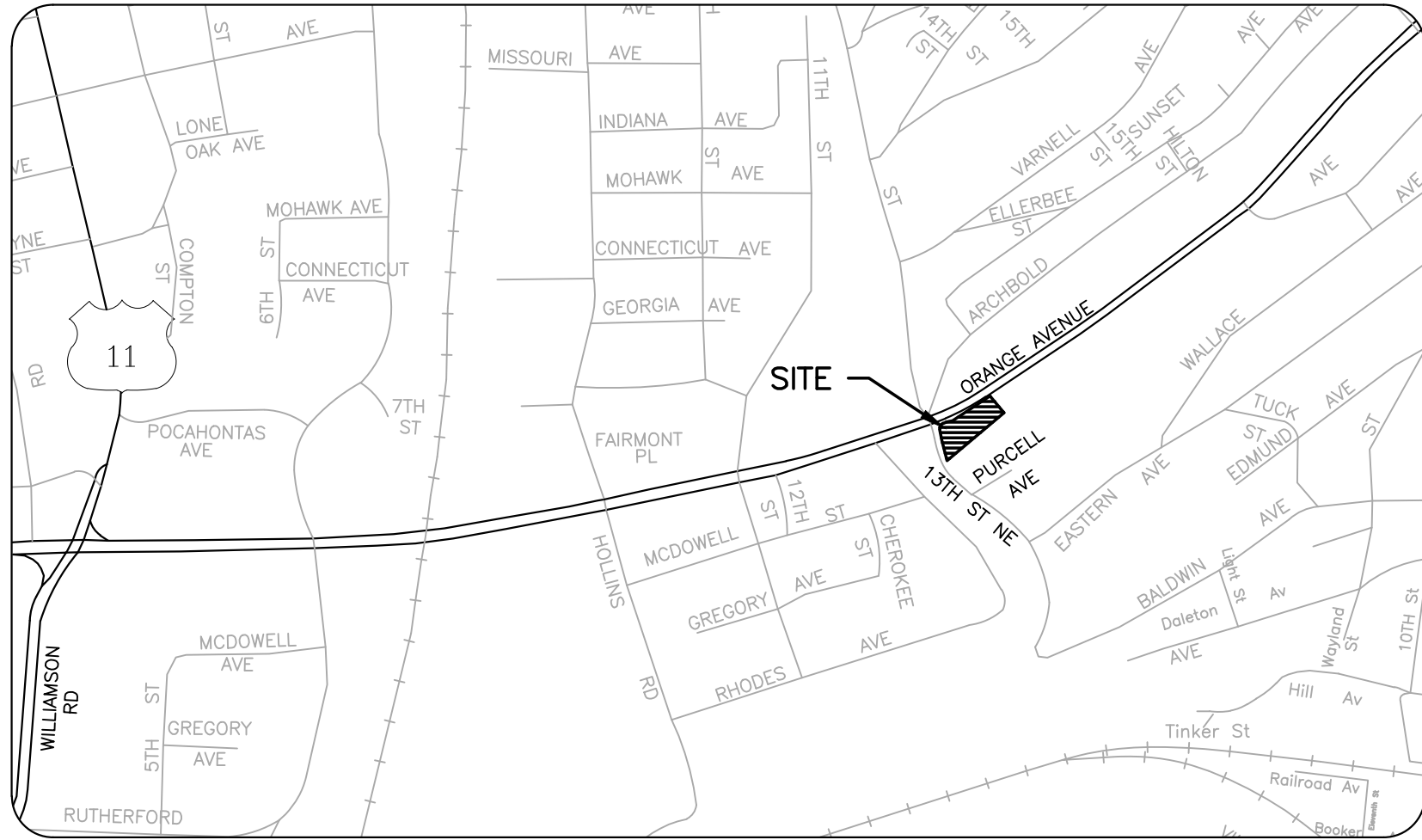


VICINITY MAP

NTS



LEGEND

-----348-----	EX. INTRMDT. CONTOUR	-----	PROP. INTRMDT. CONTOUR
---345---	EX. INDEX CONTOUR	-----1320-----	PROP. INDEX CONTOUR
+ 35.55	EX. SPOT ELEVATION	+ 35.55	PROP. SPOT ELEVATION
8" WL	EX. WATER LINE	8" WL	PROP. WATER LINE
8" SAN	EX. SANITARY SEWER	8" SAN	PROP. SANITARY SEWER
18"RCP	EX. STORM PIPE	-----	PROP. STORM PIPE
---	EX. EDGE OF PAVEMENT	---	PROP. EDGE OF PAVEMENT
---	EX. BUILDING	---	PROP. BUILDING
CONCRETE	EX. CONCRETE	CONCRETE	PROP. CONCRETE
PAVEMENT	EX. PAVEMENT	PAVEMENT	PROP. ASPHALT PAVEMENT (STANDARD/HEAVY DUTY)
GRAVEL	EX. GRAVEL	GRAVEL	PROP. GRAVEL
PAVEMENT REPLACEMENT		PAVEMENT REPLACEMENT	PROP. PAVERS
EX. POWER POLE		EX. POWER POLE	
EX. SANITARY SEWER MANHOLE		EX. SANITARY SEWER MANHOLE	
EX. STORM SEWER MANHOLE		EX. STORM SEWER MANHOLE	
CLEANOUT		CLEANOUT	
EX. LIGHT POLE		EX. LIGHT POLE	
WATER LINE REDUCER		WATER LINE REDUCER	
EX. TELEPHONE		EX. TELEPHONE	
EX. GAS LINE		EX. GAS LINE	
OHU	EX. OVERHEAD CABLE	OHU	PROP. OVERHEAD CABLE
X	EX. FENCE	X	PROP. FENCE
EX. TREE LINE		EX. TREE LINE	
ADJOINING PROPERTY LINE		ADJOINING PROPERTY LINE	
EXISTING ROAD MONUMENTS		EXISTING ROAD MONUMENTS	
WETLAND AREA		WETLAND AREA	
		PROP. POWER POLE	
		PROP. MANHOLE	
		SIGN	
		WATER METER	
		PROP. GATE VALVE	
		BLOW-OFF VALVE	
		BENCHMARK	
		PROP. GAS LINE	
		PROP. UNDERGRND POWER LINE	
		PROP. FENCE	
		PROP. TREE LINE	
		SITE PROPERTY LINE	
		INLET PROTECTION	

ABBREVIATIONS

AHFH	ARROW HEAD TOP OF FIRE HYDRANT	EVC'S	END VERT. CURVE STA.	RR	RAILROAD
APPROX	APPROXIMATE	EW	ENDWALL	RYS	REAR YARD SETBACK
ASPH	ASPHALT	EXIST	EXISTING	SAN	SANITARY
BC	BACK OF CURB	FDN	FOUNDATION	SBL	SOUTH BOUND LANE
BIT	BITUMINOUS	FF	FINISHED FLOOR	SD	STORM DRAIN
BLDG	BUILDING	FG	FINISH GRADE	SECT	SECTION
BLK	BLOCK	GBE	GRADE BREAK ELEVATION	SE	SLOPE EASEMENT
BM	BENCHMARK	GBS	GRADE BREAK STATION	SS	SANITARY SEWER
BS	BOTTOM OF BOTTOM STEP	HOA	HOMEOWNERS ASSOCIATION	SSD	STOPPING SIGHT DISTANCE
BVCE	BEGIN VERT. CURVE ELEV.	HPT	HIGH POINT	SSE	SANITARY SEWER EASEMENT
BVCS	BEGIN VERT. CURVE STA.	HSD	HEADLIGHT SIGHT DISTANCE	STA	STATION
BW	BOTTOM OF WALL	INTX	INTERSECTION	STD	STANDARD
CB	CINDER BLOCK	INV	INVERT	STO	STORAGE
C&G	CURB & GUTTER	IP	IRON PIN	SYS	SIDE YARD SETBACK
CMP	CORRUGATED METAL PIPE	LT	LEFT	TBM	TEMPORARY BENCHMARK
CONC	CONCRETE	LVC	LENGTH OF VERTICAL CURVE	TBR	TO BE REMOVED
COR	CORNER	MH	MANHOLE	TC	TOP OF CURB
DBL	DOUBLE	MIN	MINIMUM	TEL	TELEPHONE
DEFL	DEFLECTION	MBL	MINIMUM BUILDING LINE	TRANS	TRANSFORMER
DI	DROP INLET	MON	MONUMENT	TS	TOP OF TOP STEP
DIA	DIAMETER	NBL	NORTH BOUND LANE	TW	TOP OF WALL
DE	DRAINAGE EASEMENT	PROP	PROPOSED	TYP	TYPICAL
ELEC	ELECTRIC	PUE	PUBLIC UTILITY EASEMENT	VDOT	VIRGINIA DEPARTMENT OF TRANSPORTATION
ELEV	ELEVATION	PVMT	PAVEMENT	VERT	VERTICAL
ENTR	ENTRANCE	R	RADIUS	WBL	WEST BOUND LANE
EP	EDGE OF PAVEMENT	RT	RIGHT	YD	YARD
EVCE	END VERT. CURVE ELEV.	R.O.W.	RIGHT OF WAY		
		REQD	REQUIRED		

LITTLE CAESARS

ORANGE AVENUE

1321 ORANGE AVE NE

CITY OF ROANOKE, VIRGINIA

SHEET INDEX

C1	COVER	C9	UTILITY PROFILES
C2	NOTES	C10	DETAILS I
C3	EXISTING CONDITIONS & DEMO PLAN	C11	DETAILS II
C4	LAYOUT & UTILITY PLAN	C12	W.V.W.A. DETAILS
C5	GRADING PLAN	C13	LANDSCAPE PLAN
C6	E.S.C. PLAN		
C7	E.S.C. NOTES		
C8	E.S.C. DETAILS		

WESTERN VIRGINIA WATER AUTHORITY NOTES:

AVAILABILITY No.: 21-XXX

GENERAL NOTES:

A PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED WITH THE WESTERN VIRGINIA WATER AUTHORITY TO BE HELD AT LEAST ONE (1) DAY PRIOR TO ANY CONSTRUCTION OF THE APPROVED WATER AND SANITARY SEWER FACILITIES.

A MINIMUM COVER OF THREE (3) FEET IS REQUIRED ON ALL WVWA WATER AND SEWER LINES..

ALL SANITARY SEWER AND WATER CONNECTIONS TO EXISTING LINES SHALL BE COORDINATED WITH AND PERFORMED BY THE WESTERN VIRGINIA WATER AUTHORITY.

CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND UNCOVERING VALVE VAULTS, MANHOLES, ETC. AFTER PAVING AND ADJUSTING TO FINAL GRADE IF NECESSARY.

ALL EXISTING UTILITIES MAY NOT BE SHOWN OR MAY NOT BE SHOWN IN THE EXACT LOCATION. THE CONTRACTOR SHALL NOTIFY MISS UTILITY AND SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES IN THE AREAS OF CONSTRUCTION PRIOR TO STARTING WORK.

ALL TRENCHES IN EXISTING OR FUTURE HIGHWAY RIGHT-OF-WAYS SHALL BE COMPACTED ACCORDING TO CITY OF ROANOKE STANDARDS. LINES SHALL BE STAKED PRIOR TO CONSTRUCTION.

CONTRACTOR SHALL REFER TO THE WESTERN VIRGINIA WATER AUTHORITY STANDARD WATER AND SEWER REGULATIONS FOR CONSTRUCTION DETAILS AND INSTALLATION METHODS AS REQUIRED TO COMPLETE THE PROPOSED UTILITY FACILITIES AS INDICATED BY THESE DRAWINGS.

FIELD CHANGES SHALL BE SUBMITTED BY THE ENGINEER OF RECORD TO THE LOCALITY AND BE APPROVED BY THE WVWA.

THE CONTRACTOR SHALL PROVIDE THE WESTERN VIRGINIA WATER AUTHORITY WITH CORRECT AS-BUILT PLANS PRIOR TO SUBSTANTIAL COMPLETION OF ANY NEW PUBLIC EXTENSIONS.

ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE DESIGN AND CONSTRUCTION STANDARDS ND SPECIFICATIONS OF THE WESTERN VIRGINIA WATER AUTHORITY (WVWA) AVAILABLE AT WWW.WESTERNVAVATER.ORG OR BY CONTACTING THE AUTHORITY AT (540) 853-5700. THE PROJECT SHALL ALSO COMPLY WITH THE GOVERNING JURISDICTION'S STANDARDS AND OTHER AGENCY'S STANDARDS (E.G. VDOT, DEQ, DCR, VDH, ETC.) WHERE APPLICABLE.

PLAN APPROVAL BY THE WVWA DOES NOT REMOVE THE CONTRACTOR'S RESPONSIBILITY TO REMOVE OR RELOCATE ANY EXISTING CONFLICTS FOUND DURING CONSTRUCTION.

ALL PRIVATE UTILITY CONSTRUCTION, I.E. PIPING, VALVES, HYDRANTS, METERS AND BOXES, CLEAN OUTS, SANITARY SEWER MANHOLES, BEDDING, ETC. SHALL COMPLY WITH THE CURRENT VIRGINIA UNIFORM STATEWIDE BUILDING CODE (INCLUDING AMENDMENTS).

THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 18" CLEARANCE VERTICALLY AND TWO (2) FOOT MINIMUM HORIZONTALLY FROM THE OUTSIDE OF PIPE TO OUTSIDE OF PIPE WITH ALL OTHER UNDERGROUND UTILITIES. WHERE THIS CANNOT BE ACHIEVED, ADDITIONAL MEASURES IN ACCORDANCE WITH WVWA STANDARDS SHALL BE ENFORCED.

ALL UTILITY GRADE ADJUSTMENTS SHALL BE IN ACCORDANCE WITH WVWA STANDARDS AND ARE THE RESPONSIBILITY OF THE CONTRACTOR.

WATER NOTES

WATER MAINS SHALL BE MINIMUM CLASS 350 DUCTILE IRON IN ACCORDANCE TO AWWA C151 OR DR-14 PVC IN ACCORDANCE WITH AWWA C-900.

WATER LATERALS FROM THE METER TO THE BUILDING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE.

THE CONSTRUCTION OF THE PROPOSED PUBLIC WATER MAIN AND ALL COMMERCIAL SERVICES SHALL BE IN COMPLIANCE WITH THE CURRENT WESTERN VIRGINIA WATER AUTHORITY REGULATIONS. REFER TO THESE REGULATIONS FOR COMPLETE DETAILS AND INSTALLATION METHODS.

SEWER NOTES:

COMMERCIAL SANITARY SEWER LATERAL SHALL BE MINIMUM 6" PIPE INSTALLED AT SLOPES AS SHOWN ON THE PLAN.

THE LATERALS AND REQUIRED FITTINGS LOCATED WITHIN A PUBLIC RIGHT-OF-WAY OR PUBLIC EASEMENT SHALL BE OF THE SAME TYPE OF MATERIAL AS THE MAINLINE SEWER PIPE.

THE CONSTRUCTION OF THE PROPOSED PUBLIC SEWER MAIN AND ALL COMMERCIAL SERVICES SHALL BE IN COMPLIANCE WITH THE CURRENT WESTERN VIRGINIA WATER AUTHORITY REGULATIONS. REFER TO THESE REGULATIONS FOR COMPLETE DETAILS AND INSTALLATION METHODS.

ALL SANITARY SEWER PIPING SHALL BE PVC (POLYVINYL CHLORIDE) MANUFACTURED IN ACCORDANCE WITH ASTM DESIGNATION 3034-77 (SDR 35) UNLESS OTHERWISE NOTED ON THE PLANS/PROFILES.

ALL MANHOLE FRAMES AND COVERS SHALL BE WATERTIGHT AND ALL COVERS SHALL BE BOLT-DOWN MANHOLE COVERS (SEE DETAIL S-05 AND S-06) WHERE APPLICABLE.

CITY OF ROANOKE & UTILITY CONTACTS:

CITY OF ROANOKE DEVELOPMENT REVIEW COORDINATOR - ADRIAN GILBERT (540) 853-5796

ROANOKE GAS COMPANY - BRETT BENNETT

VERIZON - WILLARD DIETZ (540) 265-7510

AMERICAN ELECTRIC POWER - KEITH FREEMAN (540) 427-3643

WESTERN VIRGINIA WATER AUTHORITY - AARON SHEARER (540) 283-2941

CITY OF ROANOKE TRAFFIC ENGINEER - IAN COFFEY (540) 853-2210

SITE & ZONING SUMMARY:

OWNER: ROCKY MOUNT REALTY LLC
P.O. BOX 818 28367
CHARLESTON, SC 29402-0818

TAX MAP NUMBERS: 3210101, 3210105, 3210106, 3210107

TOTAL EXISTING LOT SIZE: 3210101 - 0.4145 AC. ±
3210105 - 0.1165 AC. ±
3210106 - 0.2201 AC. ±
3210107 - 0.2031 AC. ±

PROPOSED LOT A: ±0.4232 AC.

PROPOSED LOT B: ±0.5310 AC.

PROPOSED USE: EATING AND DRINKING ESTABLISHMENT

ZONING: CG - COMMERCIAL GENERAL

ORD#: 38464-051809

CG DISTRICT REGULATIONS:

MINIMUM / MAXIMUM LOT AREA: 10,000 SF / 130,680 SF.

LOT AREA PROVIDED: LOT A ±18,400 SF.

LOT B ±23,100 SF

MINIMUM / MAXIMUM LOT FRONTAGE: 100' / NO MAX.

LOT FRONTAGE PROVIDED: LOT A: ±161'

LOT B: ±296'

SETBACKS:

FRONT YARD MINIMUM / MAXIMUM SETBACK: NONE / 30'

SIDE YARD SETBACK: NONE

REAR YARD SETBACK: NONE

MAXIMUM BUILDING HEIGHT: 45' FOR PROPERTY ABUTTING A RESIDENTIAL DISTRICT
NONE FOR PROPERTY NOT ABUTTING A RESIDENTIAL DISTRICT

IMPERVIOUS SURFACE AREA MAX: 85%

IMPERVIOUS SURFACE AREA PROVIDED: LOT A: ±75%

LOT B: ±95% (EXISTING)

MINIMUM TREE CANOPY REQUIRED: 10% OF LOT AREA (DISTURBED)

TREE CANOPY PROVIDED: 10%

MINIMUM FACADE TRANSPARENCY REQUIRED: 50% GROUND FLOOR, 20% UPPER FLOORS

FACADE TRANSPARENCY PROVIDED: 57%

PARKING SUMMARY:

OFF-STREET PARKING REQUIRED (MINIMUM): 18 SPACES

1 SPACES PER 100 SF NET FLOOR AREA

+/-1,750 SF PROPOSED / 100 = 18 SPACES

OFF-STREET PARKING PROVIDED: 18 SPACES

OFF-STREET HANDICAPPED PARKING SPACES

REQUIRED: 1 SPACES

PROVIDED: 1 SPACES

ENGINEERS NOTES:

BALZER AND ASSOCIATES, INC. ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF PLANS OR FOR INFORMATION ON PLANS UNTIL SUCH PLANS HAVE BEEN APPROVED BY THE REQUIRED PUBLIC AGENCIES.

ANY WORK COMMENCED ON A PROJECT PRIOR TO PLAN APPROVAL IS AT SOLE RISK OF THE DEVELOPER.

BALZER AND ASSOCIATES, INC. WILL NOT BE RESPONSIBLE FOR THE CONTRACTORS FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE PLANS OR WILL NOT BE RESPONSIBLE FOR ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR THEIR AGENTS OR EMPLOYEES, OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.

SOURCE OF TOPOGRAPHIC MAPPING IS FIELD SURVEY PERFORMED BY BALZER AND ASSOCIATES, INC., DATED JANUARY 2021.



COMPREHENSIVE

SITE PLAN #:

CP21-0014

City of Roanoke
Planning, Building, & Development

COMPREHENSIVE DEVELOPMENT PLAN

APPROVED

by Ken Richardson 07/13/2021

CITY OF ROANOKE APPROVAL BLOCK

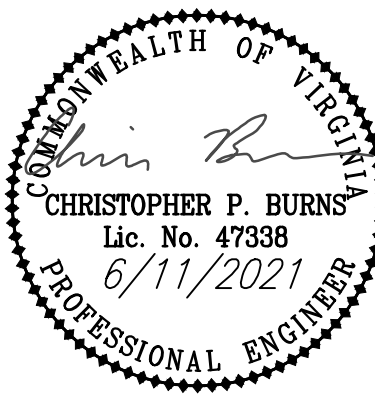


BALZER & ASSOCIATES
PLANNERS / ARCHITECTS
ENGINEERS / SURVEYORS

Roanoke / Richmond
New River Valley / Staunton
Harrisonburg / Lynchburg

www.balzer.cc

1208 Corporate Circle
Roanoke, VA 24018
540.772.9580



LITTLE CAESARS ORANGE AVENUE

COVER

1321 ORANGE AVENUE NE
CITY OF ROANOKE, VA

DRAWN BY KAM
DESIGNED BY BTC
CHECKED BY BTC
DATE 6/11/2021
SCALE N/A
REVISIONS

C1
PROJECT NO. 04180041.00