

LEGEND	
SANITARY SEWER SS SS	GAS G G
WATER W W	LOT LIGHT (LP:30) (LP:30)
STORM SEWER E E	EXISTING ELEVATION + 89.75
ELECTRIC E E	PROPOSED ELEVATION TC: 89.75 BC: 89.25

SURVEYORS NOTES:

1. SITE IS ALL OF: FRANCHISE REALTY INTERSTATE CORPORATION: TAX PARCEL NO.: 1280819; D.B. 137 PG. 1599; AS FILED WITH THE CLERK'S OFFICE OF THE CIRCUIT COURT OF THE CITY OF ROANOKE, VIRGINIA.
2. ALL DISTANCES ARE HORIZONTAL GROUND, UNLESS OTHERWISE NOTED.
3. INFORMATION SHOWN HEREON IS FROM DIRECT FIELD DATA COLLECTED MAY 25, 2005.
4. AREA OF PARCEL: 29.899 SF (0.689 ACRES)
5. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
6. ZONED: C-2
7. THE PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY COMMUNITY PANEL NO. 81161 0044 D; DATED SEPTEMBER 1, 1978.
8. VERTICAL DATUM: BASED ON FINISH FLOOR ELEVATION OF 995.90 FEET FROM "MCDONALD'S SITE PLAN" BY VB ASSOCIATES, DATED: 2/9/78.
9. CURRENT OWNER: FRANCHISE REALTY INTERSTATE CORPORATION
10. PARKING STALLS: 42 STANDARD
2 HANDICAPPED
44 TOTAL
11. Not an exception in Schedule B: 40' Easement, Benefit to Franchise Realty Interstate Corporation per Deed Book 1297, pages 105-107)

EASEMENT SUMMARY:

Schedule B, Exceptions from Coverage

Lawyers Title Insurance Company

Commitment No. 139-00-84034, Case No. C985487N

dated May 1, 2005

1. Matters shown or noted on plat entitled "Street Address Franklin Road, U.S. Route 220 Roanoke, Virginia" made by Russell C. Sanderson, Land Surveyor, dated November 5, 1996, (the "Survey")
 - a. Overhead wires and power poles;
 - b. Sanitary sewer line, cleanout and manholes
 - c. Underground gas and water linesPlat not provided or obtained - matters shown or noted not observed.
2. Easements granted City of Roanoke by instrument dated September 24, 1971, recorded in Deed Book 1302, Page 845, as shown on the "Survey."
3. Exception is taken to the following matters affecting insured premises as shown on plat recorded in Deed Book 1297, page 108:
 - a. Overhead electric lines; - shown hereon
 - b. Macadam pavement crosses southerly portion of property; - not observed
 - c. Twenty-five (25) foot and 12 1/2 foot building setback lines; - building setbacks revised by City of Roanoke, shown hereon
 - d. Sanitary sewer easement - not found on referenced drawing at Deed Book 1297, page 108, but sanitary sewer easement at Deed Book 1302, Page 845, shown hereon.

The documents provided and microfilmed by Roanoke County is very illegible.

DEMOLITION LEGEND:

- SAW-CUT EXISTING ASPHALT
- LIMITS OF DISTURBANCE
- EXISTING CURBING TO BE REMOVED-TYPICAL
- EXISTING BUILDING TO BE REMOVED
- EXISTING CONCRETE TO BE REMOVED
- EXISTING ASPHALT TO BE REMOVED
- EXISTING LAWN AREA TO BE DISTURBED
- EXISTING TILE/BRICK AREA TO BE DISTURBED

DEMO REFERENCE NOTES:

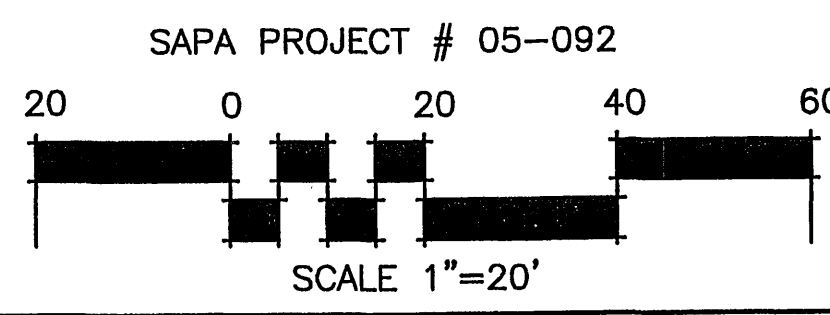
- 1 REMOVE EXISTING CONCRETE-TYPICAL
- 2 REMOVE EXISTING ASPHALT PAVING-TYPICAL
- 3 REMOVE EXISTING CURBING OR CURB & GUTTER - TYPICAL
- 4 REMOVE EXISTING TILE/BRICK SIDEWALK - TYPICAL
- 5 REMOVE EXISTING LANDSCAPING (SHRUBS, etc.)-TYPICAL
- 6 REMOVE EXISTING BUILDING. PRIOR TO DEMOLITION, VERIFY THAT ALL ENVIRONMENTAL PERMITS ARE ON THE JOBSITE.
- 7 PROTECT EXISTING McDONALDS POLE SIGN TO REMAIN.
- 8 PROTECT EXISTING UTILITIES TO REMAIN-TYPICAL.

- 9 REMOVE EXISTING DRIVE-THRU COMPONENTS (MENU BOARDS, etc.). COORDINATE WITH McDONALDS PROJECT MANAGER FOR POSSIBLE SALVAGE OF EQUIPMENT.
- 10 PROTECT EXISTING CONCRETE PADS AND WALK ALONG WESTERN PROPERTY LINE AND ALONG FRANKLIN ROAD TO REMAIN-TYP.
- 11 REMOVE EXISTING BOLLARDS AS SHOWN - TYPICAL.
- 12 REMOVE EXISTING DUMPSTER PAD, GATE, AND WALLS-TYPICAL.
- 13 REMOVE EXISTING FLAGPOLE AND COORDINATE WITH McDONALDS PROJECT MANAGER FOR TEMPORARY STORAGE AREA DURING DEMOLITION/CONSTRUCTION. VERIFY NEW LOCATION WITH McDONALDS PROJECT MANAGER. G.C. TO RE-FINISH AND POLISH EXISTING FLAGPOLE PRIOR TO IT'S RE-LOCATION.
- 14 VERIFY WITH McDONALD'S PROJECT MANAGER AND LOCAL UTILITY COMPANIES FOR REMOVAL/RE-USE OF EXISTING SERVICES AS REQUIRED.
- 15 EDGE OF EXISTING CONCRETE WALK AND APRON TO REMAIN. G.C. TO SAWCUT EXISTING AS NECESSARY TO RECEIVE NEW ASPHALT PAVING FOR DRIVEWAYS

- 16 G.C. TO PROTECT ALL OFF-SITE PAVING/CURBING FROM CHIPPING OR BREAKING DURING ALL DEMOLITION WORK. PATCH/REPAIR ANY EXISTING ITEMS DAMAGED DURING DEMOLITION AND/OR CONSTRUCTION AT NO COST TO THE OWNER. IF REPAIR WORK IS REQUIRED IN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY EXCAVATION PERMIT.
- 17 REMOVE EXISTING LIGHTPOLE AND BASE-TYPICAL. REFER TO SITE LIGHTING PLAN (BY OTHERS) AND SITE UTILITY PLAN (SHEET C-3.0) FOR NEW SITE LIGHTING LOCATIONS.
- 18 G.C. TO COORDINATE WITH McDONALDS PROJECT MANAGER AND MARTIN McGEE WITH AMERICAN ELECTRIC POWER (540-427-3864) FOR PROPER PROTECTIVE MEASURES AND POSSIBLE BASE ELEVATION ADJUSTMENTS OF EXISTING OVERHEAD UTILITY SERVICE POLE AND TELEPHONE PEDESTAL TO REMAIN DUE TO PROXIMITY OF PROPOSED RETAINING WALL AND ELEVATION CHANGES ASSOCIATED WITH SITE RE-DESIGN. THESE UTILITIES ARE CURRENTLY LOCATED WITHIN A GAP BETWEEN ELEVATED CONCRETE SIDEWALKS TO BE REMOVED.



DB 1350 - PG 554



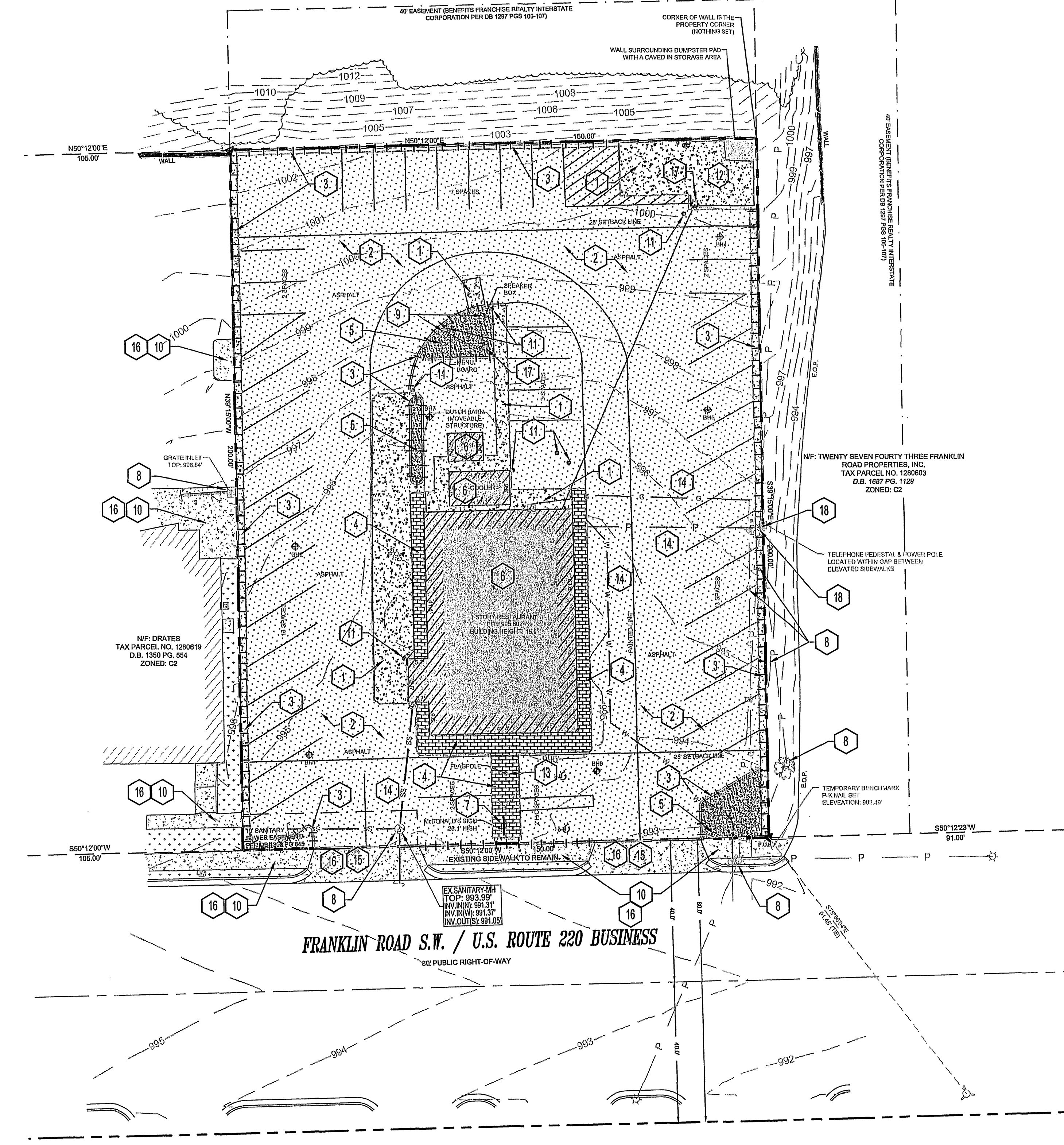
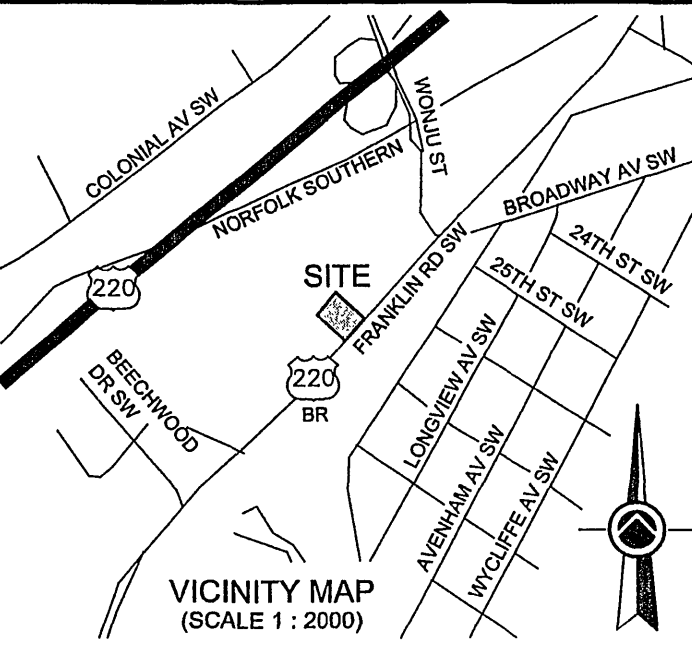
DEMOLITION NOTES:

PRIOR TO DEMOLITION GENERAL CONTRACTOR TO:

1. COORDINATE WITH McDONALDS PROJECT MANAGER FOR STORAGE AND POSSIBLE RE-USE OF EXISTING SITE ITEMS SUCH AS (BUT NOT INCLUSIVE), EXISTING FLAGPOLE, EXISTING OUTDOOR DINING EQUIPMENT, AND EXISTING TRASH RECEPTACLES.
2. G.C. TO OBTAIN A DEMOLITION PERMIT FOR THE WORK OUTLINED.
3. VISIT SITE TO FIELD-VERIFY EXISTING CONDITIONS. BRING TO THE ATTENTION OF THE McDONALDS PROJECT MANAGER ANY DISCREPANCIES OR ANY DEMOLITION ITEMS TO BE DELETED OR ADDED.
4. STAKE OUT LIMITS OF SAWCUT ON SITE FOR APPROVAL BY McD'S PROJECT MANAGER.
5. FOLLOW EROSION CONTROL PRACTICES IN ACCORDANCE WITH THESE PLANS AS WELL AS CITY, COUNTY, AND STATE EROSION CONTROL STANDARDS. GENERAL CONTRACTOR RESPONSIBLE FOR NOT ALLOWING SEDIMENT FROM LEAVING THE SITE.
6. G.C. TO VERIFY THE RE-USE AND ELEVATIONS OF EXISTING UTILITY TAPS AND TIE-INS. PATCH/REPAIR EXISTING ITEMS TO REMAIN, I.E., CURBS AND PAVEMENT AFTER UTILITY TIE-INS.
7. ALL SOLID/EXISTING STOCK PILE SOIL NOT USED ON THE PROJECT SHALL BE REMOVED OFF-SITE TO A DESIGNATED SITE APPROVED BY THE PROPER AUTHORITY. IF SOIL IS TO BE TAKEN OFF SITE IT MUST BE HAULED TO A PRE-APPROVED SITE WITH AN ASSOCIATED EROSION AND SEDIMENT CONTROL PLAN.

DURING DEMOLITION GENERAL CONTRACTOR TO:

1. VERIFY LIMITS OF PAVEMENT DEMOLITION WITH McDONALDS PROJECT MANAGER. THERE MAY BE MORE REPAIRS TO THE EXISTING CONCRETE PAVEMENT BEYOND THE LIMITS SHOWN ON THIS PLAN.
2. PROTECT EXISTING PAVING TO REMAIN FROM CHIPPING OR BREAKING. PATCH AND REPAIR ANY EXISTING ITEMS DAMAGED DURING DEMOLITION/CONSTRUCTION AT NO COST TO THE OWNER.
3. TRENCHES ARE NOT TO BE LEFT OPEN OVERNIGHT.



SITE WORK

1. THE COST TO EXTEND UTILITIES TO THE CONNECTION POINT IS TO BE REFLECTED IN THE CONTRACT SUM. ANY REQUIREMENTS OTHER THAN IMPACT, TAP FEES PAID DIRECTLY TO THE PURVEYOR ARE THE GENERAL CONTRACTOR'S RESPONSIBILITY.
2. GENERAL CONTRACTOR TO PROVIDE 4" PVC SLEEVES TO FACILITATE IRRIGATION TO ALL LANDSCAPE AREAS. POWER AND CONDUIT TO EXTEND VICINITY OF IRRIGATION CONTROL VALVE BOX SHALL BE PROVIDED BY GENERAL CONTRACTOR. VERIFY LOCATION WITH PROJECT MANAGER.
3. GENERAL CONTRACTOR WILL BACKFILL AND GRADE ALL LANDSCAPE BEDS TO A COMPACTED MINUS 4" TOP OF FINISHED CURB. INSURE BEDS ARE FREE OF FOREIGN MATERIALS AND DEBRIS. CONTINUE TO FILL BEDS WITH TOP QUALITY SOIL TO 1" BELOW TOP OF CURB. FOR PROPOSED LANDSCAPE SOIL, 50% AND MULCH TO FINISH FLUSH WITH CURB.
4. GENERAL CONTRACTOR TO ARRIVE TO SOIL REPORT AS BASIS OF SITE WORK FOR ANY POOR SOILS REMOVAL AND REMEDIATION. UNDERCUTTING, OR ROCK REMOVAL. THE GRADING PRICE SHALL INCLUDE THE SITE TO THE PROPOSED ELEVATIONS AS INDICATED ON THE SITE PLAN. SHOULD ANY UNUSUAL PROBLEM AREAS BECOME EVIDENT, NOTIFY THE PROJECT MANAGER TO CORRECT THESE AREAS. CHANGE ORDERS FOR ANY POOR SOIL REMOVAL AND REPLACEMENT (SOIL REMOVAL) SHALL NOT EXCEED 7 1/2 % OF THE TOTAL COST IN PLACE OF LABOR AND MATERIAL. CONTRACTOR SHALL PROVIDE UNIT COST FOR UNFORESEEN POOR SOILS REMOVAL AND REPLACEMENT AS ALTERNATE.
5. PROVIDE ALL CONDUITS AND WIRING, SEPARATE CIRCUIT FOR MENU ORDER STATION AND DETECTOR UNIT. THE DETECTOR LOOP SHALL BE INSTALLED IN THE DRIVE THRU PRIOR TO POURING THE CONCRETE DRIVE-THRU LANE. COORDINATE LOCATION OF MENU-ORDER STATION.
6. VERIFY THE TYPE, SIZE AND LOCATION OF TELEPHONE CONDUIT REQUIRED TO SERVICE FACILITY. MINIMUM SHALL BE 2".
7. GENERAL CONTRACTOR AND ASSOCIATED SUBCONTRACTORS SHALL BE RESPONSIBLE FOR COORDINATING WITH ALL UTILITY COMPANIES (GAS, ELECTRIC, WATER, SEWER, STORM DRAINAGE) TO INSURE TIMELY INSTALLATION.
8. ALL REQUIRED DEMOLITION IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
9. REVIEW GRADE TRAP LOCATION WITH McDONALDS PROJECT MANAGER.
10. WATER SERVICE SHALL BE 2" MIN. FOR DOMESTIC USE AND 1" MIN. FOR IRRIGATION AND BE OF COPPER MATERIAL.
11. VERIFY GAS METER LOCATION PRIOR TO INSTALLATION.
12. GENERAL CONTRACTOR WILL VERIFY BUILDING LOCATION CERTIFIED BY REGISTERED SURVEYOR. (A SEALED AND SIGNED C-2 WILL SUFFICE PRIOR TO INSTALLATION OF BUILDING FOUNDATION. A SEALED CERTIFIED C-2 PLAN AND BUILDING PLAT IS REQUIRED PRIOR TO SUBMITTING FIRST PAYMENT REQUEST. AS-BUILT LOCATION OF BUILDING TO NOTE BUILDING SETBACKS AND VERIFICATION OF VERTICAL CONTROLS PROVIDED BY GENERAL CONTRACTOR.
13. GENERAL CONTRACTOR TO FURNISH A 4"x6" HERE WE GROW AGAIN SIGN MAY BE USED ON FUTURE PROJECTS PROVIDING 16" MINIMUM IN COLOR REPAIR. THE SIGN MUST BE POSTED WITHIN 10 BUSINESS DAYS OF PROJECT START. IF NOT, A \$500 DEDUCT WILL BE TAKEN FROM THE CONTRACT AMOUNT. SIGNS CAN BE OBTAINED FROM THE McDONALDS PROJECT MANAGER.
14. MINIMUM ASPHALT PAVING CONSIST OF 1" LAYER OF AGGREGATE BASE, 2" LAYER OF AGGREGATE ASPHALT (BINDER) CEMENT BASE PAVEMENT AND A FINAL 1" LAYER OF AGGREGATE ASPHALT CEMENT BASE (SMOOTH) FINISHED SURFACE. SOILS REPORT SHALL CONTROL IN MORE STRINGENT CASES. FINISH ROLLING SHALL CONTINUE UNTIL ALL SOILS ARE HARD AND IMPROVED TO BE ELIMINATED.
15. IN CASES WHERE CONCRETE PARKING LOTS ARE APPLIED, CONCRETE IS TO BE IN COMPLETE CONFORMANCE WITH McDONALDS PLANS AND SPECIFICATIONS INCLUDING SOILS REPORT.
16. ALL SIDEWALKS AND CONCRETE PARKING LOTS INCLUDING DRIVE-THRU LANE SHALL CONSIST OF SCORE LINES. EXPANSION JOINTS AT NO GREATER THAN 10' FOR SIDEWALKS AND NO GREATER THAN 20' ON CENTER FOR CONCRETE PARKING LOTS AND DRIVE-THRU LANE. PROVIDE PRE-MOLDED EXPANSION JOINT FILLER. FINISH WITH RESINUS FILLER FOR ALL SITE LOT WORK.
17. ALL SIDEWALKS SHALL BE TILED WITH 6x6 CANYON RED ABRASIVE. CONTRACTOR TO BID MINIMUM \$8.50 AT EACH DOOR WITH REMAINING THROUGHOUT AS BID ALTERNATE. INCLUDE TILE PRE-FRAMED INCLUDED EXPANSION FILLER DIRECTLY CENTERED OVER SIDEWALK EXPANSION JOINT.
18. COMPACTION OF BUILDING SUBSTRATUM AND ASPHALT AREAS TO BE VERIFIED IN WRITING AND PERFORMED BY A GEOTECHNICAL ENGINEER CONSULTANT. THE GENERAL CONTRACTOR SHALL COVER THE COST OF TESTING.
19. PARKING LOT SUBGRADE TO BE AT A MINIMUM OF 6" CONSTRUCTION. GENERAL CONTRACTOR TO PROVIDE PROCTOR FOR PROPOSED FILL MATERIAL PRIOR TO COMMENCING CONSTRUCTION. EACH 2,500 S.F. OF FILL AT EVERY 1'-4" VERTICAL LIFTS SHALL BE VERIFIED FOR 95% COMPACTION.
20. GENERAL CONTRACTOR TO COORDINATE CONCRETE CYLINDER TEST FOR FOOTINGS, SLAB, AND ALL CONCRETE PARKING LOT PAVEMENT INCLUDING DRIVE-THRU LANE AND DUMPSTER PAD.
21. GENERAL CONTRACTOR TO PROVIDE (2) 1" CONDUITS FROM CASH WINDOW DRIVE-THRU ABOVE CEILING TO REAR PARKING LOT LIGHT POLE (HOLD FOR 16' MAX.) TO INCLUDE 10' EXTERIOR VEEPROOF GROUND FILL BREAKER (OUTLET), PROVIDE REMAINING CONDUIT WITH 200# PLAT STRING FOR FUTURE SECURITY CAMERA COAX CABLE.
22. ALL CONCRETE CURBING SHALL BE AS PER PLANS AND SPECIFICATIONS. PROVIDE 1" PVC WEEP HOLES AT EVERY 10' P.C. GRAVEL BEDDING BEHIND CURB TO PREVENT TRAPPED WATER IN LANDSCAPE BEDS.
23. G.C. TO REVIEW EXISTING STREET IMPROVEMENTS, REPAIR/REPLACE AS REQUIRED BY LOCAL JURISDICTION.
24. INSULATION UNDER THE CONCRETE FLOOR AT COOLER/FREEZER AREA SHALL BE BID AS OPERATOR EXTRA ON THE BID DOCUMENT PROPOSAL KITCHEN EQUIPMENT LINE.
- ALL LOT LIGHT WIRES TO BE CONTINUOUS RUN FROM PANELS TO THE LOT LIGHTS WITH NO SPLICES. (CHECK SPECS)

GENERAL NOTES

1. McDONALD'S ROAD SIGN AND BASE ARE BY THE SIGN CONTRACTOR. CONDUIT AND WIRING ARE BY THE G.C.
2. BASES, GALVANIZED ANCHOR BOLTS, CONDUIT, AND WIRING FOR ALL OTHER SIGNS ARE BY THE G.C.
3. 3/4" EMPTY CONDUIT TO LOCATIONS SHOWN AT THE LOT PERIMETER FOR LOT LIGHTING IS BY THE G.C. LIGHTING FIXTURES, BASES, POLES, CONDUIT, AND WIRING ARE BY THE GENERAL CONTRACTOR.
4. BASES FOR FLAGPOLES ARE BY THE GENERAL CONTRACTOR. ANCHOR BOLTS ARE BY THE FLAGPOLE SUPPLIER.
5. PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL INSTALLATION.
6. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING.
7. ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE G.C. AT GROUND/REK.
8. FINISH WALK AND CURB ELEVATIONS SHALL BE 1" ABOVE FINISH PAVEMENT.
9. ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 1" BELOW TOP OF ALL WALKS AND CURBS. FINISH GRADING, LANDSCAPING, AND SPRINKLER SYSTEMS ARE BY THE OWNER/OPERATOR.
10. LOT LIGHTING CONCRETE FOOTINGS TO CONFORM WITH THE SOILS REPORT RECOMMENDATIONS FOR THIS PARTICULAR SITE.
11. REFER TO SHEETS C1 THRU C3 FOR ALL APPLICABLE SITE DETAILS.
12. PROVIDE VEEPROOF ON CURBS AT ALL LANDSCAPE AREA LOCATIONS. COORDINATE WITH McD'S PROJECT MANAGER.

PAVING SPECIFICATION

REFER TO PAVING DETAILS FOR PAVING SPECIFICATIONS

NOTE: GEN. CON. TO OVERLAY EX. ASPHALT AS NECESSARY

NOTE: McDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF McDONALD'S, OTHERWISE, G.C. WILL BE CHARGED, NECESSARY

LOT LIGHTING RECOMMENDATION

- SECURITY LIGHTING ASB089 WITH METAL HALIDE FIXTURE W/ 30 DEGREE 1x1x2 (21'00") POLE 1' FOOT CONCRETE BASE ASB-44H-08-MT W/ALP
- GEN. CON. TO NOTE CORRECT LOCATION OF FIXTURES
- NOTE: ALL LIGHTING SHALL BE PLANE SHIELDED AND NON-DIRECTIONAL TO PREVENT DIRECT ILLUMINATION BEYOND THE PROPERTY LINE.
- NOTE: ELECTRICAL CONTRACTOR TO CIRCUIT LOT LIGHTING AS NOTED.

PARKING INFORMATION	
2-HC SPACES	8.0' X 18.0' @ 60°
30 SPACES	9.0' X 18.0' @ 60°
2 SPACES	9.0' X 18.0' @ 90°
- SPACES	-' X -' @ -°
- SPACES	-' X -' @ -°

UTILITY INFORMATION	
SIZE	TYPE LOCATION
SANITARY SEWER	EXISTING SANITARY SEWER MANHOLE ON SITE IN WESTERN DRIVEWAY
WATER	EXISTING WATERLINE RUNNING FROM FRANKLIN ROAD INTO SITE NEAR EAST PROPERTY LINE
STORM SEWER	NA
ELECTRIC	EX. OVERHEAD ALONG EAST PROPERTY LINE AND UNDERGROUND SERVICE ALONG EAST PROPERTY LINE
GAS	EXISTING GASLINE ALONG EAST PROPERTY LINE

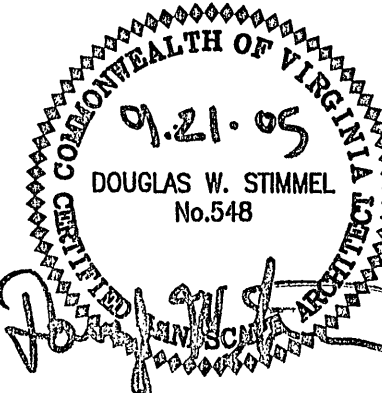
SURVEY INFORMATION	
PREPARED BY:	BOUNDARY AND TOPOGRAPHIC SURVEY BY: REGIONAL LAND SURVEYORS, INC. 8642 West Market Street Suite 100 Greensboro, North Carolina 27409 TEL.#: (336) 665-8155

PLAN SCALE: AS NOTED	
STREET ADDRESS	
2801 FRANKLIN ROAD S.W.	
CITY	STATE
ROANOKE	VIRGINIA
COUNTY	
ROANOKE	
REGIONAL DWG. NO	LOCATION CODE NUMBER
WVWA 10# 6H6N2B	045-0076

ISSUED	BY	DESCRIPTION	REVIEW	DATE
	JAL	PERMIT REVIEW COMMENTS	1	09/21/05



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Land Planning
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McDonald's
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

PLAN APPROVAL		DATE	
SIGNATURE (2 REQUIRED)			
REGIONAL MGR.			
CONST. MGR.			
OPERATIONS DEPT.			
REAL ESTATE DEPT.			
CO-SIGN SIGNATURES			
STATUS		DATE	
FINAL		08/11/05	
PLAN CHECKED			
AS-BUILT			
C1			
DEMOLITION PLAN			