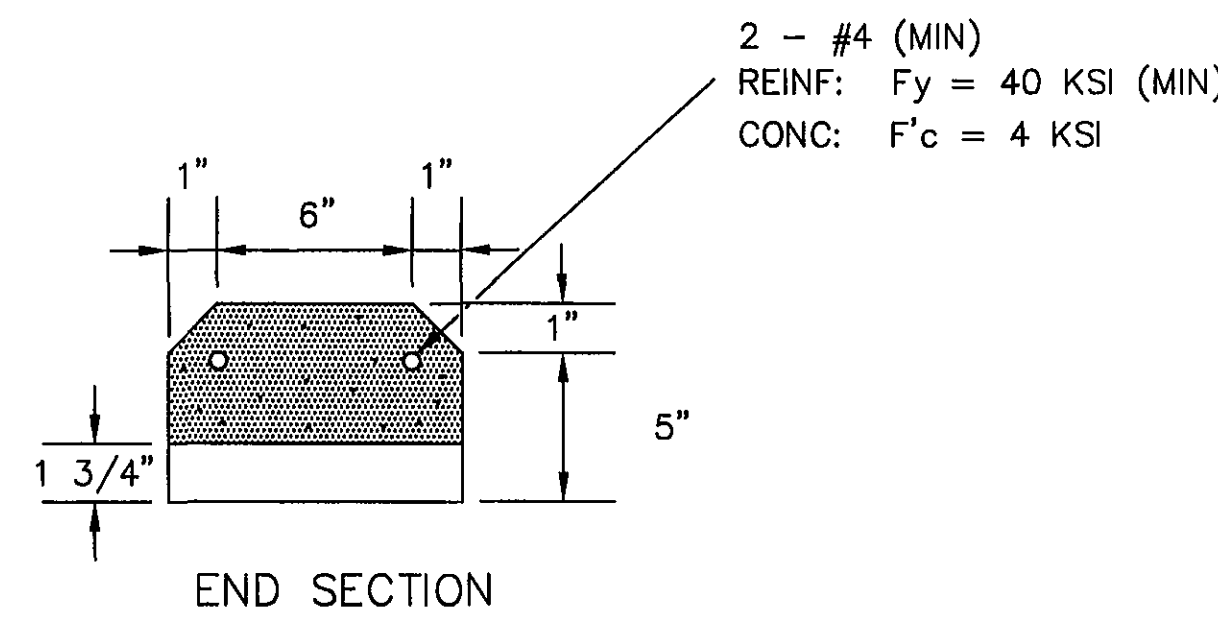
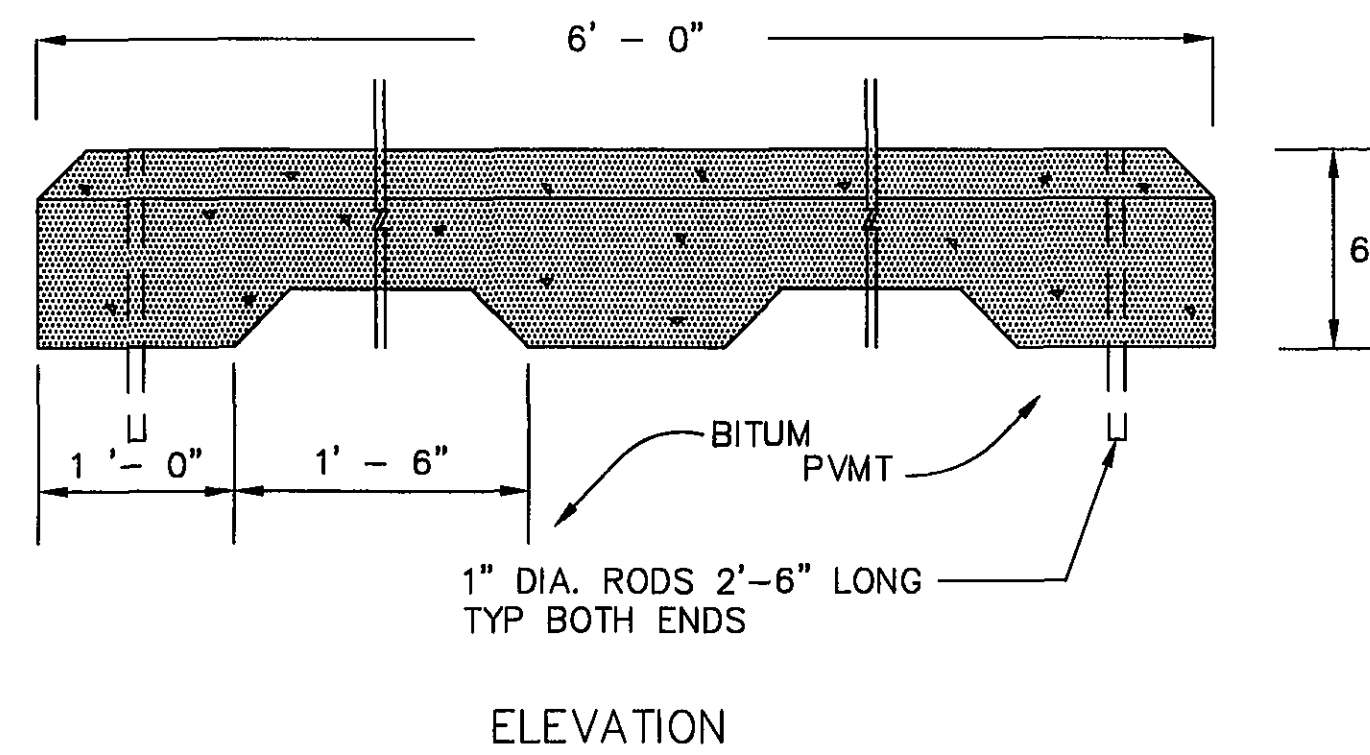
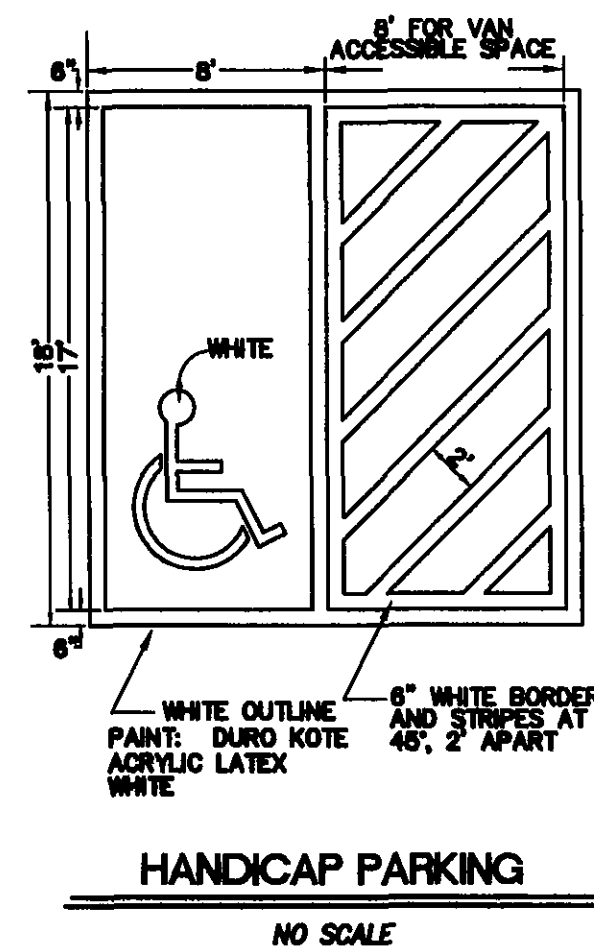
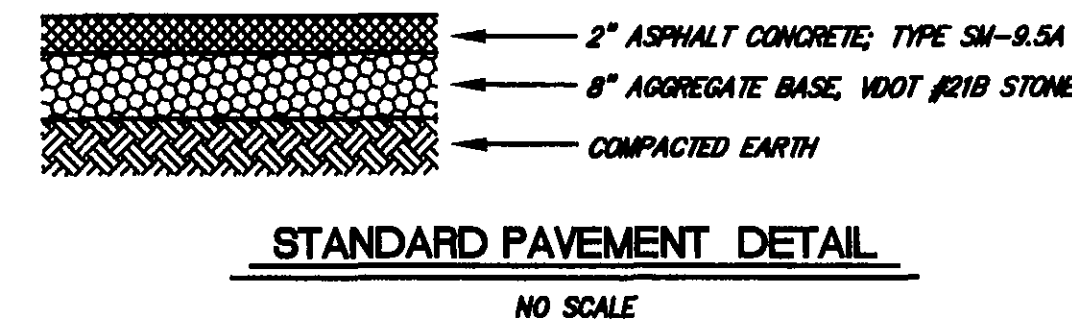


- PAVEMENT NOTES:
1. THE SIZE 21B AGGREGATE SHALL BE PRIMED WITH APPROXIMATELY 0.35 GAL/SY OF RC-250 ASPHALT AND COVERED WITH 18 TO 18 LBS/SY OF SIZE 8-P AGGREGATE BEFORE PLACING SM-8.5A FOR STANDARD PAVEMENT ONLY.
 2. EXISTING PAVEMENT IS TO BE SAW CUT WHERE NEW PAVEMENT IS TO MATCH. SAW CUT IS TO BE MADE WITH A MECHANICAL SAW AND SIDES TO BE TACKED WITH BITUMINOUS MATERIAL, TYPE RC-250, OR EQUAL.



SITE AND ZONING TABULATIONS:

CURRENT ZONING: C2
 PROPOSED USE: GENERAL OFFICE
 SITE ACREAGE: 0.194 ACRES
 MINIMUM LOT AREA REQUIRED: 15,000 S.F.
 MINIMUM FRONTAGE REQUIRED: 75'
 MINIMUM REQUIRED SETBACKS:
 FRONT: 30'
 SIDE: NONE
 REAR: 15'
 MAXIMUM HEIGHT ALLOWED: NONE
 MAXIMUM BUILDING COVERAGE: 50%
 BUILDING COVERAGE PROVIDED: 12.6 %
 MAXIMUM LOT COVERAGE: 90%
 LOT COVERAGE PROVIDED: 63.50%
 OFFSTREET PARKING REQUIRED: 1,712 SF OFFICE @ 3.5 SPACE/1,000 SF = 6 SPACES
 OFFSTREET PARKING PROVIDED: 9 SPACES, INCLUDING 1 HANDICAPPED

GENERAL NOTES:

1. THE PROPERTY SHOWN ON THESE PLANS IS LOCATED AT ROANOKE COUNTY TAX ASSESSMENT MAP #77.20-1-38.
2. DEVELOPER: ALEXANDER AND THERESA NEWMAN
 5330 BLACK BEAR LAKE
 ROANOKE, VIRGINIA 24014
 PHONE: (540)-725-2003
3. THE BOUNDARY IS THE DIRECT RESULT OF A FIELD SURVEY BY LUMSDEN ASSOCIATES, P.C.
4. TOPOGRAPHY DATA BASED ON AN FIELD SURVEY PREPARED BY LUMSDEN ASSOCIATES, P.C.
5. NO TITLE REPORT WAS FURNISHED FOR THIS PROPERTY.
6. THE DEVELOPMENT SHOWN ON THESE PLANS SHALL BE SERVED BY COUNTY WATER AND SEWER.
7. THE PROPERTY ON THESE PLANS SHALL BE ACCESSED BY PUBLIC ROADS.
8. PROPERTY AS SHOWN DOES NOT LIE WITHIN THE LIMITS OF THE 100 YEAR FLOODPLAIN AS DEFINED BY THE FLOOD INSURANCE RATE MAPS.
9. ALL EXTERIOR LIGHTS SHALL BE DESIGNED, ARRANGED, AND LOCATED SO AS NOT TO DIRECT GLARE ON ADJACENT RESIDENTIAL PROPERTIES OR RIGHT OF WAYS. THE MAXIMUM LIGHTING DENSITY AT ADJONING RESIDENTIAL PROPERTIES OR RIGHT OF WAYS SHALL NOT EXCEED 0.5 FOOT CANDLES.
10. ANY SIGNAGE FOR THIS DEVELOPMENT MUST BE LOCATED A MINIMUM OF 15' OFF OF THE EXISTING RIGHT OF WAY AND WILL REQUIRE A SEPARATE SIGN PERMIT.
11. IN OCTOBER 2003, THERE WAS A SIGN VARIANCE GRANTED FOR THE PARCEL REDUCING THE MINIMUM REQUIRED FRONTAGE REQUIREMENT FROM 100 FEET TO 50.72 FEET. THE SIGN MUST BE "MONUMENT STYLE AT A MAXIMUM 36 SQUARE FEET."

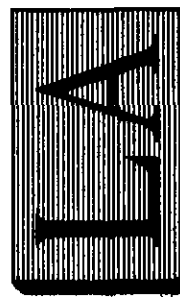
CONSTRUCTION NOTES:

1. ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT COUNTY OF ROANOKE STANDARDS AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND THE ENGINEER OF ANY CHANGES OR CONDITIONS ATTACHED TO PERMITS OBTAINED FROM ANY AUTHORITY ISSUING PERMITS.
3. NO SUBSOIL INVESTIGATIONS HAVE BEEN FURNISHED TO THE DESIGNING ENGINEER.
4. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION.
5. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION.
6. ALL WATER CONNECTIONS TO EXISTING LINES SHALL BE COORDINATED WITH AND PERFORMED BY WESTERN VIRGINIA WATER AUTHORITY.
7. ALL SANITARY SEWER CONNECTIONS TO EXISTING LINES SHALL BE PERFORMED BY THE CONTRACTOR WITH THE WESTERN VIRGINIA WATER AUTHORITY INSPECTOR ON SITE.
8. SEE VDOT ROAD AND BRIDGE STANDARDS FOR CONCRETE CURB AND STORM DRAINAGE DETAILS.
9. THE CONTRACTOR AND OR OWNER SHALL PROVIDE A STORAGE CONTAINER FOR TEMPORARY STORAGE AND DISPOSAL OF LAND CLEARANCE DEBRIS AND BUILDING MATERIALS. ON-SITE BURIAL OF MATERIAL SHALL NOT BE PERMITTED.

GRADING NOTES:

1. AREAS TO BE GRADED SHALL BE CLEARED OF ALL VEGETATION, STRUCTURES, AND OTHER PHYSICAL FEATURES IN PREPARATION OF GRADING.
2. TOPSOIL SHALL BE REMOVED FROM THE CLEARED AREA AND STOCKPILED FOR FUTURE USE.
3. FILL MATERIAL SHALL BE FREE FROM ORGANIC MATTER AND ROCKS LARGER THAN 6 INCHES IN DIAMETER.
4. FILL MATERIAL SHALL BE PLACED AND COMPACTED IN EIGHT (8) INCH LOOSE LIFTS AND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF THE MATERIAL'S MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698, STANDARD PROCTOR. MAINTAIN MOISTURE CONTENT OF FILL MATERIAL WITHIN THREE (3) PERCENT OF OPTIMUM TO ATTAIN REQUIRED COMPACTION DENSITY.
5. NO SUBSURFACE SOILS INFORMATION HAS BEEN FURNISHED TO THE DESIGNING ENGINEER (LUMSDEN ASSOCIATES, P.C.). A QUALIFIED GEOTECHNICAL ENGINEER, LICENSED IN THE STATE OF VIRGINIA, SHOULD BE CONSULTED CONCERNING SOIL STABILITY, SLOPE STABILIZATION, SOIL COMPACTION, TESTING, AND OTHER SOIL CHARACTERISTICS. LUMSDEN ASSOCIATES ASSUMES NO RESPONSIBILITY OR LIABILITY RELATING TO FAILURES RESULTING FROM SAME.

LUMSDEN ASSOCIATES, P.C.
 ENGINEERS-SURVEYORS-PLANNERS
 ROANOKE, VIRGINIA



COMMISSIONER OF VIRGINIA
 THOMAS C. DALE
 No. 033002
 5/1/06
 PROFESSIONAL ENGINEER

NOTES AND DETAILS

MRN ASSOCIATES OFFICE BUILDING

ALEXANDER H. & THERESA G. NEWMAN
 OWNER
 CAVE SPRING MAGISTERIAL DISTRICT
 ROANOKE COUNTY, VIRGINIA

NO.	DATE	REVISIONS	DESCRIPTION
1	02/21/06		SITE & ZONING TABULATION.
2			
3			
4			
5			

DATE: MARCH 15, 2006

SCALE: NONE

COMMISSION NO: 2003-257

CADD FILE: F:\2003\03084\ENG\2003COMP.ADWG

SHEET 3 OF 6