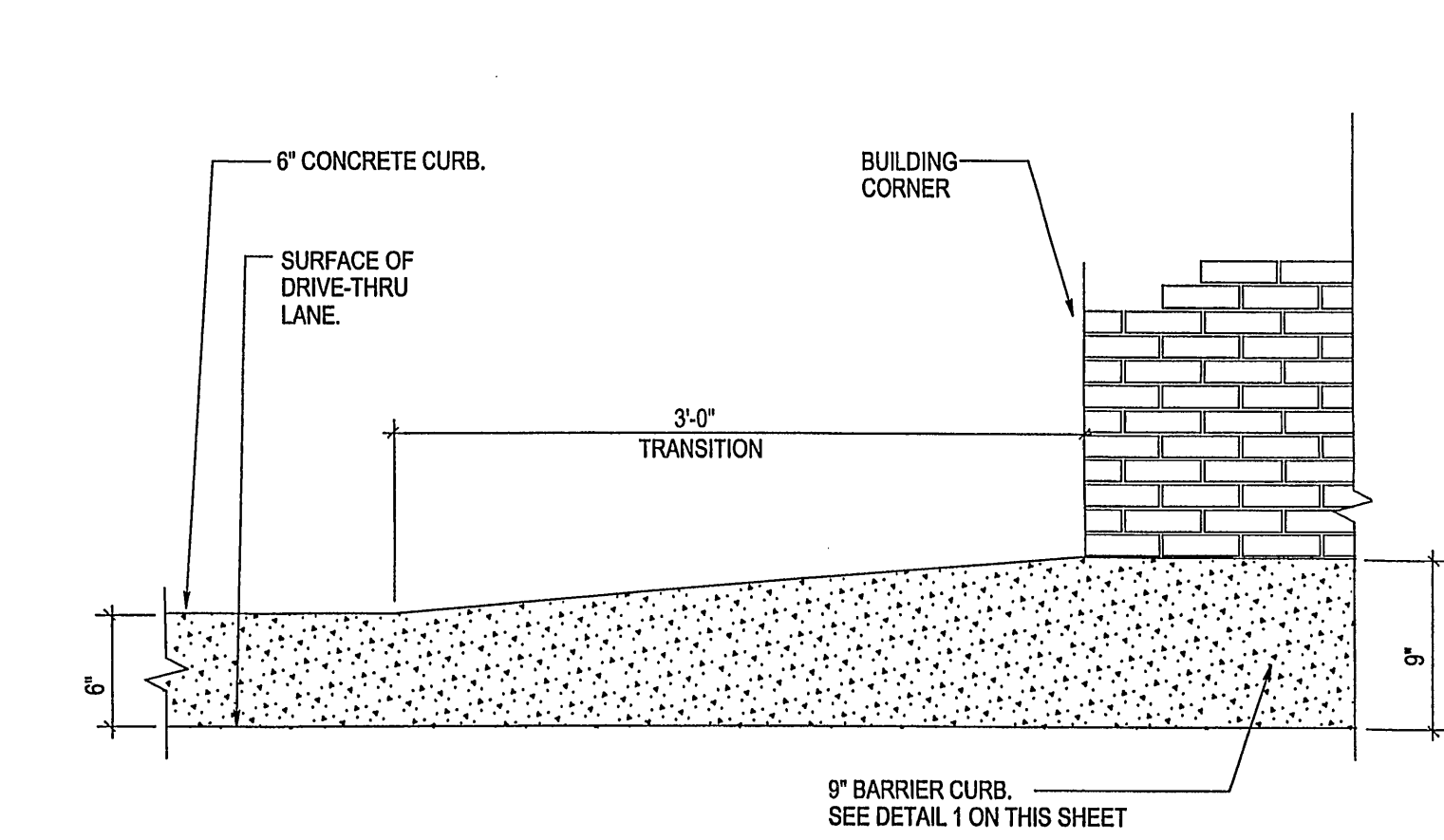
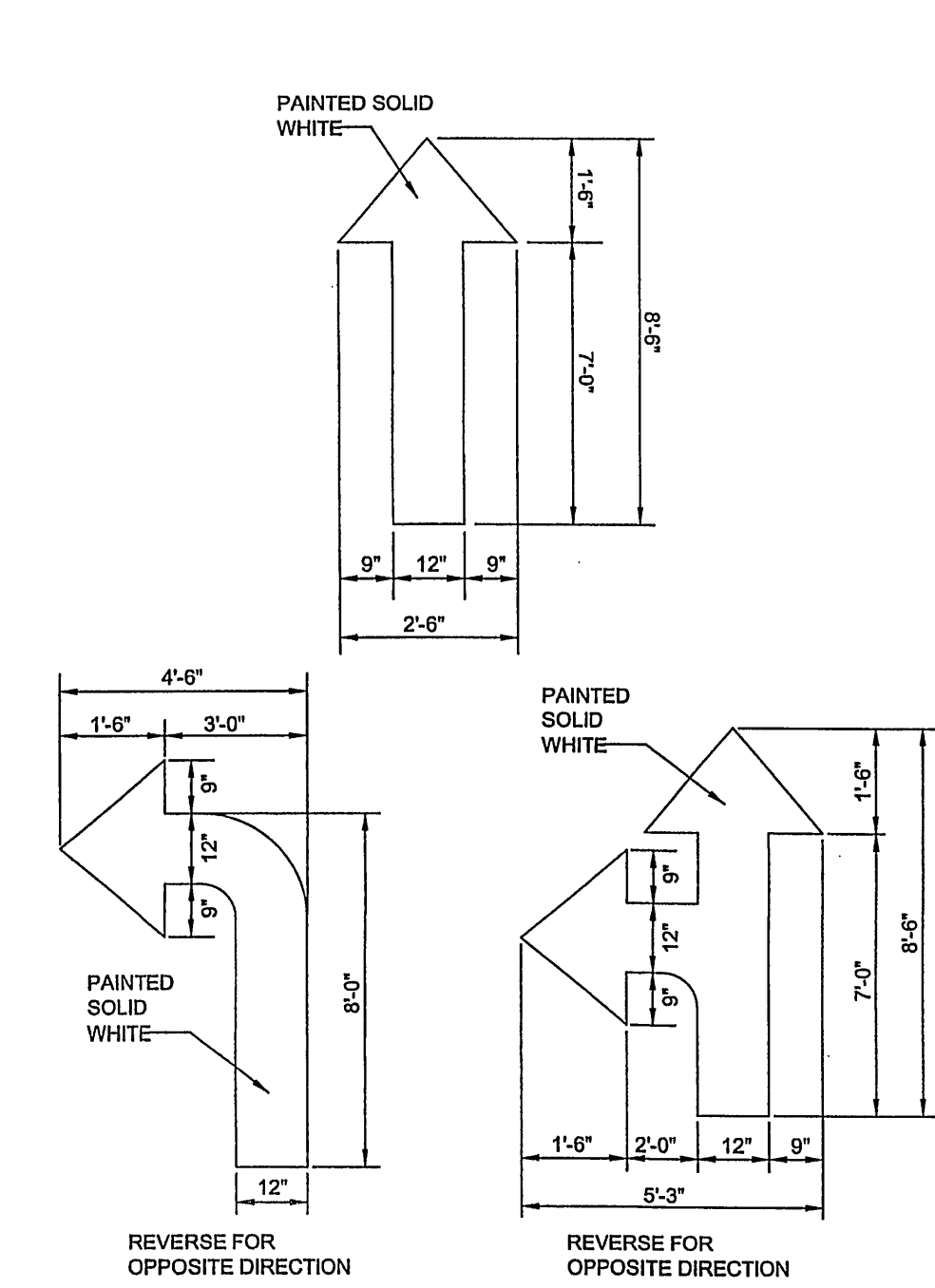


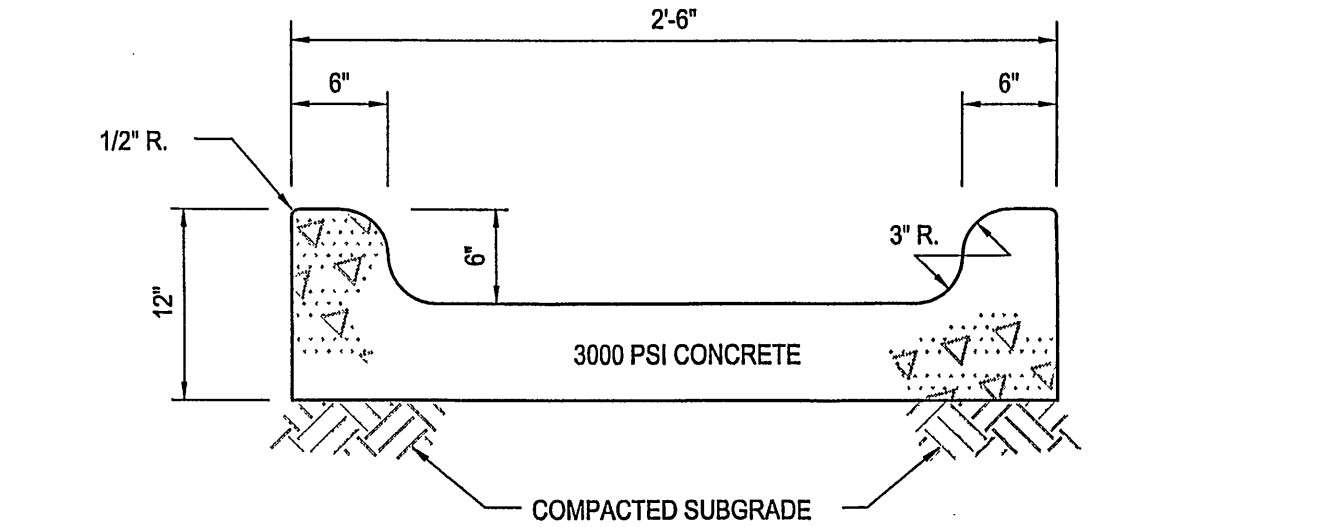
1 9" BARRIER CURB AT DRIVE-THRU
SCALE: N.T.S.



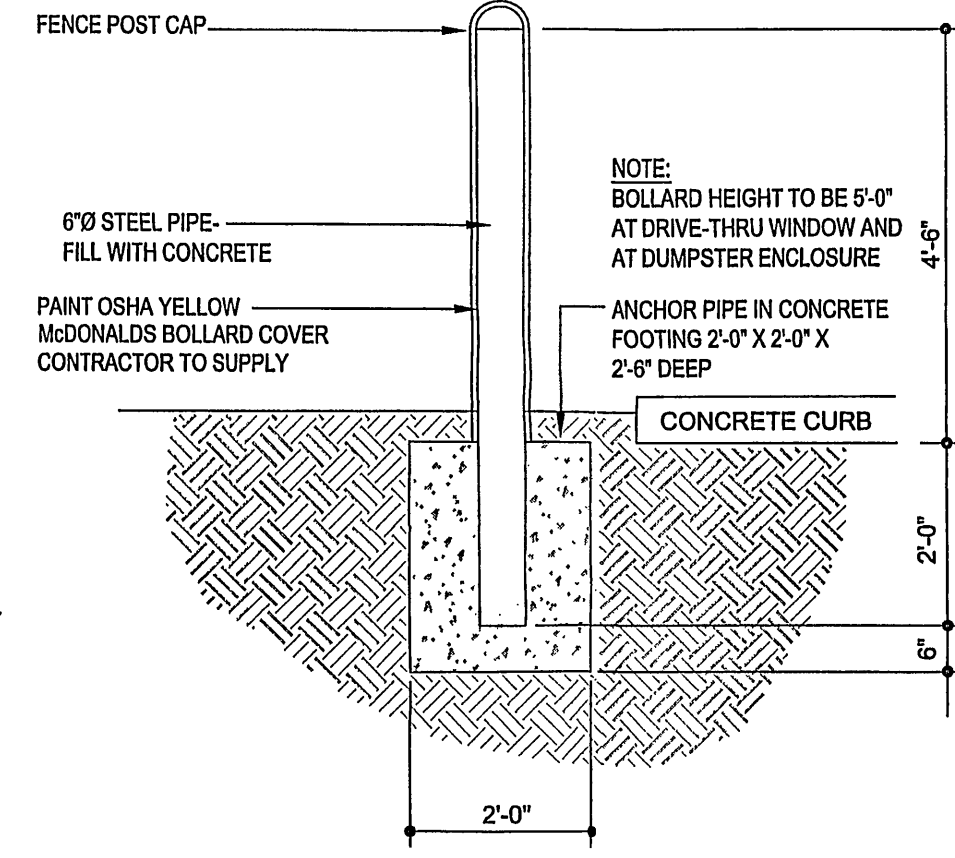
2 6" TO 9" CURB TRANSITION
SCALE: N.T.S.



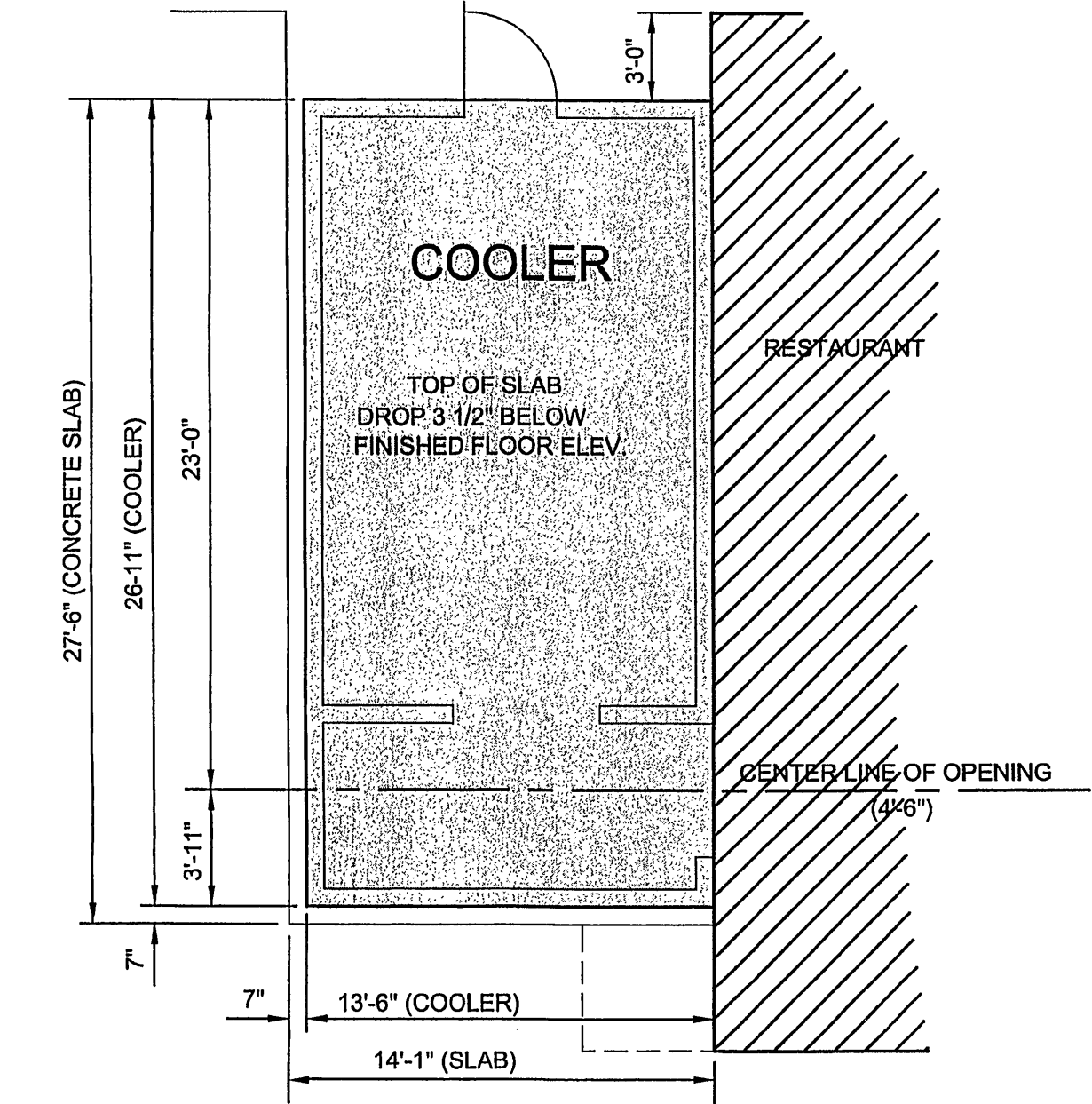
4 PAINTED DIRECTIONAL ARROWS
SCALE: N.T.S.



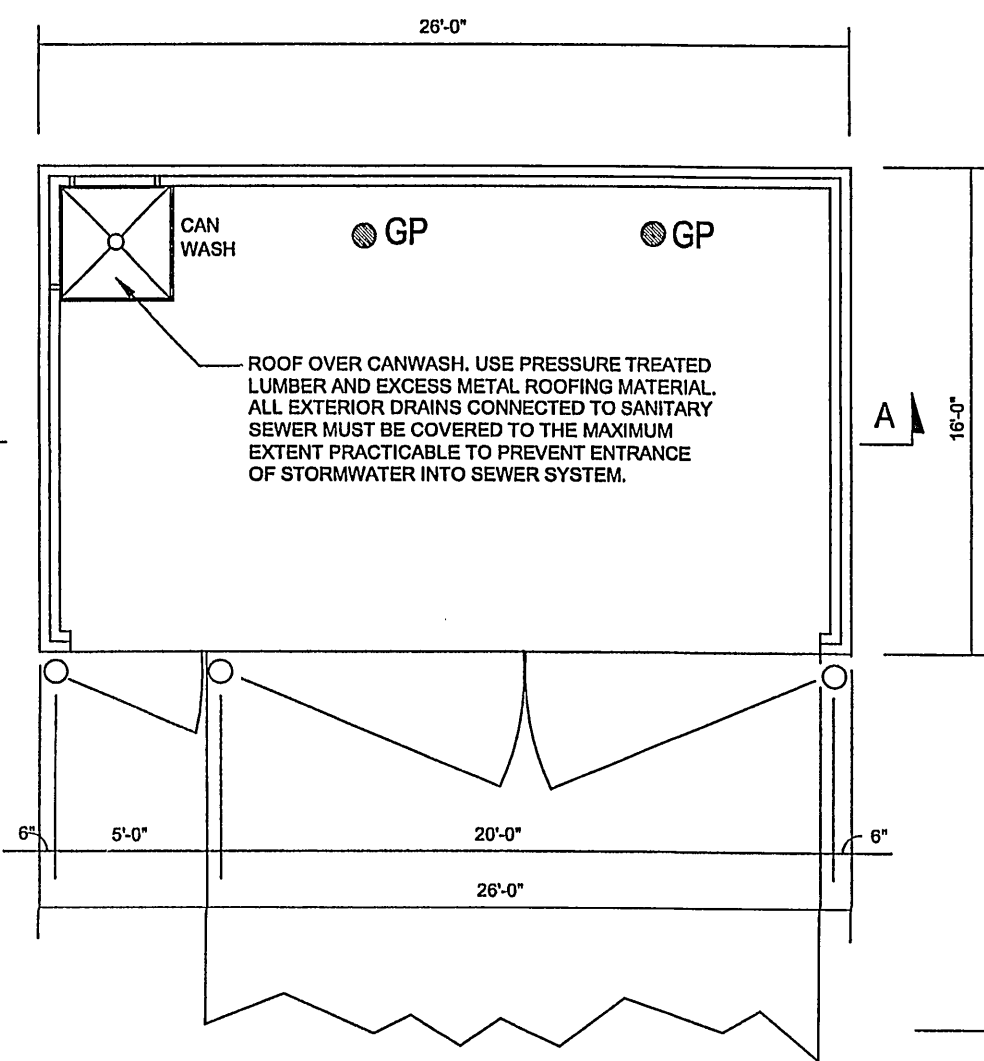
5 CONCRETE FLUME
SCALE: N.T.S.



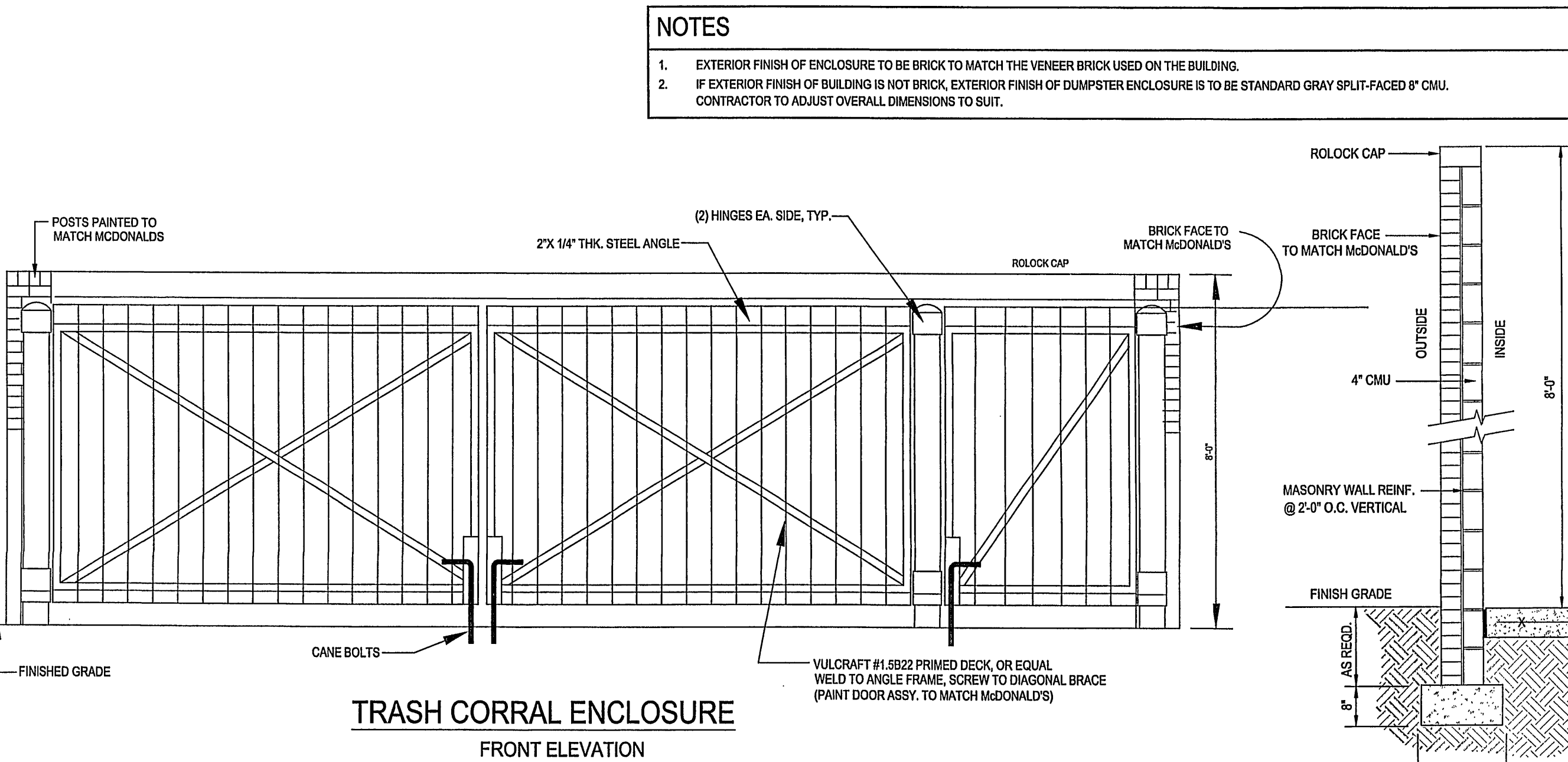
6 STEEL PIPE BOLLARDS
SCALE: N.T.S.



7 COOLER AREA DETAIL
SCALE: N.T.S.

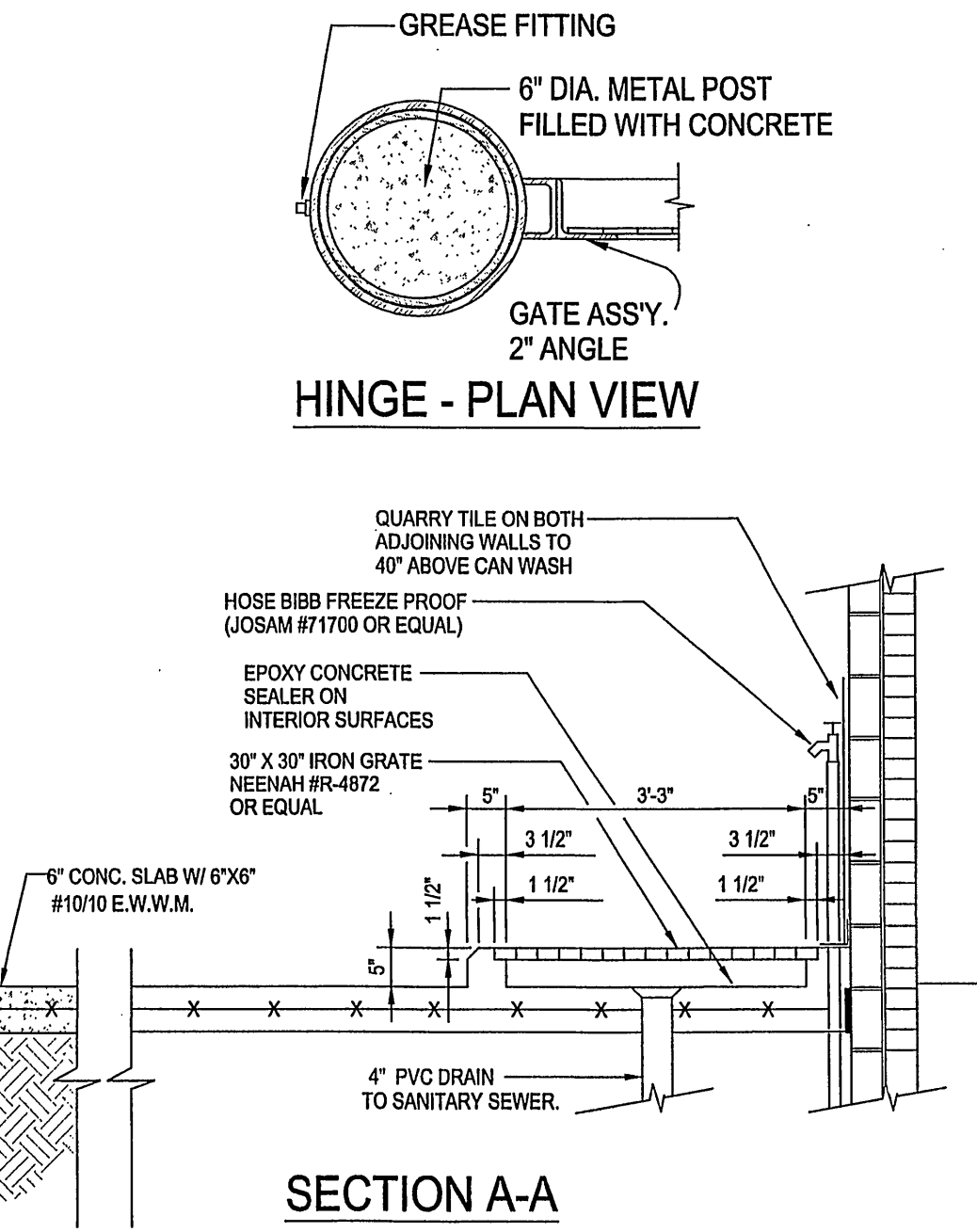


8 TRASH CORRAL AND DUMPSTER ENCLOSURE DETAIL
SCALE: N.T.S.



NOTES

- EXTERIOR FINISH OF ENCLOSURE TO BE BRICK TO MATCH THE VENEER BRICK USED ON THE BUILDING.
- IF EXTERIOR FINISH OF BUILDING IS NOT BRICK, EXTERIOR FINISH OF DUMPSTER ENCLOSURE IS TO BE STANDARD GRAY SPLIT-FACED 8" CMU. CONTRACTOR TO ADJUST OVERALL DIMENSIONS TO SUIT.



SAPA PROJECT # 05-092

- SITE WORK**
- THE COST TO EXTEND UTILITIES TO THE CONNECTION POINT IS TO BE REFLECTED IN THE CONTRACT SUM. ANY REQUIREMENTS OTHER THAN IMPACT, TAP FEES PAID DIRECTLY TO THE PURVEYOR ARE THE GENERAL CONTRACTORS RESPONSIBILITY.
 - GENERAL CONTRACTOR TO PROVIDE 4" PVC S ELEVATES TO FACILITATE IRRIGATION TO ALL LANDSCAPE AREAS. POWER AND CONDUIT TO EXTERIOR VENTILATION OF IRRIGATION CONTROL VALVE BOX SHALL BE PROVIDED BY GENERAL CONTRACTOR. VERIFY LOCATION WITH PROJECT MANAGER.
 - GENERAL CONTRACTOR WILL BACKFILL AND GRADE ALL LANDSCAPE BEDS TO A COMPACTED MINUS 4" TOP OF FINISHED CURB. INSURE BEDS ARE FREE OF FOREIGN MATERIALS AND DEBRIS. CONTINUE TO FILL BEDS WITH TOP QUALITY SOIL TO 1" BELOW TOP OF CURB, FOR PROPOSED LANDSCAPE SOIL, SO2 AND MATCH TO FINISH FLUSH WITH CURB.
 - GENERAL CONTRACTOR TO ADHERE TO SOILS REPORT AS BASIS OF SITE WORK FOR ANY POOR SOILS REMOVAL AND REDEMPTION, UNDERCUTTING, OR ROCK REMOVAL. THE GRADING PRICE SHALL INCLUDE THE SITE TO THE PROPOSED ELEVATION ON THE SITE PLAN. SHOULD ANY UNUSUAL PROBLEM AREAS BECOME EVIDENT, NOTIFY THE PROJECT MANAGER TO CONFIRM THESE AREAS. CHANGE ORDERS FOR ANY POOR SOIL REMOVAL AND REPLACEMENT (SOIL REMOVAL) SHALL NOT EXCEED 1% OF THE TOTAL COST IN PLACE OF LABOR AND MATERIAL. CONTRACTOR SHALL PROVIDE UNIT COST FOR UNOBSERVED POOR SOILS REMOVAL AND REPLACEMENT AS ALTERNATE.
 - PROVIDE ALL CONDUITS AND WIRING, SEPARATE CONDUIT FOR MENU ORDER STATION AND DETECTOR UNIT. THE DETECTOR LOOP SHALL BE INSTALLED IN THE DRIVE THRU PRIOR TO CURING THE CONCRETE DRIVE-THRU LANE. COORDINATE LOCATION OF MENU ORDER STATION.
 - VERIFY THE TYPE, SIZE AND LOCATION OF TELEPHONE CONDUIT REQUIRED TO SERVICE FACILITY. MINIMUM SHALL BE 2".
 - GENERAL CONTRACTOR AND ASSOCIATED SUBCONTRACTORS SHALL BE RESPONSIBLE FOR COORDINATING WITH ALL UTILITY COMPANIES (GAS, ELECTRIC, WATER, SEWER, STORM DRAINAGE) TO INSURE TIMELY INSTALLATION.
 - ALL REQUIRED DEMOLITION IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
 - REVIEW GREASE TRAP LOCATION WITH MCDONALDS PROJECT MANAGER.
 - WATER SERVICE SHALL BE 2" MIN. FOR DOMESTIC USE AND 1" MIN. FOR IRRIGATION AND BE OF COPPER MATERIAL.
 - VERIFY GAS METER LOCATION PRIOR TO INSTALLATION.
 - GENERAL CONTRACTOR WILL VERIFY BUILDING LOCATION CERTIFIED BY REGISTERED SURVEYOR (A SEALED AND SIGNED C-2 WILL SUFFICE) PRIOR TO INSTALLATION OF BUILDING FOUNDATION. A SEALED CERTIFIED C-2 PLAN AND BUILDING PLAN IS REQUIRED PRIOR TO SUBMITTING FIRST PAYMENT REQUEST. AS BUILT LOCATION OF BUILDING TO NOTE BUILDING SETBACKS AND VERIFICATION OF VERTICAL CONTROLS PROVIDED BY GENERAL CONTRACTOR.
 - GENERAL CONTRACTOR TO FURNISH A 4'x8" HERE WE GROW AGAIN SIGN. SIGN MAY BE USED ON FUTURE PROJECTS PROVIDING IT IS MAINTAINED IN GOOD REPAIR. THIS SIGN MUST BE POSTED WITHIN 10 BUSINESS DAYS OF PROJECT START. IF NOT, A \$200 DEDUCT WILL BE TAKEN FROM THE CONTRACT AMOUNT. SIGNS CAN BE OBTAINED FROM THE MCDONALDS PROJECT MANAGER.
 - MINIMUM ASPHALT PAVING CONSIST OF A 1" LAYER OF AGGREGATE ROCK BASE, 2" LAYER OF AGGREGATE ASPHALT (BINDER) CEMENT BASE PAVEMENT AND A FINAL 1" LAYER OF AGGREGATE ASPHALT CEMENT BASE. SMOOTH FINISH SURFACE. SOILS REPORT SHALL BE CONTROL IN MOIST STRONG CASES. FINISH ROLLING SHALL CONTINUE UNTIL ALL ROLLER MARKS AND IMPRESSIONS ARE ELIMINATED.
 - IN CASES WHERE CONCRETE PARKING LOTS ARE APPLIED, CONCRETE IS TO BE IN COMPLETE CONFORMANCE WITH MCDONALDS PARKING LOTS AND SPECIFICATIONS INCLUDING SOILS REPORT.
 - ALL SIDEWALKS AND CONCRETE PARKING LOTS INCLUDING DRIVE-THRU LANE SHALL CONSIST OF SCORE LINES / EXPANSION JOINTS AT NO GREATER THAN 10' FOR SIDEWALKS AND NO GREATER THAN 20' ON CENTER FOR CONCRETE PARKING LOTS AND DRIVE-THRU LANE. PROVIDE PRE-MOLDED EXPANSION JOINT FILLER, FINISH WITH RESIDUE FILLER FOR ALL SITE FLAT WORK.
 - ALL SIDEWALKS SHALL BE TIED WITH 60# CANYON RED ABRASIVE. CONTRACTOR TO BID MINIMUM 3/4" x 4" EACH CORNER WITH REINFORCING. PROVIDE PRE-MOLDED EXPANSION JOINT FILLER DIRECTLY CENTERED OVER SIDEWALK EXPANSION JOINT.
 - COMPACTION OF BUILDING SUBSTRATA AND ASPHALT AREAS TO BE OVERSEEN IN WRITING AND PERFORMED BY A GEOTECHNICAL ENGINEER CONSULTANT. THE GENERAL CONTRACTOR SHALL COVER THE COST OF TESTING.
 - PARKING LOT SUBGRADE TO BE AT A MINIMUM OF 95% COMPACTION. GENERAL CONTRACTOR TO PROVIDE PROCTOR FOR PROPOSED FILL MATERIAL PRIOR TO COMMENCING CONSTRUCTION. EACH 1,500 S.F. OF FILL AT EVERY 1" OF MATERIAL LIFT SHALL BE VERIFIED FOR 95% COMPACTION.
 - GENERAL CONTRACTOR TO COORDINATE CONCRETE CYLINDER TEST FOR FOOTINGS, SLAB, AND ALL CONCRETE PARKING LOT PAVEMENT INCLUDING DRIVE-THRU LANE AND DUMPSTER PAD.
 - GENERAL CONTRACTOR TO PROVIDE (2) 1" CONDUITS FROM CASH WINDOW DRIVE-THRU (ABOVE CEILING TO REAR PARKING LOT) FLOOR (DRIVE-THRU) INSIDE FLOOR (A.F.F.) TO INCLUDE 110 EXTERIOR WEATHER PROOF GROUND FAULT BREAKER (OUTLET). PROVIDE REMAINING CONDUIT WITH 200# FILL STRING FOR FUTURE BUILDING CABLE.
 - ALL CONCRETE CURBING SHALL BE AS PER PLANS AND SPECIFICATIONS. PROVIDE 1" PVC KEEP HOLES AT EVERY 10'-0" O.C. (GRAVEL BEDDING BEHIND CURB) TO PREVENT TRAPPED WATER IN LANDSCAPE BEDS.
 - G.C. TO REVIEW EXISTING STREET IMPROVEMENTS, REPAIR / REPLACE AS REQUIRED BY LOCAL JURISDICTION.
 - INSULATION UNDER THE CONCRETE FLOOR AT COOLER / FREEZER AREA SHALL BE BID AS OPERATOR EXTRA ON THE BID DOCUMENT PROPOSAL. KITCHEN EQUIPMENT LINE.

- GENERAL NOTES**
- MCDONALDS ROAD SIGN AND BASE ARE BY THE SIGN CONTRACTOR. CONDUIT AND WIRING ARE BY THE G.C.
 - BASIS. GALVANIZED ANCHOR BOLTS, CONDUIT, AND WIRING FOR ALL OTHER SIGNS ARE BY THE G.C.
 - 3/4" EMPTY CONDUIT TO LOCATIONS SHOWN AT THE LOT PERIMETER FOR LOT LIGHTING IS BY THE G.C.
 - LIGHTING FIXTURES, BASES, POLES, CONDUIT, AND WIRING ARE BY THE GENERAL CONTRACTOR.
 - BASIS FOR FLAGPOLES ARE BY THE GENERAL CONTRACTOR. ANCHOR BOLTS ARE BY THE FLAGPOLE SUPPLIER.
 - PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL INSTALLATION.
 - THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CROWDING.
 - ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE G.C. AT GROUND/BREAK.
 - FINISH WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT.
 - ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF ALL WALKS AND CURBS. FINISH GRADING, LANDSCAPING, AND SPRINKLER SYSTEMS ARE BY THE CONVEYOR.
 - LOT LIGHTING CONCRETE FOOTINGS TO CONFORM WITH THE SOILS REPORT RECOMMENDATIONS FOR THIS PARTICULAR SITE.
 - REFER TO SHEETS G1 THRU G4 FOR ALL APPLICABLE SITE DETAILS.
 - PROVIDE REEPIECES ON CURBS AT ALL LANDSCAPE AREAS LOCATIONS. COORDINATE WITH MCDONALDS PROJECT MANAGER.

PAVING SPECIFICATION

REFER TO PAVING DETAILS FOR PAVING SPECIFICATIONS

NOTE: GEN. CON. TO OVERLAY EX. ASPHALT AS NECESSARY

NOTE: MCDONALDS ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION. TESTS WILL BE AT THE EXPENSE OF MCDONALDS, OTHERWISE, G.C. WILL BE CHARGED. NECESSARY.

LOT LIGHTING RECOMMENDATION

SECURITY LIGHTING ASBIDDING WITH METAL HALIDE FIXTURE W/ 30 DEGREE TILT ON 25 FOOT POLE 1 FOOT CONCRETE BASE ASB 4 AM 08 MT W/ALUP

SEE PLAN TO NOTE CORRECT LOCATION OF FIXTURES

NOTE: ALL LIGHTING SHALL BE GLARE SHIELDED AND NON-DIRECTIONAL TO PREVENT DIRECT ILLUMINATION BEYOND THE PROPERTY LINE.

NOTE: ELECTRICAL CONTRACTOR TO CIRCUIT LOT LIGHTING AS NOTED.

PARKING INFORMATION			
TOTAL SPACES	2-HC SPACES	8.0' X 18.0'	60 *
34	30 SPACES	9.0' X 18.0'	60 *
	2 SPACES	9.0' X 18.0'	90 *
	- SPACES	-' X -'	- -
	- SPACES	-' X -'	- -

UTILITY INFORMATION		
SIZE	TYPE	LOCATION
SANITARY SEWER	EXISTING SANITARY SEWER MANHOLE ON SITE IN WESTERN DRIVEWAY	
WATER	EXISTING WATERLINE RUNNING FROM FRANKLIN ROAD INTO SITE NEAR EAST PROPERTY LINE	
STORM SEWER	N/A	
ELECTRIC	EX. OVERHEAD ALONG EAST PROPERTY LINE AND UNDERGROUND SERVICE ALONG EAST PROPERTY LINE	
GAS	EXISTING GASLINE ALONG EAST PROPERTY LINE	

SURVEY INFORMATION

PREPARED BY: **BOUNDARY AND TOPOGRAPHIC SURVEY BY:**
REGIONAL LAND SURVEYORS, INC.
8642 West Market Street Suite 100
Greensboro, North Carolina 27409
TEL # (336) 685-8155

PLAN SCALE: AS NOTED	
STREET ADDRESS	
2801 FRANKLIN ROAD S.W.	
CITY	STATE
ROANOKE	VIRGINIA
COUNTY	
ROANOKE	
REGIONAL DWG. NO	LOCATION CODE NUMBER
WWVA ID# 6HN2B	045-0076

Stimmel

Stimmel Associates, PA

Landscape Architecture
Civil Engineering
Land Planning

601 N. Trade Street Suite 200
Winston Salem, NC 27101-2916
P: 336.723.1067 F: 336.723.1069

COMMONWEALTH OF VIRGINIA
REGISTERED PROFESSIONAL
9.21.05
DOUGLAS W. STIMMEL
No. 548

McDonald's

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REGION REGION OFFICE ADDRESS

3300 BEECHDALE COURT - SUITE 300 - RALEIGH, N.C. 27604

PLAN APPROVAL

SIGNATURE (2 REQUIRED)	DATE	BY
REGIONAL MGR.		
CONST. MGR.		
OPERATIONS DEPT.		
REAL ESTATE DEPT.		
CONTRACTOR		
OWNER		

STATUS: FINAL DATE: 08/11/05 BY: DGS

PLAN CHECKED: - JAL

AS-BUILT: -

C5.2
SITE DETAILS