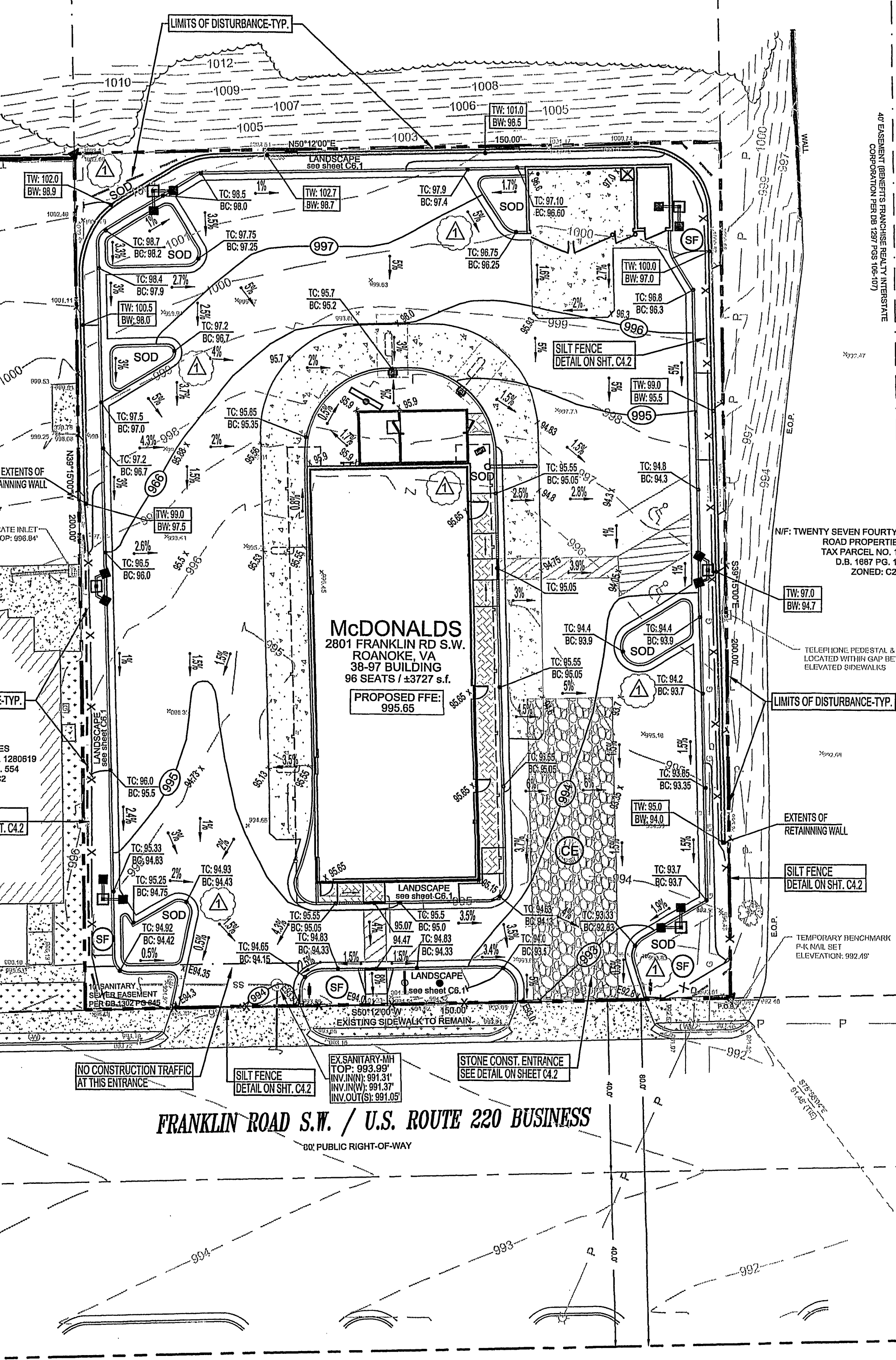


### RETAINING WALL NOTES:

G.C. TO COORDINATE WITH McDONALDS PROJECT MANAGER TO OBTAIN SOILS STABILITY REPORT AND RECOMMENDATIONS FOR POSSIBLE WALL ALTERNATIVES

N/F: HARCROS LUMBER & BUILDING SUPPLIES INC.  
TAX PARCEL NO. 1280602  
D.S. 1350 PG. 1  
ZONED: LM

40' EASEMENT (BENEFITS FRANCHISE REALTY INTERSTATE CONFORMATION PER DB 1287 PGS 105-107)



### EROSION SEDIMENT CONTROL NARRATIVE:

(As per VESCH Chapter 6)  
**Project Description:** This 0.67 acre land-disturbing activity involves the construction of the existing McDonald's restaurant building, parking area and driveways on site, and construction of a new McDonald's restaurant building, new parking areas and new driveways on the site.  
**Existing site conditions:** The existing 0.67 acre site is mostly entirely impervious as building and pavement (98.4% impervious) and slopes to the south towards Franklin Road at +5.60% to +4.85%. The site currently sheet flow drains to Franklin Road, the site eventually drains into the existing City of Roanoke Storm Drainage system at a inlet located in Franklin Road.  
**Adjacent areas:** The site is bounded by existing commercial property to the east and west and south; existing manufacturing property to the north, and by Franklin Road (Route 220 Business) to the south.  
**Soils:** The site is currently 98.4% paved surfaces underlain by natural soils. Beneath the pavement and gravel layers are encountered on-site generally consisted of Clay (CH) with varying amounts of fine to medium sand. Soil types encountered by drilling borings and sampling the soil to depths ranging from 10 to 20 feet below existing site grades primarily consisted of Fines Sandy Clay with trace Fines to Coarse Sand (CH) with traces of granular brown Silt (MH). In general, it was the opinion of the Geo-Technical Engineer that the subsurface conditions (soils) encountered indicated that the proposed structure could be supported on conventional shallow footing foundations and ground supported pier foundations. The Soils Information was taken from Report of Subsurface Exploration and Geo-Technical Engineering Report prepared by ECS Mid-Atlantic LLC of Roanoke, Virginia dated May 4, 2005.  
**Critical areas:** There are no critical areas on this site.  
**Erosion and sediment control measures:** A storm construction entrance to be located on the southeast side (eastern most existing driveway to remain) is proposed to prevent tracking of sediment onto streets. Silt fence is proposed along the east, west, and southern sides of the site to capture and contain sediment.  
**Permanent stabilization:** A combination of sodding, landscaping and permanent seeding is proposed to permanently stabilize all non-impervious areas of the site. See Landscape Plans (Sheets C6.1 and C6.2) for details and specifications.  
**Stormwater runoff considerations:** The proposed site development will cause a reduction in peak runoff rates. The existing site is 98.4% impervious (0.678 acres) and the proposed site development will be 82.3% impervious (0.567 acres). Since there is a reduction of peak runoff rates, quantity control should not be required for the proposed development. Refer to Sheet C4.3 for pre and post development mapping and calculations which indicates a reduction of peak runoff rates of  $\pm 0.5$  c.f.s. for Q2 and  $\pm 0.7$  c.f.s. for Q10.  
**Calculations:** No design for all fence. See Stormwater Management Plan (Sheet C4.3) for drainage area delineation, pre-development & post-development runoff calculations and stormwater quality control calculations.

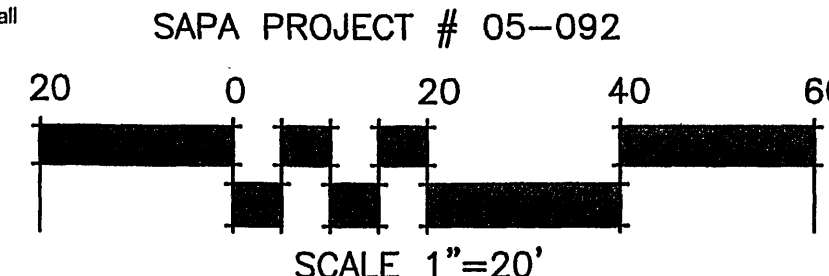
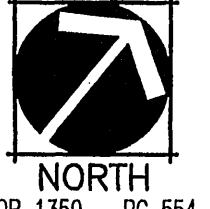
### EROSION SEDIMENT CONTROL MINIMUM STANDARDS:

- The following Minimum Standards must be met (VESCH Chapter 8):
- MS-1: Temporary and permanent stabilization of denuded areas (Permanent within 7 days for areas at final grade, Temporary for areas not to final for 30 days)
  - a) Are practices shown on the plan? Both temporary and permanent stabilization methods and limits (denuded areas) are shown on the grading plan (Sheet C4.1).
  - b) Are the limits of clearing and grading shown on the plan? It is shown on the Grading Plan (Sheet C4.1) and labeled as "Limits of Disturbance-TYP."
  - c) Seed Specifications? Temporary and Permanent seeding specifications are listed in the upper left hand corner of Sheet C4.1 - the permanent groundcover will be Sod and those specifications can be found on Sheet C6.2.
  - MS-2: Protection or stabilization of on-site and off-site stockpiles and borrow areas. This has been addressed as "off-site fill or borrow notes" on Sheet C4.1.
  - MS-3: Permanent Stabilization of denuded areas not otherwise stabilized. Temporary and permanent stabilization specifications are on Sheet C4.1 and final permanent groundcover of Sod is specified on Sheet C6.2.
  - MS-4: Install E&S Measures as first step in land-disturbing activity. This has been called for as note # 1 in the "Erosion Control Sequence" on Sheet C4.1.
  - MS-5: E&S Measures include erosion control measures stabilized immediately upon installation. This is not applicable to this site.
  - MS-6: Sediment Traps (less than 3 acres drainage) and basins (greater than 3 acres of drainage). This is not applicable to this site.
  - MS-7: Design and construction of cut and fill slopes to minimize erosion. Cut/Fill slopes have been designed to minimize erosion by means of seeding/paving Sod and no slopes on-site exceed 4:1.
  - MS-8: Concentrated flow down cut and fill must be in adequate channel, flume, or slope drain. This is not applicable to this site.
  - MS-9: Slopes protected from seepage. This is not applicable to this site.
  - MS-10: Storm sewer inlets must have adequate inlet protection. Temporary inlet protection to be installed as per Roanoke County standard detail # 3.02 scheduled for all proposed and existing storm sewer inlets/structures. This is not applicable to this site.
  - MS-11: Outlet protection and channel lining is required prior to operation storm sewer system. This is not applicable to this site.
  - MS-12: Minimize impacts when working in and around live watercourse. This is not applicable to this site.
  - MS-13: Temporary vehicular stream crossings for more than 2 trips in 6 months. This is not applicable to this site.
  - MS-14: Other federal, state and local regulations must be met when working in live watercourses. This is not applicable to this site.
  - MS-15: The bed and banks of disturbed watercourses must be stabilized immediately. This is not applicable to this site.
  - MS-16: Utility Installations. The required 5 Utility Installation notes (a thru e) have been added to both the Grading/Erosion Control Plan (Sheet C4.1) and the Site Utility Plan (Sheet C6.3).
  - MS-17: Keep paved or public areas clean (Construction Entrances). Paved and/or public areas shall be kept clean through the utilization of Stone Construction Entrance per Roanoke County standard detail # 3.02 at the proposed driveway location on Vinyard Road. The Grading/Erosion Control Plan (Sheet C4.1) designates such and that no construction traffic shall be permitted at the driveway off of Hardy Road.
  - MS-18: Temporary measures should be removed within 30 days no longer needed. As specified for this project. Notes concerning the removal of temporary measures and a maintenance schedule (including designating inspection and repair on a weekly basis and/or immediately following any rainfall) are part of the "Erosion Control Sequence" found on Sheet C4.1.
  - MS-19: Address increases in stream velocity, velocity, and peak runoff. This is not applicable to this site. The proposed site plan is decreasing the peak runoff rates by  $\pm 0.5$  c.f.s. for Q2 and  $\pm 0.7$  c.f.s. for Q10 and a decrease of impervious surface area by almost 3% of the total site. Refer to Sheet C4.3 for more information and associated calculations for pre and post development. "The limits of clearing and grading must be shown. The limits are shown on Sheet C4.1 and labeled as "Limits of Disturbance-TYP."
  - \* Existing and proposed contours must be shown. Both existing and proposed contours are shown on all foot (1') intervals on Sheet C4.1.
  - \* Existing vegetation (trees, grassed areas, or unique vegetation) must be shown. All required vegetation is shown on the plans.
  - \* Location of all required erosion control practices are shown (outlined) and labeled (specified) on Sheet C4.1.
  - \* The E&S plan should cover all phases of construction. Only one (1) phase of construction is scheduled and the general contractor shall follow the "Erosion Control Sequence" on Sheet C4.1 during construction.
  - \* Current E&S detail sheet is included with appropriate bond amounts. The required E&S detail sheet and bond amount estimate is provided as Sheet C4.2.
  - \* A maintenance schedule for the erosion control measures must be set forth. The erosion control maintenance schedule is set forth in the "Erosion Control Sequence" on Sheet C4.1.

### GENERAL EROSION AND SEDIMENT CONTROL NOTES:

- ES-1: Unless otherwise indicated, all vegetative and erosion control measures shall be constructed and maintained according to minimum standards and specifications of the Virginia Erosion and Sediment Control Handbook and Virginia Regulations 4VAC50-30.
- ES-2: The plan providing authority must be notified one week prior to the pre-construction conference, one week prior to the commencement of land disturbing activity, and one week prior to the final inspection.
- ES-3: All erosion and sediment control measures are to be placed prior to or as the first step in clearing.
- ES-4: A copy of the approved erosion and sediment control plan shall be maintained on the site at all times.
- ES-5: Prior to commencing land disturbing activities in areas other than indicated on these plans (including but not limited to, off-site borrow or waste areas), the contractor shall submit a supplementary erosion control plan to the owner for review and approval by the approving authority.
- ES-6: The contractor is responsible for installation of any additional erosion control measures necessary to prevent erosion and sedimentation as determined by the plan approving authority.
- ES-7: All disturbed areas are to be drained to approved sediment control measures at all times during land disturbing activities and during site development until final stabilization is achieved.
- ES-8: During dewatering operations, water will be pumped into an approved filtering device.
- ES-9: The contractor shall inspect all erosion control measures periodically and after each runoff-producing rainfall event. Any necessary repairs or cleanup to maintain the effectiveness of the erosion control devices shall be made immediately.

OWNER / CONTACT INFORMATION:  
McDONALDS CORPORATION  
Attention: SCOTT THOMPSON  
3200 BEECHLEY COURT - SUITE 300  
RALEIGH, NC 27604  
Tel#: 919-326-4207



### TEMPORARY SEEDING: (TO MEET VIRGINIA SEDIMENT AND EROSION CONTROL MANUAL STANDARDS)

FOR LATE WINTER/EARLY SPRING:  
SEEDING MIXTURE:  
SPECIES: RATE (LBS/ACRE):  
RYE (GRASS) 120  
ANNUAL LESPEDEZA 40  
(USE PREVENTION LOGS FOR MANURE/VERMIN CONTROL)  
SEEDING DATES:  
MOUNTAIN - FEB. 1 - MAY 1  
PIEDMONT - JAN. 1 - MAY 1  
CONSTANT PLAIN - DEC. 1 - APR. 15  
SOIL AMENDMENTS:  
FOLLOW RECOMMENDATIONS OF SOIL TESTS ON APPLY 2,000 LBS/ACRE GRAIN  
AGRICULTURAL LIME AND 80 LBS/ACRE 10-10-10 FERTILIZER.  
MULCH:  
APPLY 4,000 LBS/ACRE STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT.  
REPAIR ON MULCH ANCHORS ONLY. LOTS WITH MULCH SET HEAVY  
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