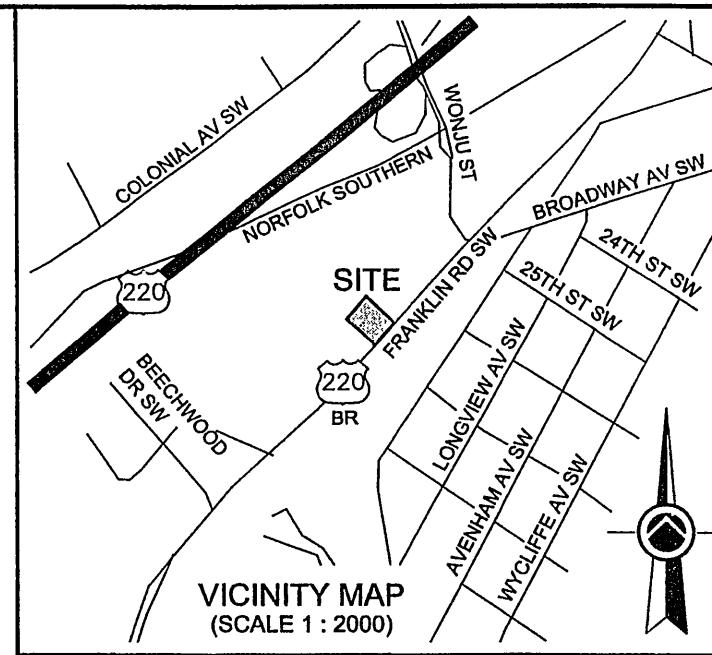




McDONALD'S CORPORATION
3200 BEECHLEAF COURT
SUITE 300
RALEIGH, NORTH CAROLINA 27604
(919) 876-9716

McDONALD'S CORPORATION

SITE ADDRESS: 2801 FRANKLIN ROAD S.W.
ROANOKE, VIRGINIA
SAPA PROJECT NUMBER: 05-092
MCD LOCATION CODE: 045-0076



SITE DATA CHART:

*ZONING:
C-2 (GENERAL COMERCIAL DISTRICT)

*SITE ACREAGE:
±0.689 Acres

*PROJECT NAME / ADDRESS:
McDONALDS: 2801 FRANKLIN ROAD SW

*TAX PARCEL ID#:
1280619

*MAP REFERENCES:
DB 137 - PG 1589

*EXISTING USE:
RESTAURANT WITH DRIVE-THRU

*PROPOSED USE:
RESTAURANT WITH DRIVE-THRU

*BUILDING SETBACKS:
FRONT: 25' BUILDING SETBACK
SECONDARY FRONT: 8' STREETYARD
SIDE: 5' LANDSCAPE SETBACK
REAR: 5' LANDSCAPE SETBACK

*EXISTING IMPERVIOUS CALCULATIONS:
BUILDING: 0.069 ac. 10.0 %
PAVEMENT: 0.609 ac. 88.4 %
OPEN SPACE: 0.011 ac. 1.6 %
TOTAL: 0.689 ac. 100 %
TOTAL IMPERVIOUS: 0.678 ac. - 98.4 %

*PROPOSED IMPERVIOUS CALCULATIONS:
BUILDING: 0.094 ac. 13.6 %
PAVEMENT: 0.473 ac. 68.7 %
OPEN SPACE: 0.122 ac. 17.7 %
TOTAL: 0.689 ac. 100 %
TOTAL IMPERVIOUS: 0.567 ac. - 82.3 %

*OFF STREET PARKING CALCULATION:
calculated at: 1 space per 200 s.f. net floor area
plus 1 space for each employee at highest shift
± 3727 s.f. / 200 = 18.6 or 19 spaces plus
12 employees / 1 = 12 spaces = 31 spaces
TOTAL SPACES REQUIRED = 31 SPACES
TOTAL SPACES PROVIDED = 34 SPACES
(INCLUDING 2 HANDICAP SPACES)

*STACKING REQUIREMENTS:
REQUIRED = NO SPECIFIC REQUIREMENT
PROVIDED = 12 TOTAL STACKING SPACES

*LOADING SPACE REQUIREMENTS:
REQUIRED = 1 SPACE AT SUFFICIENT SIZE
PROVIDED = AS REQUIRED

*PROPOSED BUILDING INFORMATION:
FOOTPRINT = ±3727 SQUARE FEET

*TOTAL ACREAGE TO BE DISTURBED:
± 29,302 SQUARE FEET OR ± 0.67 ACRES

*STANDARD FLOOD STATEMENT:
THE PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY COMMUNITY PANEL NO. 51161 0044 D; DATED SEPTEMBER 1, 1978.

*PETITIONER / OWNER:
McDONALDS CORPORATION
3200 BEECHLEAF COURT - SUITE 300
RALEIGH, NC 27604
Tel#: 919-876-9716
Contact: SCOTT THOMPSON

CITY OF ROANOKE CONSTRUCTION PROCEDURE REQUIREMENT NOTES:

- City Inspections** - To insure the coordination of timely and proper inspections, a pre-construction conference shall be initiated by the applicant, building, etc., with the Development Inspector. Call (540) 853-1227 to arrange a conference at least three (3) days prior to anticipated construction.
- Right-of-Way Excavation Permit** - Prior to the commencement of any digging, alteration of construction within the public right-of-way (streets, alleys, public easements), a right-of-way excavation permit shall be applied for and obtained by the contractor from the City of Roanoke.
- Land Disturbance Permit** - An approved erosion and sediment control plan for any borrow/fill sites associated with the project must be submitted prior to the issuance of a land disturbance permit.
- Plans and Permits** - A copy of the plans as approved by the City (signed by the proper City officials) and all permits issued by the City shall be available at the construction site at all times of ongoing construction.
- Location of Utilities** - The contractor shall verify the location of all existing utilities prior to the commencement of any construction.
- Construction Entrance** - The contractor shall install an adequate construction entrance for all construction related egress from the site. Size and composition of construction entrance shall be as shown on the plans.
- Streets to Remain Clean** - It shall be the responsibility of the contractor to insure that the public street adjacent to the construction entrance remains free of mud, dirt, dust, and/or any type of construction materials or litter at all times.
- Barriades/Ditches** - The contractor shall maintain the integrity of all excavated ditches and shall furnish and ensure that all barricades proper and necessary for the safety of the public are in place.
- Sewer and Pavement Replacement** - Construction of sanitary sewers and the replacement of pavement shall be in accordance with approved standards and specifications of the City of Roanoke and the Western Virginia Water Authority.
- Approved Plans/Construction Changes** - Any change or variation from the construction design as shown on the officially approved plans shall be approved by the erosion and sediment control agent prior to said changes or variation in construction being made.
- Final Acceptance/City** - The owner or developer shall furnish the City of Roanoke's Planning Building and Development Department with a final correct set of as-built plans prior to final acceptance by the City.

INDEX OF DRAWINGS:

- C1 DEMOLITION PLAN
- C2 SITE LAYOUT PLAN
- C3 SITE UTILITY PLAN
- C4.1 GRADING/EROSION CONTROL PLAN
- C4.2 EROSION CONTROL DETAILS
- C4.3 PRE AND POST DEVELOPMENT PLAN
- C5.1 SITE DETAILS
- C5.2 SITE DETAILS
- C6.1 PLANTING PLAN
- C6.2 PLANTING NOTES/DETAILS

RECEIVED

SEP 23 2005
CITY OF ROANOKE
PLANNING BUILDING AND DEVELOPMENT

AS - BUILT

SITE WORK

- THE COST TO EXTEND UTILITIES TO THE CONNECTION POINT IS TO BE REFLECTED IN THE CONTRACT SUM. ANY REQUIREMENTS OTHER THAN IMPACT, TAP FEES PAID DIRECTLY TO THE PURVEYOR ARE THE GENERAL CONTRACTORS RESPONSIBILITY.
- GENERAL CONTRACTOR TO PROVIDE 4" PVC SLEEVES TO FACILITATE IRRIGATION TO ALL LANDSCAPE AREAS. POWER AND CONDUIT TO EXTERIOR VICINITY OF IRRIGATION CONTROL VALVE BOX SHALL BE PROVIDED BY GENERAL CONTRACTOR. VERIFY LOCATION WITH PROJECT MANAGER.
- GENERAL CONTRACTOR WILL BACKFILL AND GRADE ALL LANDSCAPE BEDS TO A COMPACTED MINUS 4" TOP OF FINISHED CURB. INSURE BEDS ARE FREE OF FOREIGN MATERIALS AND DEBRIS. CONTINUE TO FILL BEDS WITH TOP QUALITY SOIL TO 1" BELOW TOP OF CURB, FOR PROPOSED LANDSCAPE SOIL, SOD AND MULCH TO FINISH FLUSH WITH CURB.
- GENERAL CONTRACTOR TO ADHERE TO SOILS REPORT AS BASIS OF SITE WORK FOR ANY POOR SOILS REMOVAL AND REMEDIATION, UNDERCUTTING, OR ROCK REMOVAL. THE GRADING PRICE SHALL INCLUDE, THE SITE TO THE PROPOSED ELEVATIONS AS INDICATED ON THE SITE PLAN. SHOULD ANY UNUSUAL PROBLEM AREAS BECOME EVIDENT, NOTIFY THE PROJECT MANAGER TO CONFIRM THESE AREAS. CHANGE ORDERS FOR ANY POOR SOIL REMOVAL AND REPLACEMENT (SOIL REMEDIAL), SHALL NOT EXCEED 7 % OF THE TOTAL COST IN PLACE OF LABOR AND MATERIAL. CONTRACTOR SHALL PROVIDE UNIT COST FOR UNFORESEEN POOR SOILS REMOVAL AND REPLACEMENT AS ALTERNATE.
- PROVIDE ALL CONDUITS AND WIRING, SEPARATE CIRCUIT FOR MENU ORDER STATION AND DETECTOR UNIT. THE DETECTOR LOOP SHALL BE INSTALLED IN THE DRIVE THRU PRIOR TO POURING THE CONCRETE DRIVE-THRU LANE. COORDINATE LOCATION OF MENU-ORDER STATION.
- VERIFY THE TYPE, SIZE AND LOCATION OF TELEPHONE CONDUIT REQUIRED TO SERVICE FACILITY. MINIMUM SHALL BE 2".
- GENERAL CONTRACTOR AND ASSOCIATED SUBCONTRACTORS SHALL BE RESPONSIBLE FOR COORDINATING WITH ALL UTILITY COMPANIES (GAS, ELECTRIC, WATER, SEWER, STORM DRAINAGE) TO INSURE TIMELY INSTALLATION.
- ALL REQUIRED DEMOLITION IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- REVIEW GREASE TRAP LOCATION WITH McDONALDS PROJECT MANAGER.
- WATER SERVICE SHALL BE 2" MIN. FOR DOMESTIC USE AND 1" MIN. FOR IRRIGATION AND BE OF COPPER MATERIAL.
- VERIFY GAS METER LOCATION PRIOR TO INSTALLATION.
- GENERAL CONTRACTOR WILL VERIFY BUILDING LOCATION CERTIFIED BY REGISTERED SURVEYOR, IN A SEALED AND SIGNED C-2 WILL SUFFICE PRIOR TO INSTALLATION OF BUILDING FOUNDATION. A SEALED CERTIFIED C-2 PLAN AND BUILDING PLAT IS REQUIRED PRIOR TO SUBMITTING FIRST PAYMENT REQUEST. AS-BUILT LOCATION OF BUILDING TO NOTE BUILDING SETBACKS AND VERIFICATION OF VERTICAL CONTROLS PROVIDED BY GENERAL CONTRACTOR.
- GENERAL CONTRACTOR TO FURNISH A 4'x8" "HERE WE GROW AGAIN" SIGN. SIGN MAY BE USED ON FUTURE PROJECTS PROVIDING IT IS MAINTAINED IN GOOD REPAIR. THIS SIGN MUST BE POSTED WITHIN 10 CALENDAR DAYS OF PROJECT START. IF NOT, A \$500.00 DEDUCT WILL BE TAKEN FROM THE CONTRACT AMOUNT. SIGNS CAN BE OBTAINED FROM THE McDONALDS PROJECT MANAGER.
- MINIMUM ASPHALT PAVING CONSIST OF A 6" LAYER OF AGGREGATE ROCK BASE, 2" LAYER OF AGGREGATE ASPHALT (BINDER) CEMENT BASE PAVEMENT AND A FINAL 1" LAYER OF AGGREGATE ASPHALT CEMENT BASE (SMOOTH) FINISHED SURFACE. SOILS REPORT SHALL CONTROL IN MORE STRINGENT CASES. FINISH ROLLING SHALL CONTINUE UNTIL ALL ROLLER MARKS AND IMPERFECTIONS ARE ELIMINATED.
- IN CASES WHERE CONCRETE PARKING LOTS ARE APPLIED, CONCRETE IS TO BE IN COMPLETE CONFORMANCE WITH McDONALD'S PLANS AND SPECIFICATIONS INCLUDING SOILS REPORT.
- ALL SIDEWALKS AND CONCRETE PARKING LOTS INCLUDING DRIVE-THRU LANE SHALL CONSIST OF SCORE LINES / EXPANSION JOINTS AT NO GREATER THAN 8' FOR SIDEWALKS AND NO GREATER THAN 20' ON CENTER FOR CONCRETE PARKING LOTS AND DRIVE-THRU LANE. PROVIDE PRE-MOLDED EXPANSION JOINT FILLER, FINISH WITH RESIDUE FILLER FOR ALL SITE FLAT WORK.
- ALL SIDEWALKS SHALL BE TILED WITH 6x6 CANYON RED ABRASIVE. CONTRACTOR TO BID MINIMUM 50 S.F. AT EACH DOOR WITH REMAINING THROUGHOUT AS BID ALTERNATE. INCLUDE TILE PRE-FRAMED / MOLDED EXPANSION FILLER DIRECTLY CENTERED OVER SIDEWALK EXPANSION JOINT.
- COMPACTION OF BUILDING SUBSTRATUM AND ASPHALT AREAS TO BE VERIFIED IN WRITING AND PERFORMED BY A GEOTECHNICAL ENGINEER CONSULTANT. THE GENERAL CONTRACTOR SHALL COVER THE COST OF TESTING.
- PARKING LOT SUBGRADE TO BE AT A MINIMUM OF 95% COMPACTION. GENERAL CONTRACTOR TO PROVIDE PROCTOR FOR PROPOSED FILL MATERIAL PRIOR TO COMMENCING CONSTRUCTION. EACH 2,500 S.F. OF FILL AT EVERY 1'-0" VERTICAL LIFTS SHALL BE VERIFIED FOR 95% COMPACTION.
- GENERAL CONTRACTOR TO COORDINATE CONCRETE CYLINDER TEST FOR FOOTINGS, SLAB, AND ALL CONCRETE PARKING LOT PAVEMENT INCLUDING DRIVE-THRU LANE AND DUMPSTER PAD.
- GENERAL CONTRACTOR TO PROVIDE (2) 1" CONDUITS FROM CASH WINDOW DRIVE-THRU (ABOVE CEILING) TO REAR PARKING LOT LIGHT POLE (RUN UP INSIDE POLE 14' A.F.F.) TO INCLUDE 110 EXTERIOR WEATHER PROOF GROUND FAULT BREAKER (OUTLET), PROVIDE REMAINING CONDUIT WITH 200# PULL STRING FOR FUTURE SECURITY CAMERA COAX CABLE.

GENERAL NOTES

- McDONALD'S ROAD SIGN AND BASE ARE BY THE SIGN CONTRACTOR. CONDUIT AND WIRING ARE BY THE G.C.
- BASES, GALVANIZED ANCHOR BOLTS, CONDUIT, AND WIRING FOR ALL OTHER SIGNS ARE BY THE G.C.
- 3/4" EMPTY CONDUIT TO LOCATIONS SHOWN AT THE LOT PERMITTER FOR LOT LIGHTING IS BY THE G.C.
- LIGHTING FIXTURES, BASES, POLES, CONDUIT, AND WIRING ARE BY THE GENERAL CONTRACTOR.
- BASES FOR FLAGPOLES ARE BY THE GENERAL CONTRACTOR. ANCHOR BOLTS ARE BY THE FLAGPOLE SUPPLIER.
- PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMIC INSTALLATION.
- THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING.
- ELIMINATORS SHOWN ARE REFERENCE TO THE SIGNMAN AND MUST BE VERIFIED BY THE G.C. AT GROUND BREAK.
- FINISH WALK AND CURB ELEVATIONS SHALL BE 2" ABOVE FINISH PAVEMENT.
- ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED 2" BELOW TOP OF ALL WALKS AND CURBS. FINISH GRADING, LANDSCAPING, AND SPRINKLER SYSTEMS ARE BY THE OWNER/DEVELOPER.
- LOT LIGHTING CONCRETE FOOTINGS TO CONFORM WITH THE SOILS REPORT RECOMMENDATIONS FOR THIS PARTICULAR SITE.
- REPORT BURETS OF THRU C-2 FOR ALL APPLICABLE SITE DETAILS.
- PROVIDE WEEDPULPS ON CURBS AT ALL LANDSCAPE AREAS LOCATIONS. COORDINATE WITH MCD'S PROJECT MANAGER.

PAVING SPECIFICATION

REFER TO PAVING DETAILS FOR PAVING SPECIFICATIONS
NOTE: GEN. CON. TO OVERLAY EX. ASPHALT AS NECESSARY

NOTE: McDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF McDONALD'S, OTHERWISE, G.C. WILL BE CHARGED, NECESSARY

LOT LIGHTING RECOMMENDATION

SECURITY LIGHTING ASB0000 WATT METAL HUXIDE FIXTURE W/ 30 DEGREE TILT ON 22 FOOT POLES 1 FOOT CONCRETE BASE ASB 4-8H-08MT W/14MP
GEN. CON. TO NOTE CORRECT LOCATION OF FIXTURES
NOTE: ALL LIGHTING SHALL BE GLARE SHIELDED AND NON-DIRECTIONAL TO PREVENT DIRECT ILLUMINATION BEYOND THE PROPERTY LINE.
NOTE: ELECTRICAL CONTRACTOR TO CIRCUIT LOT LIGHTING AS NOTED.

TOTAL SPACES	PARKING INFORMATION			
	2-HC SPACES	8.0' X 18.0'	60 *	
	30' SPACES	9.0' X 18.0'	60 *	
	2 SPACES	9.0' X 18.0'	90 *	
34	- SPACES	- X -	-	-
	- SPACES	- X -	-	-

UTILITY INFORMATION

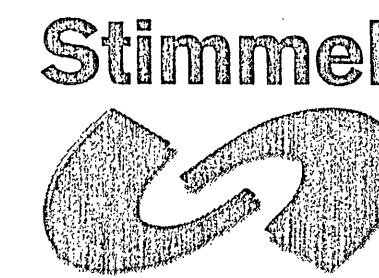
SIZE	TYPE	LOCATION
SANITARY SEWER	EXISTING SANITARY SEWER MANHOLE ON SITE IN WESTERN DRIVEWAY	
WATER	EXISTING WATERLINE RUNNING FROM FRANKLIN ROAD INTO SITE NEAR EAST PROPERTY LINE	
STORM SEWER	N/A	
ELECTRIC	EX OVERHEAD ALONG EAST PROPERTY LINE AND UNDERGROUND SERVICE ALONG EAST PROPERTY LINE	
GAS	EXISTING GASLINE ALONG EAST PROPERTY LINE	

SURVEY INFORMATION

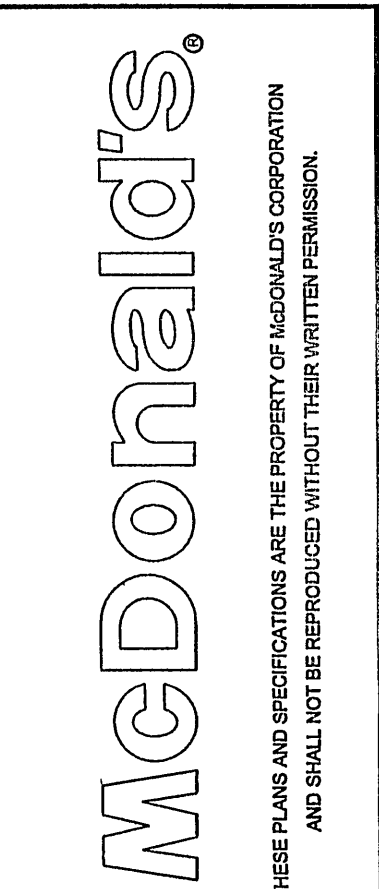
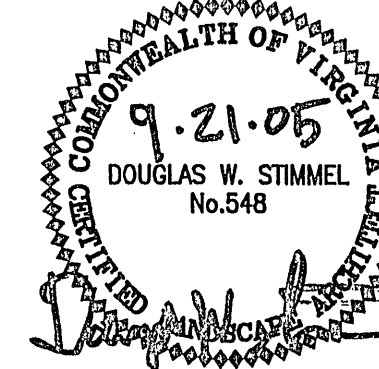
PREPARED BY: BOUNDARY AND TOPOGRAPHIC SURVEY BY: REGIONAL LAND SURVEYORS, INC. 8642 West Market Street Suite 100 Greensboro, North Carolina 27409 TEL #: (336) 665-8155

PLAN SCALE: AS NOTED

STREET ADDRESS	
2801 FRANKLIN ROAD S.W.	
CITY	STATE
ROANOKE	VIRGINIA
COUNTY	
ROANOKE	
REGIONAL DWG. NO	LOCATION CODE NUMBER
WWW.ID# 6FHNB2	045-0076



Stimmel Associates, PA
Landscape Architecture
Civil Engineering
Land Planning
601 N. Trade Street Suite 200
Winston Salem, NC 27101-2916
P: 536.723.1067 F: 536.723.1069



PLAN APPROVAL				SIGNATURE (2 REQUIRED)		DATE
DGS	REGIONAL MGR.		CONST. MGR.		OPERATIONS DEPT.	
	REGIONAL MGR.		CONST. MGR.		OPERATIONS DEPT.	
	REGIONAL MGR.		CONST. MGR.		OPERATIONS DEPT.	
	REGIONAL MGR.		CONST. MGR.		OPERATIONS DEPT.	
CO-SIGN SIGNATURES						
STATUS				DATE		
FINAL				08/11/05		
PLAN CHECKED				-		
AS-BUILT				-		
CV						
COVER SHEET						