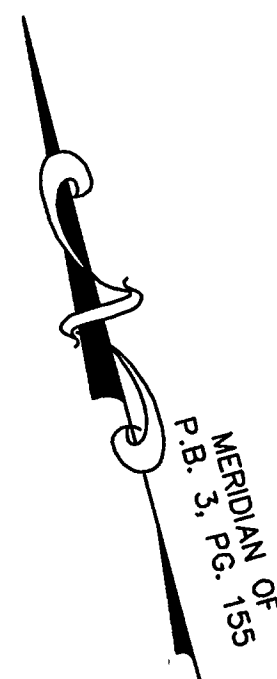


LEGEND:

- DOGWOOD
- EVERGREEN
- MAPLE, ELM, PECAN, & FRUIT TREES
- BUSHES
- MAGNOLIA OR LILAC
- MAILBOX
- UTILITY POLE
- LIGHT POLE



Survey Control Coordinates

PT #	North	East	Elevation	Description
73	5114.6850	4683.7834	106.51	Mag nail, South edge of Broadlawn Road
115	5399.5754	4753.1561	119.59	Mag nail, West edge of Lynnhope Drive

Manhole	North	East	Direction to Upstream Structure
ES-2	5202.1236	4431.6542	S 56-42-08 E 135.93
101	5127.4449	4545.2674	S 74-52-49 E 115.75
102	5097.2542	4657.0060	S 83-02-48 E 128.84
103	5081.6566	4784.8983	S 70-38-17 E 250.02
104	4998.7671	5020.7773	
102	5097.2542	4657.0060	N 15-23-35 E 67.82
201	5162.6384	4675.0074	N 16-54-08 E 335.88
202	5484.0126	4772.6627	

Site seeded, strawed 10/16/06

PROPERTY OF
GLADIOLA S. WALTHAL
TAX # 6400201
0.29 ACRES
ZONED R-7
MIN. SERVICE ELEV = 120.7

PROPERTY OF
AUDLEY Z. & VALRIE R.
HILL
TAX # 6400306
0.52 ACRES
ZONED R-7
MIN. SERVICE ELEV = 120.7

PROPERTY OF
ERMA L. ROSE
TAX # 6400202
0.29 ACRES
ZONED R-7
F.F. ELEV = 124.4
MIN. SERVICE ELEV = 116.4

PROPERTY OF
WILLIAM J. BROWN
TAX # 6400304
0.25 ACRES
ZONED R-7
F.F. ELEV = 126.24
MIN. SERVICE ELEV = 117.2

PROPERTY OF
SEVENTEENTH CENTURY
BUILDERS LLC
TAX # 6400203
0.29 ACRES
ZONED R-7
MIN. SERVICE ELEV = 112.7

PROPERTY OF
DELORES S. WATTS
TAX # 6400303
0.25 ACRES
ZONED R-7
F.F. ELEV = 125.68
MIN. SERVICE ELEV = 113.1

PROPERTY OF
GEORGIA COFFMAN
TAX # 6400204
0.28 ACRES
ZONED R-7
F.F. ELEV = 113.52
MIN. SERVICE ELEV = 107.8

PROPERTY OF
CAMELLIA C. THOMPSON
TAX # 6400302
0.24 ACRES
ZONED R-7
F.F. ELEV = 122.49
MIN. SERVICE ELEV = 109.8

PROPERTY OF
JAMES N. & HELEN A.
LOGAN
TAX # 6400205
0.23 ACRES
ZONED R-7
F.F. ELEV = 110
MIN. SERVICE ELEV = 104.6

PROPERTY OF
BEVERLY E. & MARZENIA G.
WARREN
TAX # 6400301
0.25 ACRES
ZONED R-7
F.F. ELEV = 113.65
MIN. SERVICE ELEV = 107.1

PROPERTY OF
THEODORE J. & SHARON C.
HACKLEY
TAX # 6400317
0.46 ACRES
ZONED R-7
MIN. SERVICE ELEV = 115.3

PROPERTY OF
ESTHER T. KAMARA
TAX # 6400610
0.46 ACRES
ZONED R-7

PROPERTY OF
LYNDON P. & DORRETT E.
WALLACE
TAX # 6400609
0.34 ACRES
ZONED R-7

PROPERTY OF
MAXINE E. CRANEY
TAX # 6400608
0.34 ACRES
ZONED R-7

PROPERTY OF
HOWARD J. ARRINGTON
TAX # 6370802
0.21 ACRES
ZONED R-7

PROPERTY OF
CORNEILL SR. &
RENEE G. WALKER
TAX # 6370801
0.23 ACRES
ZONED R-7

PROPERTY OF
WINFRED J. & FRANCES S.
GARST
TAX # 6370719
16.79 ACRES
ZONED R-7

MH	Depth	Length
101	7.5'	Ex → 101 136.5'
102	5.5'	101 → 102 113.0'
103	6.5'	102 → 103 129.0'
201	6.5'	102 → 201 67.75'
202	5.5'	102 → 202 333.7'

Total Length = 779.95' or 780'

THE CONTRACTOR SHALL BE FAMILIAR WITH THE FOLLOWING WESTERN VIRGINIA WATER AUTHORITY (WVWA) DETAILS:

- S-01 4" STANDARD MANHOLE - 6 TOTAL
- S-08 SANITARY SEWER LATERALS - 17 TOTAL
- S-25/S-30 STONE BEDDING - 325 TONS

OTHER GENERAL ITEMS INCLUDE THE FOLLOWING ITEMS:

- DIRECTIONAL DRILLING OF LATERALS & PORTION OF MAIN (SEE PROFILES)
- WORKING IN CLOSE PROXIMITY TO EXISTING WATERLINES
- TREE REMOVAL AND DISPOSAL
- TREE ROOT PROTECTION

GENERAL NOTES:

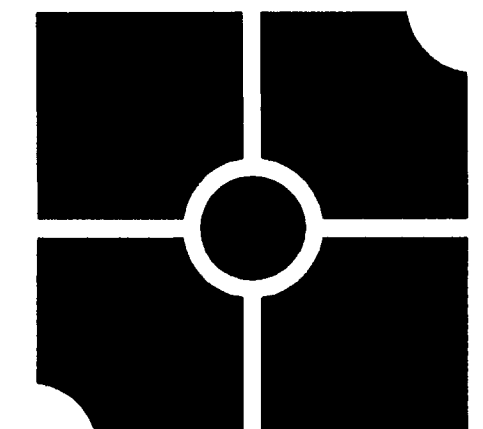
- 1) THE LOCATION OF EXISTING UTILITIES IS APPROXIMATE BASED UPON FIELD LOCATIONS OF "MISS UTILITY" MARKINGS. THE CONTRACTOR SHALL ANTICIPATE ENCOUNTERING UNDERGROUND ELECTRIC, TELEPHONE, GAS, AND EXISTING WATERLINES. THE CONTRACTOR SHALL CONTACT "MISS UTILITY" PRIOR TO ANY EXCAVATION.
- 2) PAVEMENT RECONSTRUCTION IS ANTICIPATED FOR FIVE (5) DRIVEWAYS. THE CONTRACTOR SHALL PROVIDE A NEAT, VERTICAL SAW CUT ALONG THE PAVEMENT EDGE TO BE REMOVED. THE CONTRACTOR SHALL PROTECT THE SAW CUT FOR THE PAVEMENT RECONSTRUCTION PROCESS IN ACCORDANCE WITH VDOT AND THE WESTERN VIRGINIA WATER AUTHORITY (WVWA). RECONSTRUCTED PAVEMENT SHOULD MATCH THE EXISTING PAVEMENT.
- 3) REFERENCE IS DIRECTED TO THE BENCHMARKS SHOWN ON THE PLAN. THESE BENCHMARKS ARE BASED ON PROJECT DATUM. AN ACTUAL FIELD SURVEY WAS PERFORMED TO LOCATE EXISTING FEATURES AND GRADES WITHIN THE SANITARY SEWER ALIGNMENT. CONTOURS SHOWN WITHIN THE SANITARY SEWER ALIGNMENT ARE BASED ON ACTUAL FIELD SURVEYS.

SITE NOTES:

- 1) THIS PROJECT REQUIRES THE INSTALLATION OF SANITARY SEWER MAIN AND SANITARY SEWER LATERALS. FIVE (5) PROPOSED LATERALS CROSS BROADLAWN ROAD. THIS INSTALLATION ANTICIPATES THE USE OF DIRECTIONAL DRILLING TO AVOID THE RECONSTRUCTION OF LYNNHOPPE DRIVE AND BROADLAWN ROAD. ACTUAL LENGTH OF DIRECTIONAL DRILL IS AT THE DISCRETION OF THE CONTRACTOR.
- 2) THE WVWA DOES NOT PROVIDE CONSTRUCTION STAKEOUT OF MANHOLES. PARKER DESIGN GROUP CAN PROVIDE CONSTRUCTION STAKEOUT AND CONSTRUCTION "CUT" SHEETS FOR THE FOLLOWING PRICES:
A) STAKEOUT OF MANHOLES & CLEANOUTS & PROVIDE CONSTRUCTION SHEETS = \$1000
B) PROVIDE 10' INCREMENTAL CONTROL POINTS FOR DIRECTIONAL DRILLING & CONSTRUCTION "CUT" SHEETS = \$1500
C) AS-BUILT VERIFICATION & PLAN REVISION = \$1000
- 3) THE CONTRACTOR SHALL PROVIDE EROSION & SEDIMENT CONTROL MEASURES AS REQUIRED TO CONSTRUCT THE SANITARY SEWER MAIN, LATERALS, AND MANHOLES. THE MINIMUM REQUIRED EROSION CONTROL MEASURES ARE SHOWN ON THIS PLAN.
- 4) SEE PROFILE SHEETS FOR APPROXIMATE UTILITY CONFLICTS AND LATERAL SLOPES.

SANITARY SEWER SERVICE NOTES:

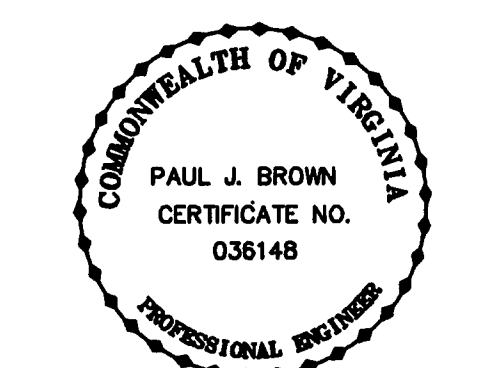
- 1) F.F. ELEVATIONS SHOWN REPRESENT THE LIVING LEVEL ELEVATION.
- 2) ALL HOUSES, EXCEPT ONE, HAVE BASEMENTS APPROXIMATELY 10' BELOW LIVING LEVEL.
- 3) BASEMENT LEVELS WEST OF LYNNHOPPE HAVE EXISTING SUMP PUMPS.
- 4) BASEMENT LEVELS SOUTH OF BROADLAWN MAY REQUIRE ADDITIONAL SUMP PUMPS.
- 5) ALL OTHER LOTS ARE SERVED BY GRAVITY SEWER.
- 6) "MIN. SERVICE ELEV" IS THE GRAVITY SERVICE ELEVATION FOR EACH LATERAL.
- 7) ALL SANITARY SEWER MAINS AND LATERALS CROSSING EXISTING PUBLIC PAVEMENTS SHALL BE DIRECTIONAL DRILLED.



parker
DESIGN GROUP

816 Boulevard
Salem, Virginia 24153
Phone: 540-387-1153
Fax: 540-389-5767
www.parkerdg.com

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**Sanitary Sewer Extension Along
Broadlawn Rd. & Lynnhope Dr.
For Western Virginia Water Authority**
Blks 1, 3, & 7, Sec 1, Covehaven Court
City of Roanoke, VA

REVISIONS:

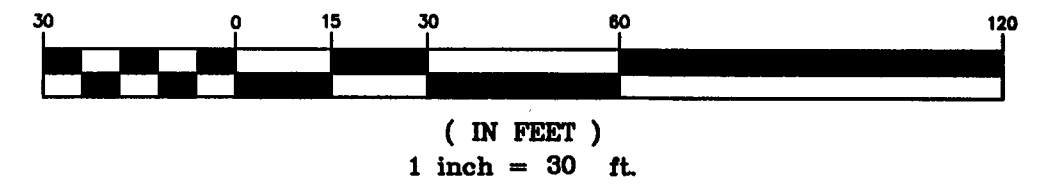
DESIGNED BY:	SLR
DRAWN BY:	SLR
CHECKED BY:	PJB
SCALE:	1" = 30'
DATE:	June 1, 2006

SHEET TITLE:
**Sanitary Sewer
& ESC Plan**

C02
02 OF 05
PROJECT NUMBER:
06-0140-01

AS-BUILTS 12/15/06 Ken Winslow

GRAPHIC SCALE



WVWA ID# 6XSPF8