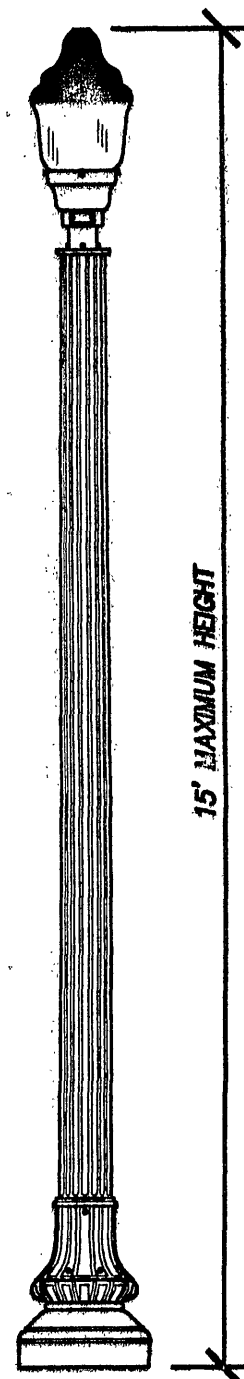


08231comp-dm01-04.dwg



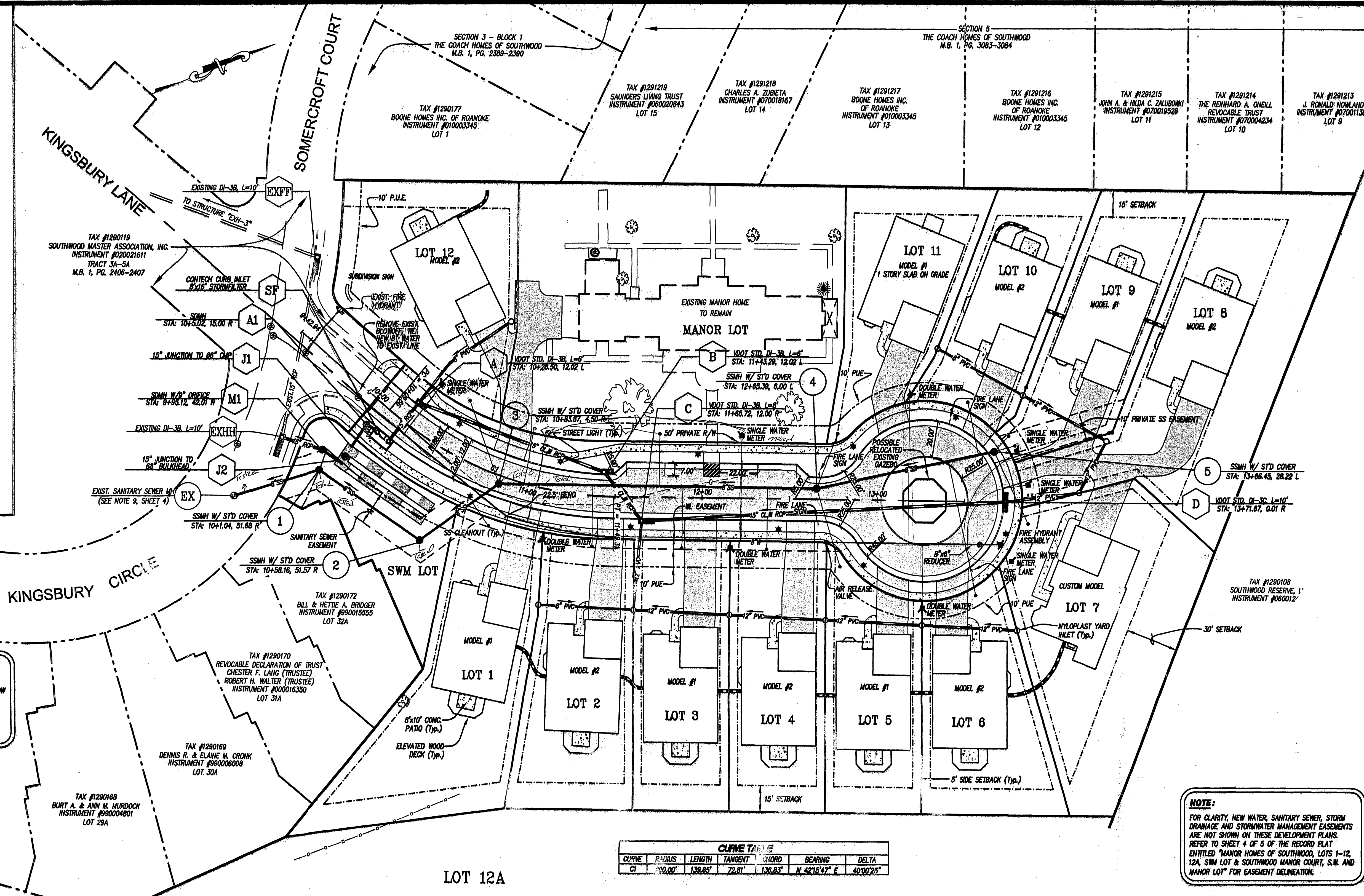
STREET LIGHT SCHEMATIC DETAIL
NO SCALE

NOTE: THIS DETAIL IS FOR SCHEMATIC PURPOSES ONLY AND MAY NOT REPRESENT THE STYLE OF STANDARD OR LUMINAIRE TO BE INSTALLED. STREET LIGHTS SHALL BE A MAXIMUM OF 15' IN HEIGHT FROM MOUNTING BASE TO TOP OF LUMINAIRE.

SECTION 1
SOUTHWOOD
M.B. 1, PG. 1666-1671
M.B. 1, PG. 2027-2034

SANITARY SEWER CONSTRUCTION NOTES:
1. WHERE TRENCHING IS REQUIRED NEAR THE EXISTING STRUCTURE ON LOT 32A (TAX# 1290172), THE TRENCH SHALL BE AS NARROW AS POSSIBLE.
2. IN THIS AREA, TRENCHING, PIPE INSTALLATION AND TRENCH BACKFILL SHALL OCCUR ON THE SAME DAY.
3. BACKFILL NEAR THE STRUCTURE FOUNDATION SHALL BE COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR.

TAX #1290171
SOUTHWOOD HOMEOWNERS
ASSOCIATION, INC.
(3.763 AC. OPEN AREA) - M.B. 1, PG. 2027-2034
INSTRUMENT #020001473

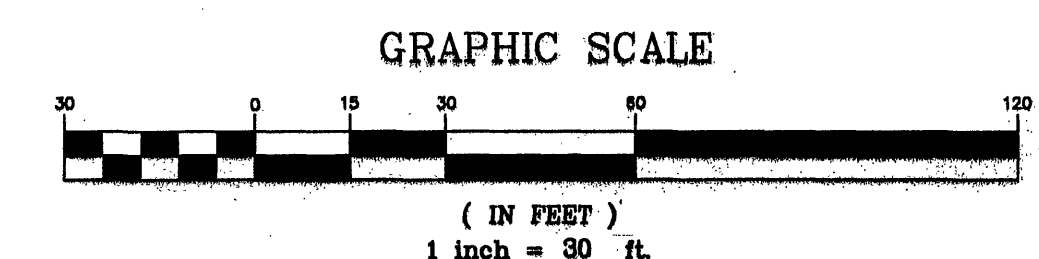


CURVE DATA					
CURVE	RADIUS	LENGTH	CHORD	BEARING	DELTA
C1	130.00'	130.00'	72.01'	N. 42°15'47" E	40°00'26"

DRIVEWAY AREA CALCULATIONS			
LOT	DRIVEWAY AREA (SF)	FRONT YARD AREA (SF)	PERCENT OF COVERAGE
1	600	2,082	28.8%
2	778	2,625	29.6%
3	872	2,904	30.0%
4	886	2,968	29.9%
5	398	1,888	21.1%
6	391	1,487	26.3%
7	-	-	-
8	1,923	6,441	29.8%
9	734	2,634	27.9%
10	593	2,011	29.5%
11	659	2,417	27.3%
12	521	2,131	24.4%
MANOR	745	10,610	7.0%

- NOTES:
- ALL WATER AND SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE WESTERN VIRGINIA WATER AUTHORITY'S WATER AND SANITARY SEWER STANDARDS.
 - ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
 - SANITARY SEWER MATERIAL SHALL BE PVC, SDR 35, EXCEPT AS NOTED, OR APPROVED EQUAL.
 - WATER LINE MAIN MATERIAL SHALL BE CROQ, DRI, EXCEPT AS NOTED, OR APPROVED EQUAL.
 - ALL WATER METERS SHALL BE 5/8" x 3/4" SIZE.
 - CONNECTION TO THE EXISTING WATER MAIN ARE TO BE PERFORMED BY THE WESTERN VIRGINIA WATER AUTHORITY. THE CONTRACTOR TO PERFORM EXCAVATION AND PROVIDE SHORING FOR THE TRENCH IN ACCORDANCE TO OSHA STANDARDS.
 - THE CONTRACTOR IS RESPONSIBLE FOR ANY REPAIRS FOR DAMAGE TO EXISTING STRUCTURES AS A RESULT OF CONSTRUCTION IN ACCORDANCE WITH WESTERN VIRGINIA WATER AUTHORITY, AND/OR ROANOKE CITY STANDARDS AND SPECIFICATIONS.
 - PERPENDICULAR SAW CUT AND TACK COAT TO BE PROVIDED WHERE NEW PAVEMENT CONNECTS TO EXISTING PAVEMENT.
 - SANITARY SEWER CONNECTION TO EXISTING MANHOLE SHALL BE PERFORMED BY THE CONTRACTOR WITH A WESTERN VIRGINIA WATER AUTHORITY INSPECTOR ON SITE. EXISTING MANHOLE SHALL BE CENTER MARKED FOR CORING.
 - RETAINING WALLS WITH A HEIGHT OF 2 FEET OR MORE WILL REQUIRE A SEPARATE PERMIT FROM THE CITY OF ROANOKE. WALLS WITH HEIGHTS OF 4 FEET OR MORE MUST BE DESIGNED AND SEALED BY A VIRGINIA PROFESSIONAL ENGINEER. WHERE WALLS CROSS PROPERTY LINES, THE MAINTENANCE OF THOSE WALLS SHALL BE SHARED BY THOSE RESPECTIVE PROPERTY OWNERS OR THE HOMEOWNERS ASSOCIATION.
 - THE WESTERN VIRGINIA WATER AUTHORITY DATA FOR THE EXISTING FIRE HYDRANT LOCATED AT THE INTERSECTION OF KINGSBURY LANE, KINGSBURY CIRCLE AND SOMERCROFT COURT LISTS A STATIC PRESSURE OF 80 PSI, RESIDUAL PRESSURE OF 45 PSI AND A FLOW RATE OF 882 GPM.
 - THE ENTIRE LENGTH OF THE CUL-DE-SAC SHALL BE ESTABLISHED AS A FIRE LANE. SEE CUL-DE-SAC DETAIL ON SHEET 7, THIS SET FOR ADDITIONAL DETAILS.
 - FOR DRIVEWAY DIMENSIONS, SEE LANDSCAPE PLAN, SHEET 9, THIS SET.

NOTE:
FOR CLARITY, NEW WATER, SANITARY SEWER, STORM DRAINAGE AND STORMWATER MANAGEMENT EASEMENTS ARE NOT SHOWN ON THESE DEVELOPMENT PLANS. REFER TO SHEET 4 OF 5 OF THE RECORD PLAT ENTITLED "MANOR HOMES OF SOUTHWOOD, LOTS 1-12, 12A, SWM LOT & SOUTHWOOD MANOR COURT, S.W. AND MANOR LOT" FOR EASEMENT DELINEATION.



ABBREVIATIONS	
D.E.	DRAINAGE EASEMENT
W.E.	WATER LINE EASEMENT
S.S.E.	SANITARY SEWER EASEMENT
P.U.E.	PUBLIC UTILITY EASEMENT
ESMT.	EASEMENT
M.B.L.	MINIMUM BUILDING LINE
S.Y.S.	SIDE YARD SETBACK
R.Y.S.	REAR YARD SETBACK
R/W	RIGHT OF WAY
VAR.	VARIABLE
EXIST.	EXISTING
D.B.	DEED BOOK
P.B.	PLAT BOOK
PG.	PAGE
No.	NUMBER
TYP.	TYPICAL
STA.	STATION
L.T.	LEFT
R.T.	RIGHT
RCP	REINFORCED CONCRETE PIPE
SD	STORM DRAIN
SS	SANITARY SEWER
SSMH	SANITARY SEWER MANHOLE
W	WATER LINE

LEGEND	
ITEM	EXISTING PROPOSED
Pavement	---
Curb and Gutter	---
Storm Drain Line	---
Sanitary Sewer Manhole	---
Sanitary Sewer Line	---
Waterline	---
Hydrant	---
Underground Electric Line	---
Overhead Electric Line	---
Underground Gas Line	---
Underground Telephone Line	---
Contours	---
Trails	---

APPROVED
JAN 20 2010

LUMSDEN ASSOCIATES P.C.
ENGINEERS-SURVEYORS-PLANNERS
ROANOKE, VIRGINIA

PHONE: (540) 774-4411
FAX: (540) 772-9445
E-MAIL: MAIL@LUMSDENPC.COM

4664 BRAMBLETON AVENUE
P.O. BOX 20669
ROANOKE, VIRGINIA 24018

COMMONWEALTH OF VIRGINIA
B. LEE HENDERSON JR.
Professional Engineer
No. 17591

THE MANOR HOMES OF SOUTHWOOD
PREPARED FOR
R. WILLIAM REID BUILDER, INC.
SITUATED IN
THE CITY OF ROANOKE, VIRGINIA

REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		

DATE: November 19, 2009
SCALE: 1" = 30'
COMMISSION NO.: 08-231

SHEET 4 OF 13