

SOUTHWOOD MANOR COURT

PAVEMENT SPECIFICATIONS

STREET NAME	VEHICLE TRIPS PER DAY	PAVEMENT SPECIFICATION	CBR TESTS REQUIRED
SOUTHWOOD MANOR COURT (PRIVATE ROAD)	130	BASE COURSE - 8" AGGREGATE BASE MATERIAL, TYPE 21B GRADATION * SURFACE COURSE - 2" ASPHALTIC CONCRETE, TYPE SM-9.5A	2 (INCLUDING ONE NEAR END OF EXIST. PAVEMENT)

- NOTES:**
- THE SIZE 21B AGGREGATE SHALL BE PRIMED WITH APPROXIMATELY 0.35 GAL/SY OF RC-250 ASPHALT AND COVERED WITH 18 TO 19 LBS/SY OF SIZE 8-12 AGGREGATE BEFORE PLACING THE SM-9.5A.
 - THE PRELIMINARY PAVEMENT DESIGN SHOWN IS BASED UPON A PREDICTED SUB-GRADE CBR VALUE OF 7.0 AND A RESILIENCY FACTOR (RF) OF 2.0 AS SHOWN IN APPENDIX I OF THE 2000 VIRGINIA DEPARTMENT OF TRANSPORTATION PAVEMENT DESIGN GUIDE FOR SUBURBAN AND SECONDARY ROADS. THE SUB-GRADE SOIL IS TO BE TESTED BY AN INDEPENDENT LABORATORY AND THE RESULTS SUBMITTED TO THE CITY OF ROANOKE AND/OR THE ENGINEER PRIOR TO BASE CONSTRUCTION. SHOULD THE SUB-GRADE CBR VALUE AND/OR THE RF VALUE BE LESS THAN THE PREDICTED VALUES, ADDITIONAL BASE MATERIAL WILL BE REQUIRED IN ACCORDANCE WITH DEPARTMENTAL SPECIFICATIONS. REFER TO THE SAME MANUAL FOR THE NUMBER AND LOCATION OF THE REQUIRED SOIL SAMPLES TO BE TESTED. ALL PAVEMENT DESIGNS SHALL BE SUBMITTED TO THE CITY AND/OR THE ENGINEER FOR REVIEW AND APPROVAL.
 - AGGREGATE SHALL BE PLACED IN 8 (EIGHT) INCH MAXIMUM LIFTS.

SITE AND ZONING TABULATIONS

CURRENT ZONING: MIXPUD WITHOUT CONDITIONS
CURRENT USE: HISTORIC HOME
PROPOSED USE: HISTORIC HOME AND SINGLE-FAMILY RESIDENTIAL
SITE ACREAGE: 3.972 ACRES (173,020 SF)
MINIMUM LOT AREA: 6,800 SF
MINIMUM LOT FRONTAGE: 45'
MINIMUM CUL-DE-SAC FRONTAGE: 20'
MINIMUM SETBACKS:
FRONT: 15'
REAR: 15'
SIDE: 5'
MAXIMUM STRUCTURE HEIGHT: 28'
MAXIMUM IMPERVIOUS SURFACE RATIO: 80%
PROPOSED IMPERVIOUS SURFACE RATIO: 65%

GENERAL NOTES

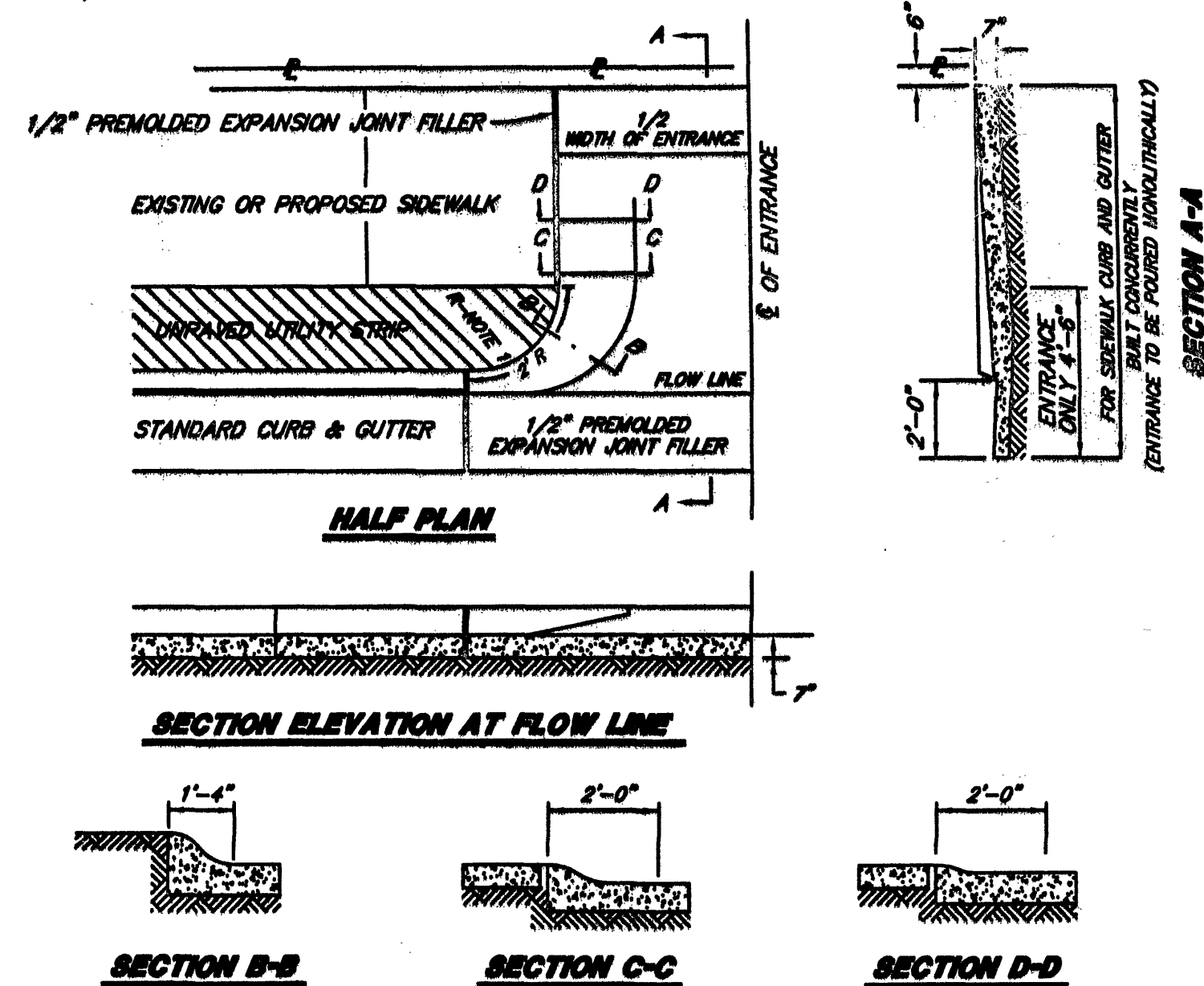
- THE PROPERTY SHOWN ON THESE PLANS IS LOCATED AT ROANOKE CITY TAX ASSESSMENT MAP Nos. 1290107, 1290221, 1290222, 1290223, 1290224, 1290225, 1290226, 1290227, 1290228, & 1290229.
- OWNER/DEVELOPER: R. WILLIAM REID BUILDER, INC. (ATTN: BILL REID) 5007 CARRIAGE DRIVE, SUITE 102 ROANOKE, VA 24018 (540) 989-1428
- THE BOUNDARY IS THE DIRECT RESULT OF A FIELD SURVEY BY LUMSDEN ASSOCIATES, P.C.
- TOPOGRAPHY DATA BASED ON A FIELD SURVEY BY LUMSDEN ASSOCIATES, P.C. IN 2009. NO TITLE REPORT WAS FURNISHED FOR THIS PROJECT.
- THE DEVELOPMENT SHOWN ON THESE PLANS SHALL BE SERVED BY WESTERN VIRGINIA WATER AUTHORITY WATER AND SANITARY SEWER.
- THE PROPERTY ON THESE PLANS SHALL BE ACCESSED BY PRIVATE ROADS.
- ALL EXTERIOR LIGHTS SHALL BE DESIGNED, ARRANGED, AND LOCATED SO AS NOT TO DIRECT PLANE ON ADJACENT RESIDENTIAL PROPERTIES OR RIGHT OF WAYS. THE MAXIMUM LIGHTING DENSITY AT ADJOINING PROPERTIES OR RIGHT OF WAYS SHALL NOT EXCEED 0.5 FOOT CANDLES.
- A SEPARATE SIGN PERMIT WILL BE REQUIRED FOR ANY EXTERIOR SIGNAGE.
- NO CONSTRUCTION/FIELD REVISIONS ARE ALLOWED WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER, THE CITY OF ROANOKE, AND/OR THE WESTERN VIRGINIA WATER AUTHORITY.
- IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO CLEAN OUT THE EXISTING STORM SEWER SYSTEM WITHIN EXISTING DEVELOPMENTS SHOULD THESE SYSTEMS BECOME SILENT OR BLOCKED IN ANY WAY DUE TO THE CONSTRUCTION OF THIS PROPOSED DEVELOPMENT.

CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT CITY OF ROANOKE STANDARDS AND SPECIFICATIONS AND THE CURRENT EDITION OF VDOT'S ROAD AND BRIDGE STANDARDS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND THE ENGINEER OF ANY CHANGES OR CONDITIONS ATTACHED TO PERMITS OBTAINED FROM ANY AUTHORITY ISSUING PERMITS.
- NO SUBSOIL INVESTIGATIONS HAVE BEEN FURNISHED TO THE DESIGNING ENGINEER. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION.
- ALL WATER CONNECTIONS TO EXISTING LINES SHALL BE COORDINATED WITH AND PERFORMED BY THE WESTERN VIRGINIA WATER AUTHORITY.
- ALL SANITARY SEWER CONNECTIONS TO EXISTING LINES SHALL BE PERFORMED BY THE CONTRACTOR WITH A WESTERN VIRGINIA WATER AUTHORITY INSPECTOR ON-SITE. SEE VDOT ROAD AND BRIDGE STANDARDS FOR CONCRETE CURB AND STORM DRAINAGE DETAILS.
- THE CONTRACTOR AND OR OWNER SHALL PROVIDE A STORAGE CONTAINER FOR TEMPORARY STORAGE AND DISPOSAL OF LAND CLEARANCE DEBRIS AND BUILDING MATERIALS. ON-SITE BURIAL OF MATERIAL SHALL NOT BE PERMITTED.

GRADING NOTES

- AREAS TO BE GRADED SHALL BE CLEARED OF ALL VEGETATION, STRUCTURES, AND OTHER PHYSICAL FEATURES IN PREPARATION OF GRADING.
- TOPSOIL SHALL BE REMOVED FROM THE CLEARED AREA AND STOCKPILED FOR FUTURE USE.
- FILL MATERIAL SHALL BE FREE FROM ORGANIC MATTER AND ROCKS LARGER THAN 6 INCHES IN DIAMETER.
- FILL MATERIAL SHALL BE PLACED AND COMPACTED IN EIGHT (8) INCH LOOSE LIFTS AND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF THE MATERIAL'S MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698, STANDARD PROCTOR. MAINTAIN MOISTURE CONTENT OF FILL MATERIAL WITHIN THREE (3) PERCENT OF OPTIMUM TO ATTAIN REQUIRED COMPACTION DENSITY.
- NO SUBSURFACE SOILS INFORMATION HAS BEEN FURNISHED TO THE DESIGNING ENGINEER (LUMSDEN ASSOCIATES, P.C.). A QUALIFIED GEOTECHNICAL ENGINEER, LICENSED IN THE STATE OF VIRGINIA, SHOULD BE CONSULTED CONCERNING SOIL STABILITY, SLOPE STABILIZATION, SOIL COMPACTION, TESTING, AND OTHER SOIL CHARACTERISTICS. LUMSDEN ASSOCIATES ASSUMES NO RESPONSIBILITY OR LIABILITY RELATING TO FAILURES RESULTING FROM SAME.

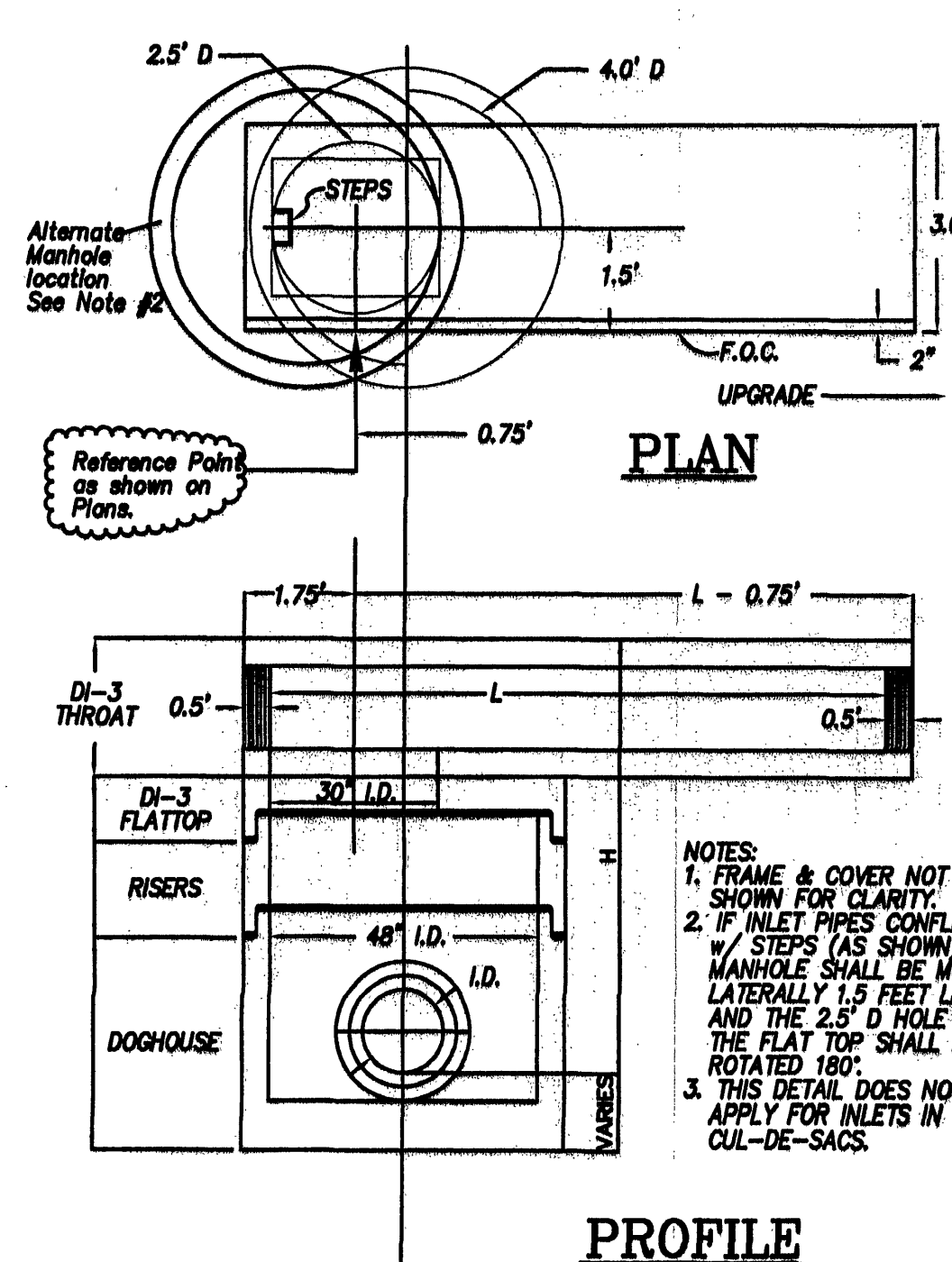


GENERAL NOTES

- Standard residential "Entrance" shall have a curb radius (R) of 2 feet.
- Minimum Entrance width to be 12 feet at P.T. of radius return.
- Where curb & gutter already exists, both curb & gutter shall be removed. If proposed entrance falls within five (5) feet of an existing joint, removal & reconstruction shall be to that joint. Any concrete removed at other than an existing joint shall be cut with a mechanical saw specifically manufactured for that purpose; this also shall apply to street pavement.
- Where sidewalk exists, or is to be constructed across driveways, the thickness thereof must correspond with the thickness of the entrance.
- Whenever "Entrances" exceeds twenty-four (24) feet in width a 1/2" premolDED expansion joint filler shall be installed through the center perpendicular to flow line.
- Finish "Entrances" shall have a "coarse broom finish" running parallel to flow line.
- Curing shall be accomplished by the use of a liquid membrane seal containing white pigment applied at the rate of one (1) gallon per 150 square feet.
- All "Entrance Ways" shall be constructed according to City of Roanoke specifications and to line and grade approved by the City Engineering Department.
- Entrances exceeding 30 feet in width shall be approved by the City Manager.

**CITY OF ROANOKE
RESIDENTIAL "ENTRANCE" STANDARD**

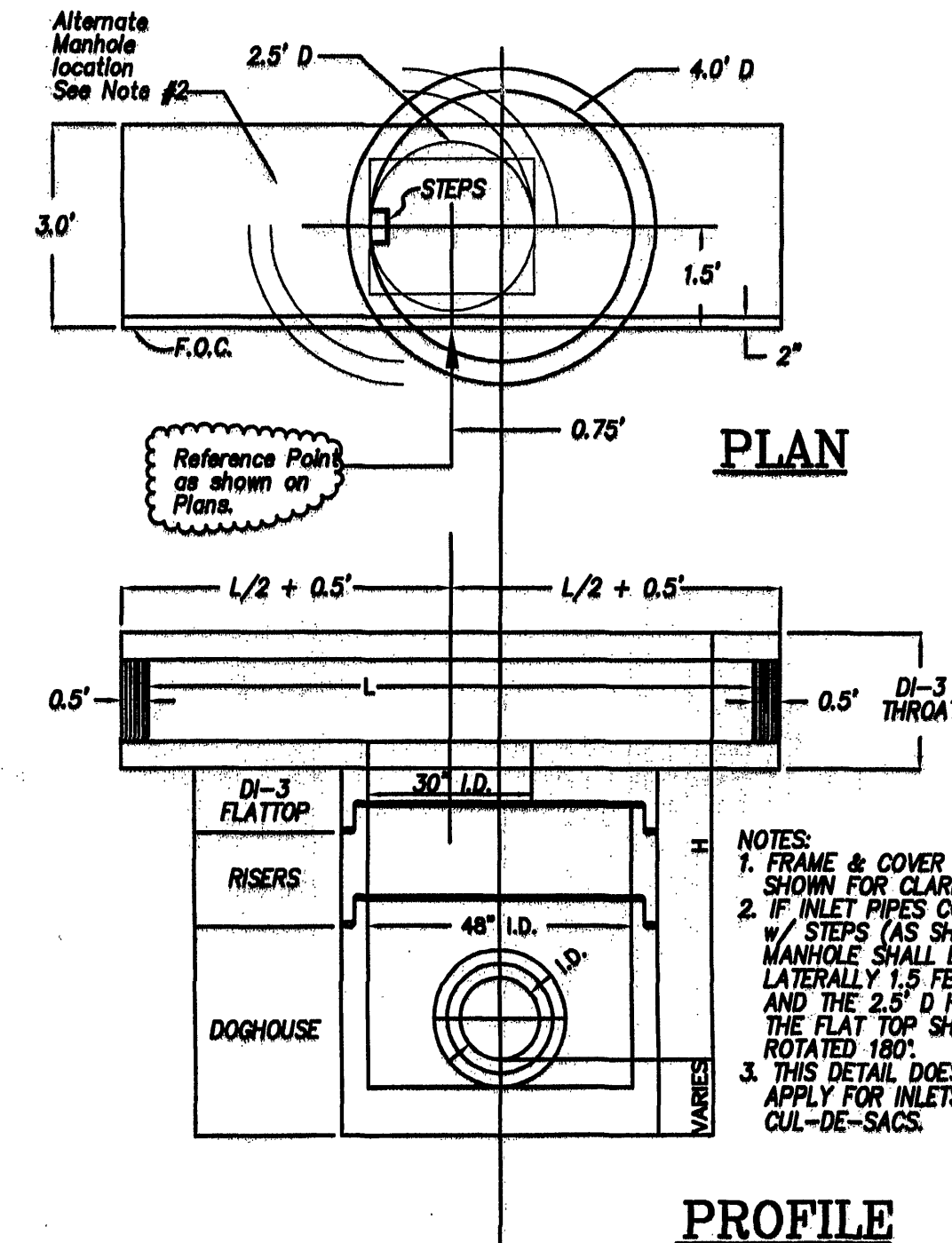
NO SCALE



PROFILE

LOCATION DETAIL FOR DI-3B (PRECAST)

NO SCALE

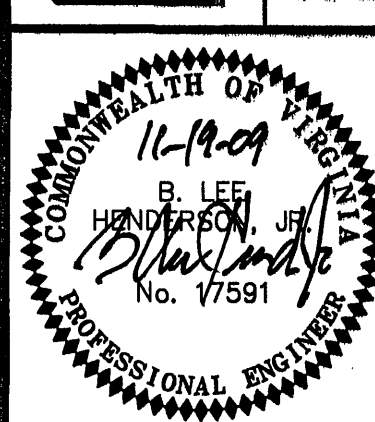


PROFILE

LOCATION DETAIL FOR DI-3C (PRECAST)

NO SCALE

LUMSDEN ASSOCIATES, P.C.
ENGINEERS-SURVEYORS-PLANNERS
ROANOKE, VIRGINIA



NOTES AND DETAILS

**THE MANOR HOMES
OF SOUTHWOOD**
PREPARED FOR
R. WILLIAM REID BUILDER, INC.
SITUATED IN
THE CITY OF ROANOKE, VIRGINIA

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		

DATE: November 19, 2009

SCALE: NO SCALE

COMMISSION NO: 08-231

SHEET 2 OF 13

APPROVED
JAN 20 2010