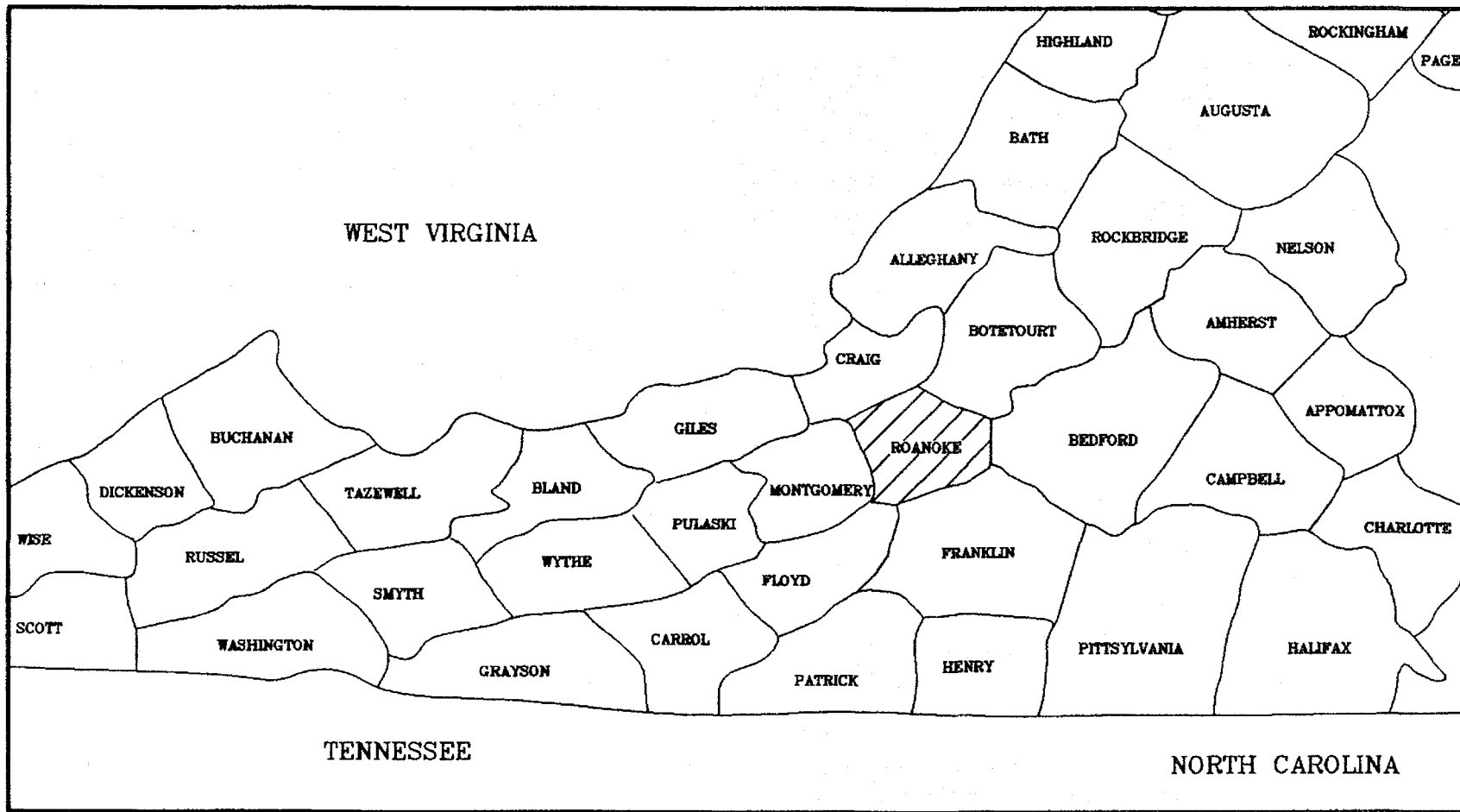




LOCATION MAP
NTS

The boundary and topographic data shown on these plans is based on a field run survey by Tysinger, Hampton, & Partners, Project No. 0221701C.

The contractor(s), or anyone using these documents is advised to layout his work and verify the actual field conditions relative to the designs shown on the drawings. Any discrepancies encountered that would effect the proper installation or construction of the proposed improvements shall be reported to the Owner and/or Engineer in order to allow for necessary adjustments in the plans.

The contractor shall layout in the field all the elements of the improvements, prior to and well ahead of construction, to insure that no conflicts exist between any underground service utilities or drain lines, including their minimum depths below finished surfaces, the surface elevations of all manholes and catch basins relative to finished grades, and the planned improvements. Any discrepancies encountered shall be reported to the Owner and/or Engineer in order to allow for necessary adjustments in the plans.

The contractor(s) shall maintain accurate and legible records of all installations, and deliver the same to the Owner in a form adequate to readily transfer the data directly to record ("as-built") drawings as required by the reviewing agencies. The form and adequacy of these records are subject to the approval of recipient.

CONSTRUCTION SEQUENCE (PHASE I)

- Obtain all necessary permits and approvals.
- Install new erosion control measures.
 - Construction Entrance.
 - Silt Fence.
 - Pipe Protection.
 - Inlet Protection.
 - Sediment Basin.
 - Diversion Berm.
- Have site inspected by city.
- Rough grade site.
- Seed slopes.
- Construct underground drainage system.
- Commence with Phase II.

CONSTRUCTION SEQUENCE (PHASE II)

- Install additional erosion control measures.
 - Inlet Protection.
 - Pipe Protection.
- Activate underground drainage system.
- Finish site grading.
- Construct curb and gutter.
- Install stone base.
- Remove inlet protection.
- Seed pervious areas.
- Pave site.
- Clean up site and reseed all bare areas.
- Have site inspected by city.
- Remove silt fence and pipe protection.

UTILITY LIST

UTILITY		WATER
NAME :		ROANOKE COUNTY UTILITY DEPARTMENT
ADDRESS :		1206 KESSLER MILL ROAD SALEM, VA 24153
CONTACT :		BOB FRONK
PHONE :		(540) 387-6104

UTILITY		SANITARY SEWER
NAME :		ROANOKE COUNTY UTILITY DEPARTMENT
ADDRESS :		1206 KESSLER MILL ROAD SALEM, VA 24153
CONTACT :		BOB FRONK
PHONE :		(540) 387-6104

UTILITY		NATURAL GAS
NAME :		ROANOKE GAS COMPANY
ADDRESS :		P.O. BOX 13007 ROANOKE, VA 24032
CONTACT :		DON JONES
PHONE :		(540) 777-3851

UTILITY		ELECTRICITY
NAME :		AMERICAN ELECTRIC POWER
ADDRESS :		P.O. BOX 2021 ROANOKE, VA 24022
CONTACT :		MARTIN MCGEE
PHONE :		(540) 427-3664

UTILITY		TELEPHONE
NAME :		VERIZON
ADDRESS :		600 EAST MAIN STREET 6TH FLOOR RICHMOND, VA 23219
CONTACT :		DAVID SCOTT
PHONE :		1-800-607-6575 (Ext. 1186)

of EAST ROANOKE, VIRGINIA

Index of Civil Site Plans :

CS-1.1	Civil Site Plans - Cover Sheet
CS-1.2	Bonding Chart
CS-2.1	Existing Conditions
CS-3.1	Demolition Plan
CS-4.1	Site Plan
CS-4.2	Site Plan - Retaining Wall Layout
CS-5.1	Erosion & Sediment Control Plan
CS-6.1	Grading Plan
CS-7.1	Stormwater Plan
CS-8.1	Utility Plan
CS-8.2	Stormwater Profiles
CS-8.3	Stormwater & Sanitary Sewer Profiles
CS-9.1, 9.2, 9.3	Site Details
CS-9.4	Underground Detention & Details
CS-10.1	Landscape Plan
CS-11.1	Easement Plan

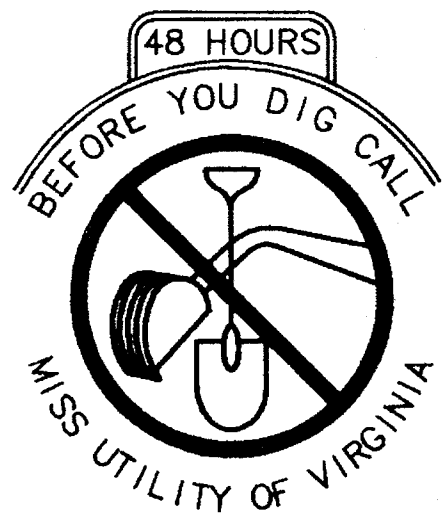
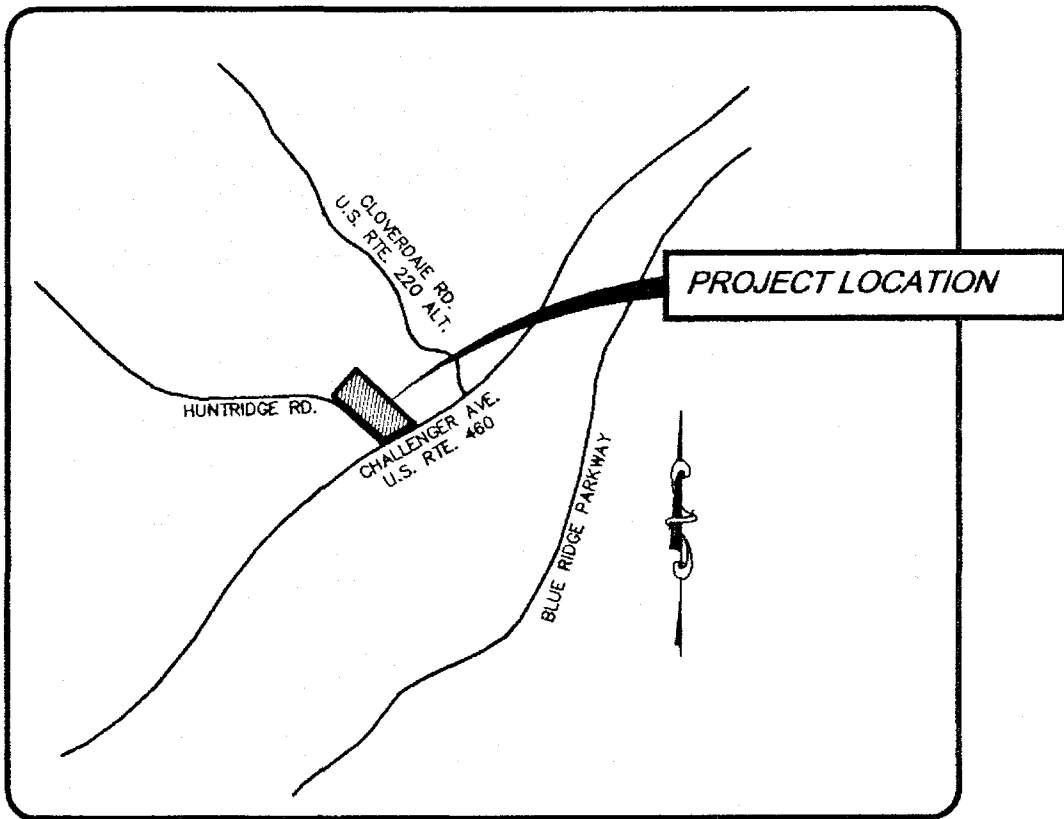
Retaining Wall Plans

SRW-1	Segmental Retaining Wall
SRW-2	Segmental Retaining Wall
SRW-3	Segmental Retaining Wall
SRW-4	Segmental Retaining Wall
SRW-5	Segmental Retaining Wall
SRW-6	Segmental Retaining Wall

Site Lighting Plans

SL-1	Site Lighting Plan
SL-2	Site Lighting Schedules, Notes & Details
SL-3	Site Photometric Plan

VICINITY MAP - NOT TO SCALE



1-800-552-7001

APPROVE "AS-BUILT"
PLANS DATE 4/28/03

DEVELOPMENT PLAN APPROVED FOR CONSTRUCTION		
DEPARTMENT		DATE
DEVELOPMENT		
ENGINEERING	<i>[Signature]</i>	<i>[Signature]</i>
UTILITY DEPARTMENT		

COUNTY OF ROANOKE

NAME OF DEVELOPMENT	LOWE'S HOME IMPROVEMENT WAREHOUSE	I, <u>Bret Edmister</u> OWNER/DEVELOPER, AM AWARE OF THE SITE DESIGN REQUIREMENTS IMPOSED BY THIS SITE DEVELOPMENT PLAN AND OTHER APPLICABLE COUNTY CODES. I HEREBY CERTIFY THAT I AGREE TO COMPLY WITH THESE REQUIREMENTS, UNLESS MODIFIED IN ACCORDANCE WITH LOCAL LAW.			
MAGISTERIAL DISTRICT(S)	HOLLINS MAGISTERIAL DISTRICTS				
OWNER (name, address, telephone)	LOWE'S HOME CENTER'S INC.; HWY. 268 EAST DOCK, NORTH WILKESBORO, NC 28659; (336) 658-4000				
DEVELOPER (name, address, telephone)	LOWE'S HOME CENTER'S INC.; HWY. 268 EAST DOCK, NORTH WILKESBORO, NC 28659; (336) 658-4000				
ENGINEER, ARCHITECT OR SURVEYOR (name, address, telephone)	TYSINGER, HAMPTON & PARTNERS, INC.; 3428 BRISTOL HWY.; JOHNSON CITY, TN 37601; (423) 282-2687				
TAX MAP NO(S)	40.14	BLOCK NO(S)	1	PARCEL NO(S)	2, 2.9, 2.10, 2.11

LOWE'S

HOME CENTERS, INC.
P.O. BOX 1111 N. WILKESBORO, NC 28659

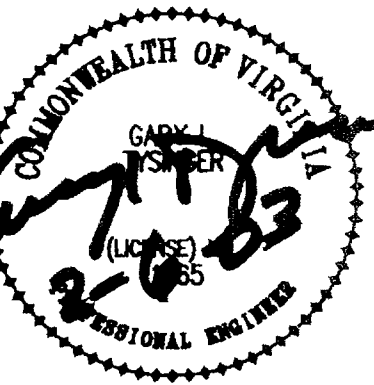
PRE-BID SET
ISSUE DATE
4/8/03
OWNER REVISION

THIS DRAWING IS THE PROPERTY OF LOWE'S HOME CENTERS, INC. ANY USE OR REPRODUCTION IN WHOLE OR PART IS PROHIBITED WITHOUT THE EXPRESSED WRITTEN CONSENT OF LOWE'S HOME CENTERS, INC. COPYRIGHT 2001 ALL RIGHTS RESERVED.

TH&P

TYSINGER, HAMPTON & PARTNERS

Engineers & Surveyors
PLANNERS & GEOLGISTS
3428 BRISTOL HWY.
JOHNSON CITY, TENNESSEE 37601
(423) 282-2687
(423) 854-1563 FAX
http://www.tysinger-engineering.com
http://www.tysinger-engineering.com



LOWE'S
ENGINEERING AND
CONSTRUCTION
HWY 268 EAST DOCK N. WILKESBORO, NC 28659
336.658.4000 (V)
336.658.3257 (F)

CIVIL SITE PLANS-COVER SHEET

LOWE'S OF:
EAST ROANOKE
ROANOKE, VIRGINIA

ORIGINAL
ISSUE DATE: APR 15 2003

PERMIT SET
ISSUE DATE:

CONSTRUCTION SET
ISSUE DATE:

DRAWING NUMBER:

CS-1.1
OF 11

T&P Project No. 0221701C