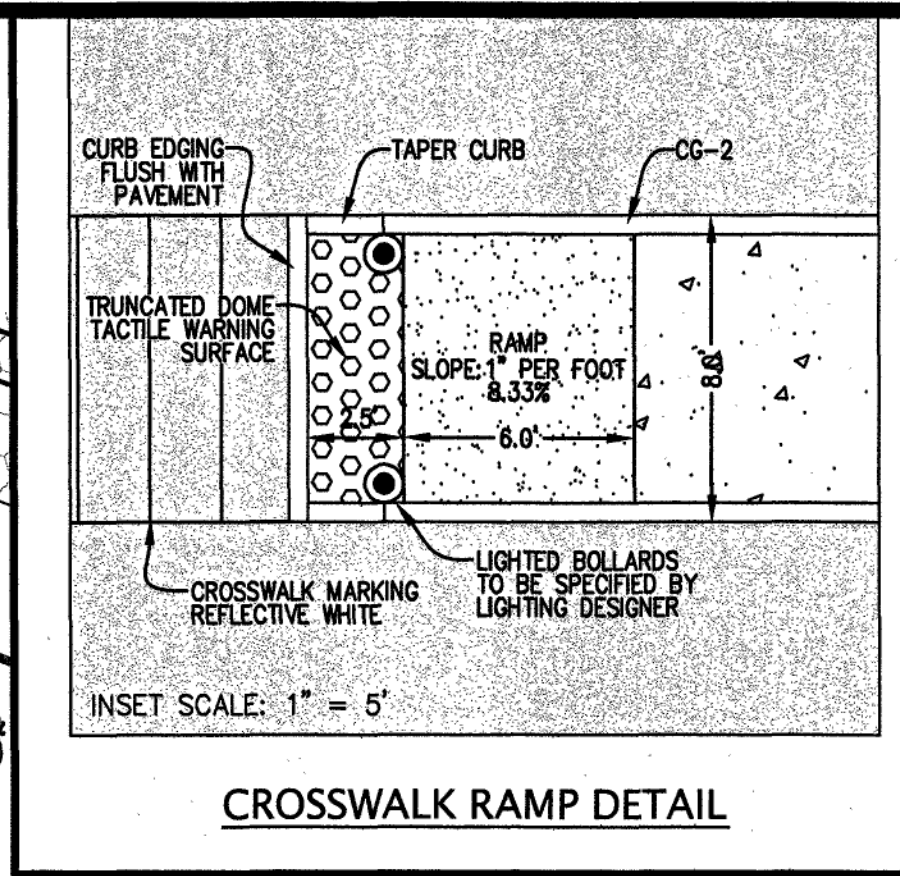
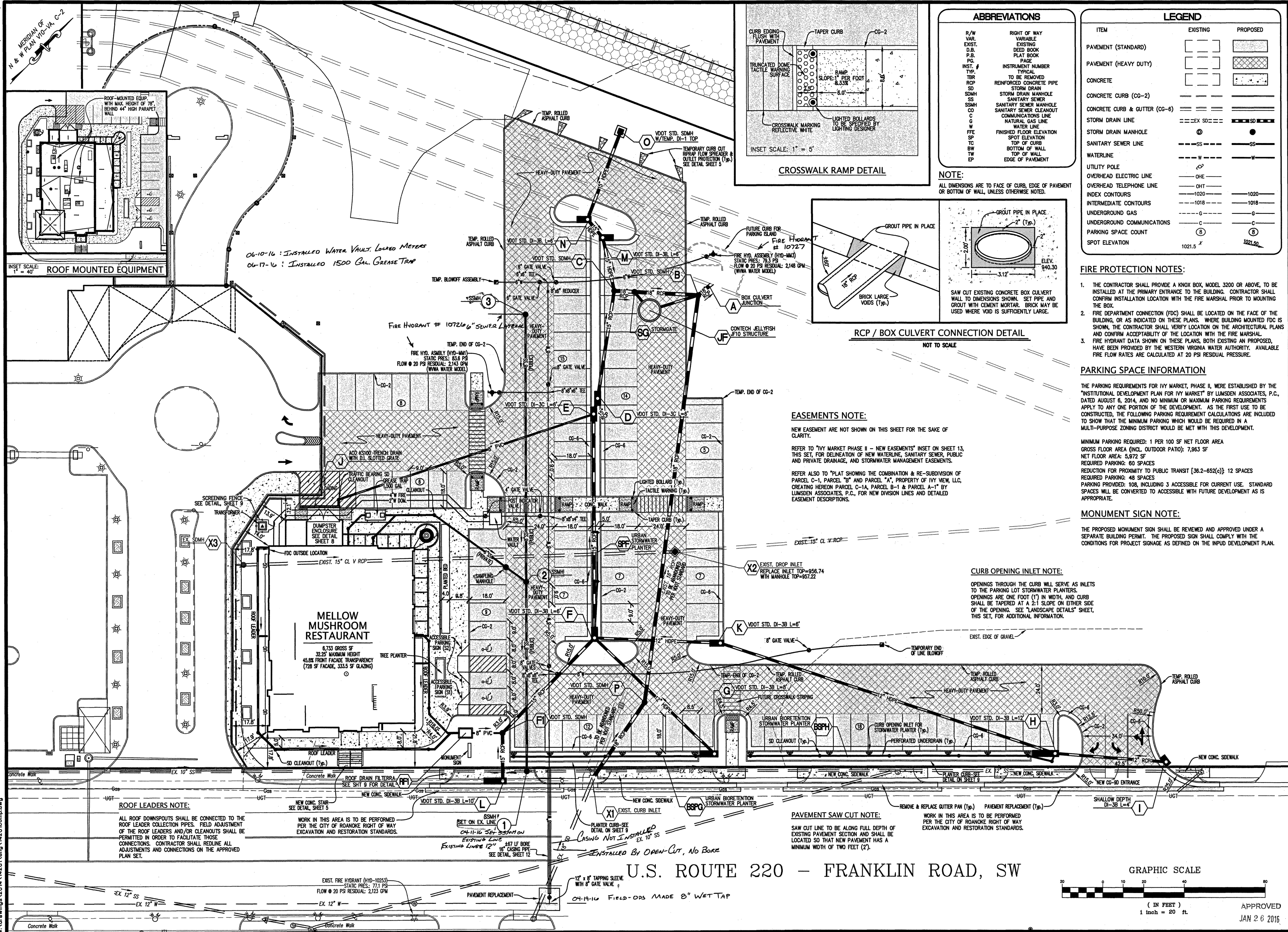
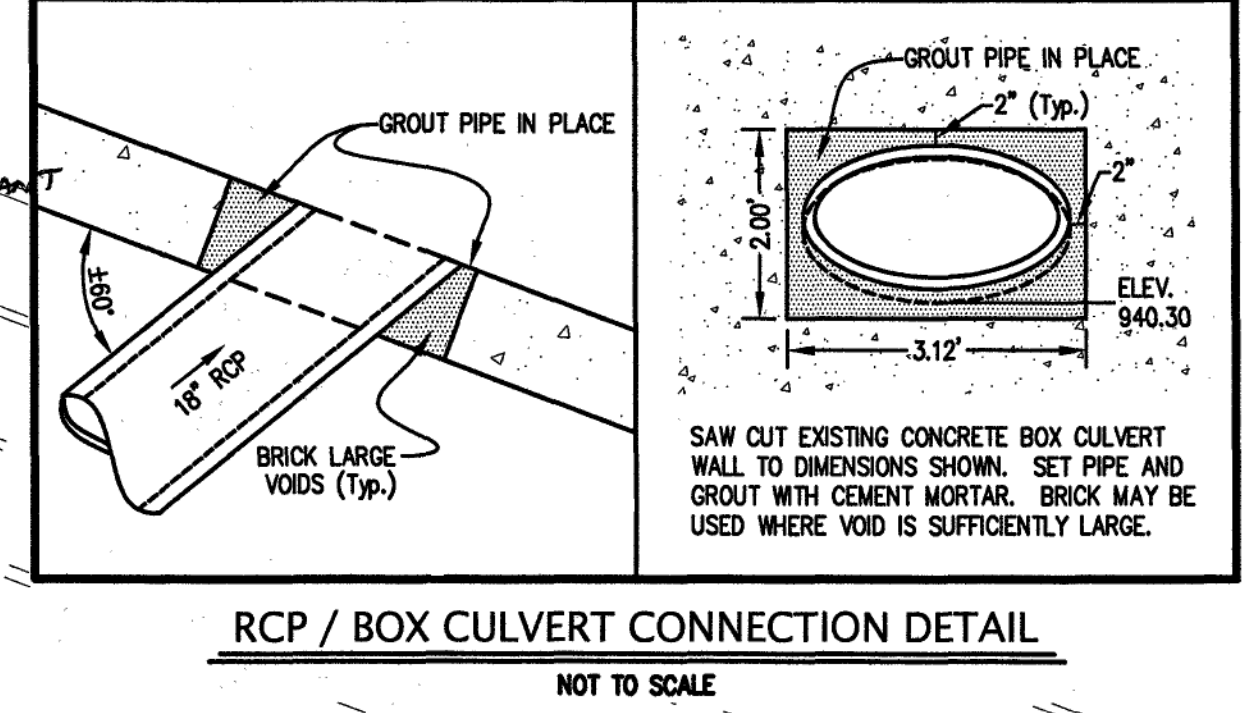


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ABBREVIATIONS	
R/W	RIGHT OF WAY
VAR.	VARIABLE
EXIST.	EXISTING
D.B.	DEED BOOK
P.B.	PLAT BOOK
PG.	PAGE
INST.	INSTRUMENT NUMBER
TYP.	TYPICAL
TBR	TO BE REMOVED
RCP	REINFORCED CONCRETE PIPE
SD	STORM DRAIN
SDMH	STORM DRAIN MANHOLE
SS	SANITARY SEWER
SSMH	SANITARY SEWER MANHOLE
CO	COMMUNICATIONS LINE
C	CURB
W	WATER LINE
FFE	FINISHED FLOOR ELEVATION
SP	SPOT ELEVATION
TO	TOP OF CURB
BW	BOTTOM OF WALL
TW	TOP OF WALL
EP	EDGE OF PAVEMENT

NOTE:  
ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVEMENT OR BOTTOM OF WALL, UNLESS OTHERWISE NOTED.



EASEMENTS NOTE:

NEW EASEMENT ARE NOT SHOWN ON THIS SHEET FOR THE SAKE OF CLARITY.  
REFER TO "IVY MARKET PHASE II - NEW EASEMENTS" INSET ON SHEET 13, THIS SET, FOR DELINEATION OF NEW WATERLINE, SANITARY SEWER, PUBLIC AND PRIVATE DRAINAGE, AND STORMWATER MANAGEMENT EASEMENTS.  
REFER ALSO TO "PLAT SHOWING THE COMBINATION & RE-SUBDIVISION OF PARCEL C-1, PARCEL 'B' AND PARCEL 'A', PROPERTY OF IVY VIEW, LLC, CREATING HEREON PARCEL C-1A, PARCEL B-1 & PARCEL A-1" BY LUMSDEN ASSOCIATES, P.C., FOR NEW DIVISION LINES AND DETAILED EASEMENT DESCRIPTIONS.

CURB OPENING INLET NOTE:

OPENINGS THROUGH THE CURB WILL SERVE AS INLETS TO THE PARKING LOT STORMWATER PLANTERS. OPENINGS ARE ONE FOOT (1') IN WIDTH, AND CURB SHALL BE TAPERED AT A 2:1 SLOPE ON EITHER SIDE OF THE OPENING. SEE "LANDSCAPE DETAILS" SHEET, THIS SET, FOR ADDITIONAL INFORMATION.

PAVEMENT SAW CUT NOTE:

SAW CUT LINE TO BE ALONG FULL DEPTH OF EXISTING PAVEMENT SECTION AND SHALL BE LOCATED SO THAT NEW PAVEMENT HAS A MINIMUM WIDTH OF TWO FEET (2').

LEGEND		
ITEM	EXISTING	PROPOSED
PAVEMENT (STANDARD)	[Symbol]	[Symbol]
PAVEMENT (HEAVY DUTY)	[Symbol]	[Symbol]
CONCRETE	[Symbol]	[Symbol]
CONCRETE CURB (CG-2)	[Symbol]	[Symbol]
CONCRETE CURB & GUTTER (CG-6)	[Symbol]	[Symbol]
STORM DRAIN LINE	[Symbol]	[Symbol]
STORM DRAIN MANHOLE	[Symbol]	[Symbol]
SANITARY SEWER LINE	[Symbol]	[Symbol]
WATERLINE	[Symbol]	[Symbol]
UTILITY POLE	[Symbol]	[Symbol]
OVERHEAD ELECTRIC LINE	[Symbol]	[Symbol]
OVERHEAD TELEPHONE LINE	[Symbol]	[Symbol]
INDEX CONTOURS	[Symbol]	[Symbol]
INTERMEDIATE CONTOURS	[Symbol]	[Symbol]
UNDERGROUND GAS	[Symbol]	[Symbol]
UNDERGROUND COMMUNICATIONS	[Symbol]	[Symbol]
PARKING SPACE COUNT	[Symbol]	[Symbol]
SPOT ELEVATION	[Symbol]	[Symbol]

FIRE PROTECTION NOTES:

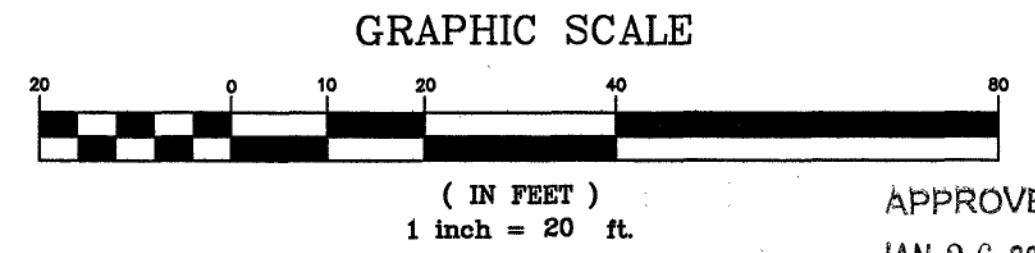
- THE CONTRACTOR SHALL PROVIDE A KNOX BOX, MODEL 3200 OR ABOVE, TO BE INSTALLED AT THE PRIMARY ENTRANCE TO THE BUILDING. CONTRACTOR SHALL CONFIRM INSTALLATION LOCATION WITH THE FIRE MARSHAL PRIOR TO MOUNTING THE BOX.
- FIRE DEPARTMENT CONNECTION (FDC) SHALL BE LOCATED ON THE FACE OF THE BUILDING, OR AS INDICATED ON THESE PLANS. WHERE BUILDING MOUNTED FDC IS SHOWN, THE CONTRACTOR SHALL VERIFY LOCATION ON THE ARCHITECTURAL PLANS AND CONFIRM ACCEPTABILITY OF THE LOCATION WITH THE FIRE MARSHAL.
- FIRE HYDRANT DATA SHOWN ON THESE PLANS, BOTH EXISTING AND PROPOSED, HAVE BEEN PROVIDED BY THE WESTERN VIRGINIA WATER AUTHORITY. AVAILABLE FIRE FLOW RATES ARE CALCULATED AT 20 PSI RESIDUAL PRESSURE.

PARKING SPACE INFORMATION

THE PARKING REQUIREMENTS FOR IVY MARKET, PHASE II, WERE ESTABLISHED BY THE "INSTITUTIONAL DEVELOPMENT PLAN FOR IVY MARKET" BY LUMSDEN ASSOCIATES, P.C., DATED AUGUST 6, 2014, AND NO MINIMUM OR MAXIMUM PARKING REQUIREMENTS APPLY TO ANY ONE PORTION OF THE DEVELOPMENT. AS THE FIRST USE TO BE CONSTRUCTED, THE FOLLOWING PARKING REQUIREMENT CALCULATIONS ARE INCLUDED TO SHOW THAT THE MINIMUM PARKING WHICH WOULD BE REQUIRED IN A MULTI-PURPOSE ZONING DISTRICT WOULD BE MET WITH THIS DEVELOPMENT.  
MINIMUM PARKING REQUIRED: 1 PER 100 SF NET FLOOR AREA  
GROSS FLOOR AREA (INCL. OUTDOOR PATIO): 7,963 SF  
NET FLOOR AREA: 5,572 SF  
REQUIRED PARKING: 60 SPACES  
REDUCTION FOR PROXIMITY TO PUBLIC TRANSIT [36.2-652(c)]: 12 SPACES  
REQUIRED PARKING: 48 SPACES  
PARKING PROVIDED: 108, INCLUDING 3 ACCESSIBLE FOR CURRENT USE. STANDARD SPACES WILL BE CONVERTED TO ACCESSIBLE WITH FUTURE DEVELOPMENT AS IS APPROPRIATE.

MONUMENT SIGN NOTE:

THE PROPOSED MONUMENT SIGN SHALL BE REVIEWED AND APPROVED UNDER A SEPARATE BUILDING PERMIT. THE PROPOSED SIGN SHALL COMPLY WITH THE CONDITIONS FOR PROJECT SIGNAGE AS DEFINED ON THE INPUT DEVELOPMENT PLAN.



APPROVED  
JAN 26 2016

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COMMONWEALTH OF VIRGINIA  
HOWARD P. BOGGERSS II  
Lic. No. 000920  
LANDSCAPE ARCHITECT

COMPREHENSIVE DEVELOPMENT PLAN  
FOR  
MELLOW MUSHROOM  
PREPARED FOR  
JMH, LLC  
IVY MARKET, ALONG FRANKLIN ROAD  
THE CITY OF ROANOKE, VIRGINIA

REVISIONS	DESCRIPTION	NO.	DATE
		1	
		2	
		3	
		4	
		5	

DATE: June 24, 2015  
SCALE: 1" = 20'  
COMMISSION NO.: 14-201  
SHEET 3 OF 13