

SITE SUMMARY:

CITY PROJECT NO.	CP20-0041
PROPERTY OWNER	MEMBER ONE FEDERAL CREDIT UNION
PROPERTY ADDRESS	202 4TH STREET NE CITY OF ROANOKE, VIRGINIA
PARCEL NUMBER	3015008
PROPERTY ZONING	DOWNTOWN
PROPOSED USE	DRIVE-THROUGH FACILITY (BANK) (SPECIAL EXCEPTION REQUIRED, 36.2-315)
BZA ORDER	BZAS20-0017 (AMENDED CONDITIONS SHOWN ON C07)
ZONING	D - DOWNTOWN
SITE AREA	6.36 ACRES
LIMITS OF DISTURBANCE	5.10 ACRES
BUILDING AREA/FLOORS	TBD
BUILDING HEIGHT	TBD
MIN. PARKING REQ'D	NONE
PARKING PROPOSED	PHASE 1: 116 EX. + 107 PROP. = 223 TOTAL PHASE 2: 223 EX. + 0 PROP. = 223 TOTAL PHASE 3: 144 EX. + 126 PROP. = 270 TOTAL PHASE 4: 259 EX. + 39 PROP. = 298 TOTAL TOTAL 298 (INCL. ADA); EXCEEDS MAXIMUM

ROANOKE CITY CONSTRUCTION PROCEDURE REQUIREMENTS:

- RIGHT-OF-WAY EXCAVATION PERMIT** - PRIOR TO THE COMMENCEMENT OF ANY DIGGING, ALTERATION OR CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY (STREETS, ALLEYS, PUBLIC EASEMENTS), A RIGHT-OF-WAY EXCAVATION PERMIT SHALL BE APPLIED FOR AND OBTAINED BY THE CONTRACTOR FROM THE CITY OF ROANOKE.
- LAND DISTURBANCE PERMIT** - AN APPROVED EROSION AND SEDIMENT CONTROL PLAN FOR ANY BORROW/FILL SITES ASSOCIATED WITH THE PROJECT MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A LAND DISTURBANCE PERMIT.
- PLANS AND PERMITS** - A COPY OF THE PLANS AS APPROVED BY THE CITY (SIGNED BY THE PROPER CITY OFFICIALS) AND ALL PERMITS ISSUED BY THE CITY SHALL BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES OF ONGOING CONSTRUCTION.
- LOCATION OF UTILITIES** - THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.
- CONSTRUCTION ENTRANCE** - THE CONTRACTOR SHALL INSTALL AN ADEQUATE CONSTRUCTION ENTRANCE FOR ALL CONSTRUCTION RELATED EGRESS FROM THE SITE. SIZE AND COMPOSITION OF CONSTRUCTION ENTRANCE SHALL BE AS SHOWN ON THE PLANS.
- STREETS TO REMAIN CLEAN** - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT THE PUBLIC STREET ADJACENT TO THE CONSTRUCTION ENTRANCE REMAINS FREE OF MUD, DIRT, DUST, AND/OR ANY TYPE OF CONSTRUCTION MATERIALS OR LITTER AT ALL TIMES.
- BARRICADES/DITCHES** - THE CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF ALL EXCAVATED DITCHES AND SHALL FURNISH AND ENSURE THAT ALL BARRICADES PROPER AND NECESSARY FOR THE SAFETY OF THE PUBLIC ARE IN PLACE.
- SEWER AND PAVEMENT REPLACEMENT** - CONSTRUCTION OF SANITARY SEWERS AND THE REPLACEMENT OF PAVEMENT SHALL BE IN ACCORDANCE WITH APPROVED STANDARDS AND SPECIFICATIONS OF THE CITY OF ROANOKE AND THE WESTERN VIRGINIA WATER AUTHORITY
- APPROVED PLANS/CONSTRUCTION CHANGES** - ANY CHANGE OR VARIATION FROM CONSTRUCTION DESIGN AS SHOWN ON THE OFFICIALLY APPROVED PLANS SHALL BE APPROVED BY THE EROSION AND SEDIMENT CONTROL AGENT PRIOR TO SAID CHANGES OR VARIATION IN CONSTRUCTION BEING MADE.
- FINAL ACCEPTANCE/CITY** - THE OWNER OR DEVELOPER SHALL FURNISH THE CITY OF ROANOKE'S PLANNING BUILDING AND DEVELOPMENT DEPARTMENT WITH A FIELD SURVEYED FINAL CORRECT SET OF AS-BUILT PLANS OF THE NEWLY CONSTRUCTED STORM RAIN AND/OR STORMWATER MANAGEMENT FACILITIES PRIOR TO FINAL ACCEPTANCE AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE CITY. AS-BUILT PLANS SHALL BE PROVIDED IN THE STATE PLANE VIRGINIA SOUTH COORDINATE SYSTEM, NAD 1983, FIPS 4502 FEET, US SURVEY FEET, DATUM NA 83, IN THE FORM OF 1 PAPER COPY AND 1 DIGITAL AUTOCAD FILE.
- RIGHT-OF-WAY CONSTRUCTION** - "WORK IN THIS AREA IS TO BE PERFORMED PER THE CITY OF ROANOKE RIGHT OF WAY EXCAVATION AND RESTORATION STANDARDS".

CITY APPROVALS

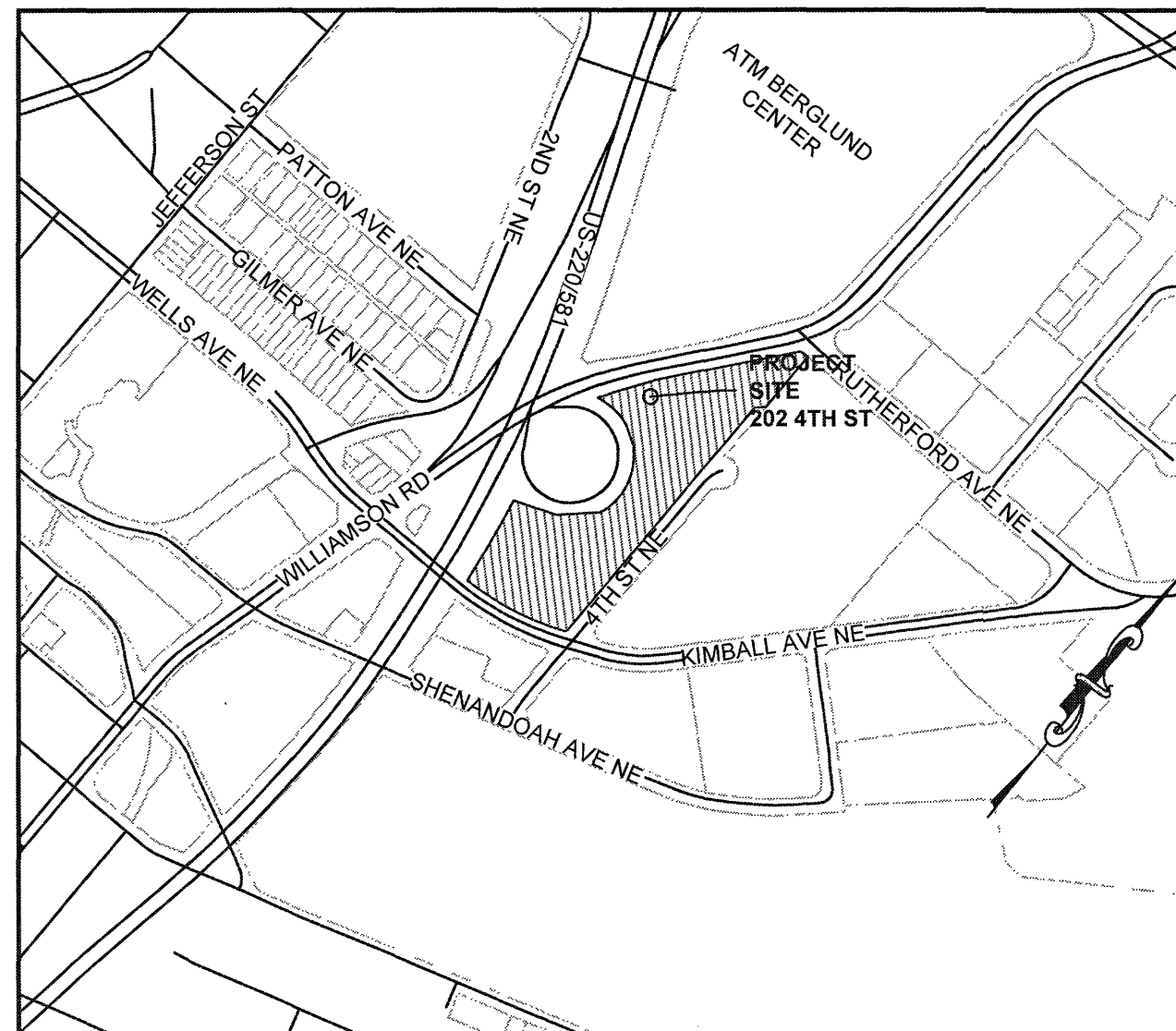


VIRGINIA LAW REQUIRES CONTRACTOR TO CONTACT MISS UTILITY (811) IN ADVANCE OF PLANNED WORK.

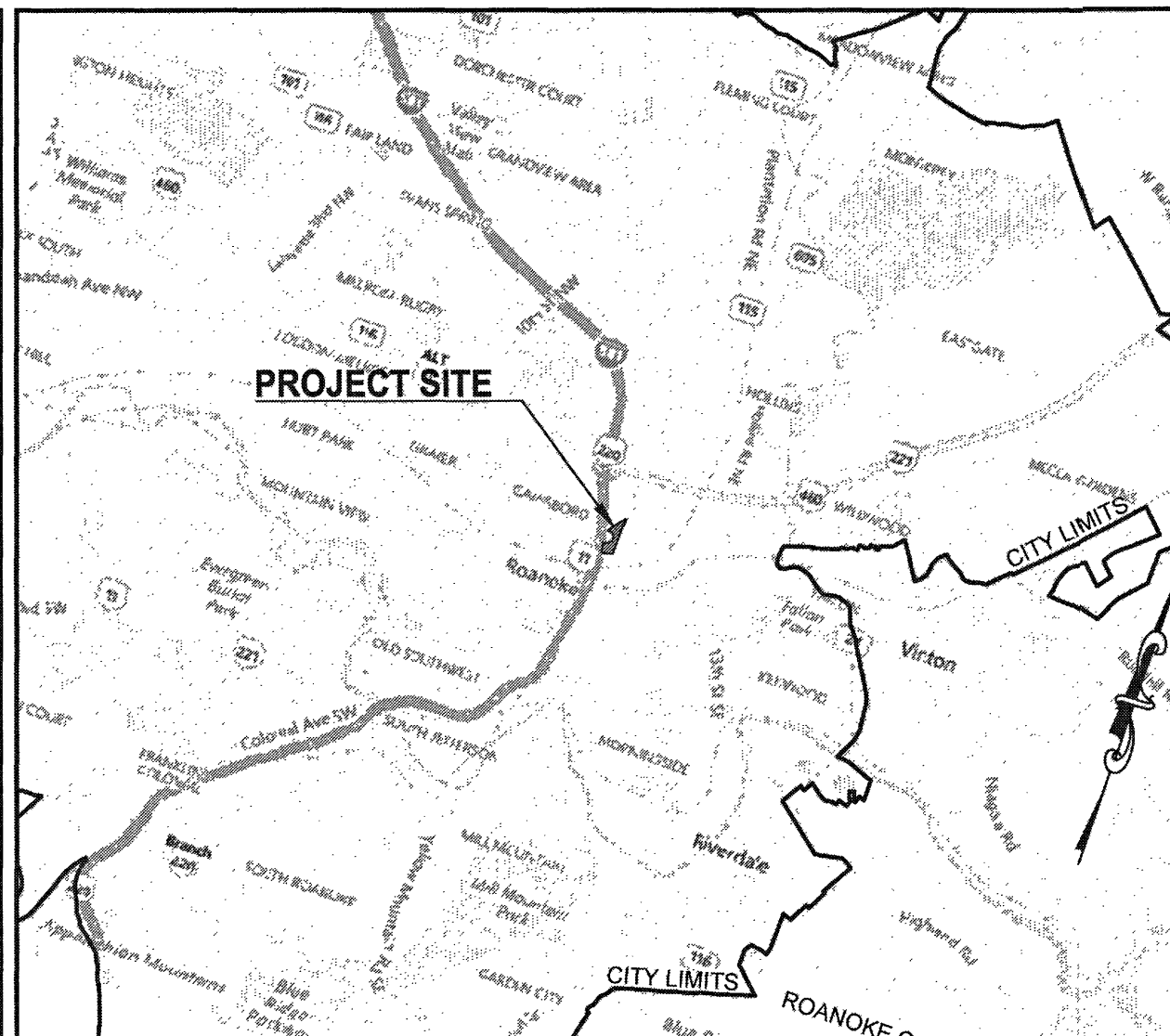
ADVANCE TIME PERIOD SHALL BE AT LEAST 48 HOURS (www.missutilityofvirginia.com).

CONTACT THE CITY OF ROANOKE ENVIRONMENTAL REVIEWER, CITY CONSTRUCTION COORDINATOR, AND MISS UTILITY 48 HOURS IN ADVANCE OF ANY CONSTRUCTION ACTIVITY.

FIELD REVISION #1 FOR SITE PLANS HEADQUARTERS CAMPUS DEVELOPMENT MEMBER ONE FEDERAL CREDIT UNION JULY 08, 2021



VICINITY MAP
1" = 500'



VICINITY MAP
1" = 5,000'

CONTACT INFORMATION:

Engineer/
Surveyor: Parker Design Group, Inc.
2122 Carolina Ave SW
Roanoke, VA 24014
PH: (540) 387-1153

Architect: Interactive Design Group, Inc.
301 6th Street SW
Roanoke, VA 24016
PH: 540.342.7534

SHEET LIST

Sheet Number	Sheet Title
C01	COVER SHEET
C02	GENERAL NOTES
C03	E&SC AND SWM NARRATIVE
C04	EXISTING CONDITIONS
C05	OVERALL SITE PLAN
C06	PHASE I & II DEMOLITION & INITIAL ESC PLAN
C07	PHASE I & II SITE DIMENSIONAL PLAN
C08	PHASE I & II UTILITY PLAN
C09	PHASE I & II GRADING & E&SC PLAN
C10	PHASE III & IV DEMOLITION & INITIAL ESC PLAN
C11	PHASE III & IV SITE DIMENSIONAL PLAN
C12	PHASE III & IV UTILITY PLAN
C13	PHASE III & IV GRADING & E&SC PLAN
C14	CIVIC SPACE EXHIBIT
C15	E&SC DETAILS
C16	SITE DETAILS
C17	STORM & SANITARY SEWER PROFILES
C18	WATER & SANITARY SEWER DETAILS
C19	STORM DETAILS
L01	LANDSCAPING PLAN
L02	LANDSCAPING DETAILS
L03	LIGHTING PLAN
L04	LIGHTING DETAILS

PLAN LEGEND:

	BUILDING		ADA PARKING SYMBOL
	BUILDING CANOPY/OVERHEAD		SIGN - 1 POST
	CONCRETE SIDEWALK		SIGN - 2 POST
	ASPHALT - STANDARD		SIGN - 3 POST
	ASPHALT - HEAVY DUTY		CONCRETE WHEEL STOP
	CONCRETE PAVEMENT		BOLLARD
	RETAINING WALL		TRAFFIC ARROW
	CONTOUR - MINOR		PARKING COUNT
	CONTOUR - MAJOR		GENERIC WATER VALVE
	SPOT ELEVATION		WATER GATE VALVE
	LIMITS OF DISTURBANCE		WATER PIPE FITTINGS
	GENERIC FENCE LINE		WATER METER
	CHAIN LINK FENCE		WATER BLOW OFF VALVE
	WOOD PANEL FENCE		AIR RELEASE VALVE
	CURB AND GUTTER		HOSE BIB
	EDGE OF PAVEMENT		FIRE HYDRANT
	ROAD CENTERLINE		WATER MANHOLE
	UNDERGROUND ELECTRIC		STORM MANHOLE
	UNDERGROUND TELECOM		CLEANOUT
	UNDERGROUND ELECTRIC/TELECOM		SANITARY MANHOLE
	CATV (CABLE)		STORM STRUCTURE KEY
	FIBER OPTICS LINE		SANITARY STRUCTURE KEY
	NATURAL GAS		
	UTILITY EASEMENT		
	SANITARY SEWER PIPE		
	STORM SEWER PIPE		

ABBREVIATIONS AND SYMBOLS

SYMBOLS	ABBREVIATIONS	SYMBOLS	ABBREVIATIONS
	AT		PROPERTY LINE
	CENTERLINE		POUNDS PER SQUARE INCH
	PLATE		POINT OF TANGENCY
	DIAMETER		POLYVINYL CHLORIDE
	DEGREE		RADIUS
	AREA		REINFORCED CONCRETE PIPE
	ACRE(S)		ROAD
	BACK OF CURB		REQUIRED
	BUILDING		RIGHT-OF-WAY
	BOTTOM		SANITARY SEWER
	BOTTOM OF STEP		SQUARE FOOT (FEET)
	BOTTOM OF WALL		SPECIFICATION
	CUBIC FEET		SQUARE
	CURB AND GUTTER		STORM
	CAST IRON		STANDARD
	CAST IN PLACE		STORM WATER MANAGEMENT
	CONSTRUCTION JOINT		SQUARE YARD(S)
	CLEAR		TURNED DOWN CURB
	CLEANOUT		TEMPORARY
	CONCRETE		TOP OF STEP
	CONTINUOUS		TOP OF WALL
	CUBIC YARD(S)		TYPICAL
	DEED BOOK		UNLESS NOTED OTHERWISE
			VARIABLE
			VIRGINIA DEPARTMENT OF
			TRANSPORTATION
			VIRGINIA EROSION AND
			SEDIMENT CONTROL HANDBOOK
			WATER VALVE
			WELDED WIRE FABRIC

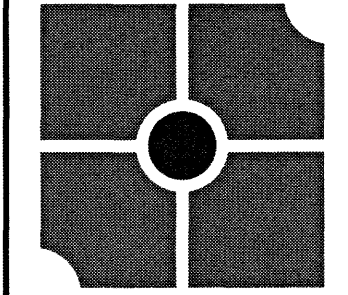
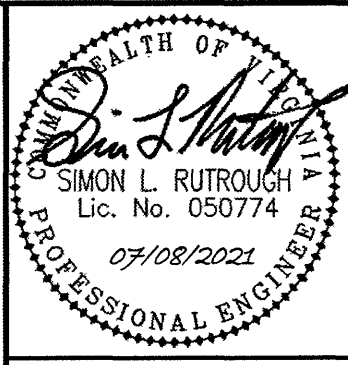
All Sewer - 6" (Nations)
SDR26

All Water - c1350 McWane 6"
Tappings Valve Avk 6"
18 Turns to
Left on

Contractor: Bowman Excavating

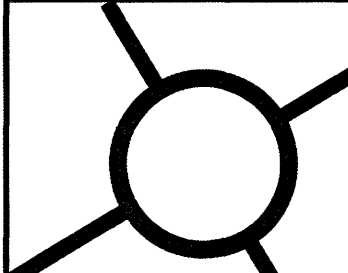
Private hydrant
P. 19291
AVK
2021
81 psi

As built - Brian Whitenoak 11/19/21



parker
DESIGN GROUP
PLANNERS • LANDSCAPE ARCHITECTS
2122 Carolina Ave. SW
Roanoke, VA 24014
Ph: 540-387-1153
Fax: 540-389-5767

1915-B W. Cary Street
Richmond, VA 23220
Phone: 804-358-2947
Fax: 804-359-9645
www.parkerdg.com



MEMBER ONE FEDERAL CREDIT UNION FIELD REVISION #1 202 4TH STREET, NE CITY OF ROANOKE, VIRGINIA

REVISIONS

1ST REVIEW COMMENTS:	JANUARY 28, 2021
2ND REVIEW COMMENTS:	FEBRUARY 26, 2021
FIELD REVISION #1:	JULY 08, 2021

DESIGNED BY: PDG

DRAWN BY: CEP / JMD

CHECKED BY: JDE

SCALE: N/A

DATE: NOVEMBER 09, 2020

PROJECT NUMBER: 19-0135

SHEET TITLE:

COVER SHEET

C01