY.

FLOOD STATEMENT:
THIS PROPERTY DOES NOT LIE WITHIN THE LIMITS OF A 100-YEAR FLOOD BOUNDARY AS DESIGNATED BY
CURRENT FEMA MAPS.



AREA MAP
NO SCALE



VICINITY MAP
NO SCALE

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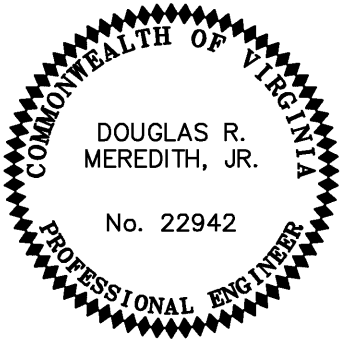
APPROVED BY:

AGENT TO THE PLANNING COMMISSION

DATE

CITY ENGINEER

DATE



COMM. NO. 1163
SET NO. _____
DATE _____

LMW P.C.
ENGINEERING • SURVEYING • ARCHITECTURE
(540) 345-0675 1401 2nd STREET, S.W.
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