

PARKING NOTES:

1. MINIMUM PARKING = 1 SPACE PER 300SF NET FLOOR AREA
EXISTING 3-STORY BUILDING = 227,260 SF
EXISTING 3-STORY BUILDING = 219,855 SF
PROPOSED 1-STORY BUILDING = 46,000 SF
TOTAL NET FLOOR AREA = 533,805 SF x 75% = 240,353
MIN. PARKING = 240,353 / 300 = 135 PARKING SPACES REQUIRED
2. MAXIMUM PARKING = 140% OF MINIMUM REQUIRED = 189 SPACES + 13 EX. ADA SPACES + 3 PROP. ADA SPACES = 205 SPACES
3. PHASE I OF CONSTRUCTION WILL RESULT IN 116 EXISTING SPACES REMAINING AND 107 PROPOSED NEW PARKING SPACES = 223 TOTAL PARKING SPACES
4. MAXIMUM PARKING EXCEEDED BY 18 SPACES
5. PERVIOUS PARKING SPACES PROPOSED IN PHASE I = 33 SPACES
6. PHASE II OF CONSTRUCTION IS INTERNAL TO THE EXISTING 1-STORY BUILDING AND WILL RESULT IN NO INCREASE OR DECREASE TO PARKING.
7. PERVIOUS PARKING SPACES PROPOSED IN PHASE II = NONE

PHASING NOTES:

1. PHASE I INCLUDES THE NEW PARKING AREA AND PROPOSED BUILDING TO THE NORTH OF THE SITE. ALL UTILITIES SERVING THE PROPOSED BUILDING HAVE BEEN SHOWN BELOW.
2. PHASE I ALSO INCLUDES THE REMOVAL OF THE DRIVE-THROUGH ATM ON THE SOUTHERN PORTION OF THE SITE AND ADDITION OF PARKING TO REPLACE THE ATM.
3. PHASE II IS INTERNAL RENOVATIONS TO THE EXISTING 1-STORY CONCRETE BUILDING.
4. ALL UTILITY WORK FOR THE PHASE II BUILDING RENOVATION IS ASSUMED TO BE FROM EXISTING INTERNAL CONNECTIONS. CONTRACTOR TO VERIFY AND PLANS UPDATED TO ACCOMMODATE CHANGES IF NECESSARY.
5. PHASE II DOES NOT REMOVE OR ADD ANY ADDITIONAL PARKING.

AMENDED CONDITIONS:

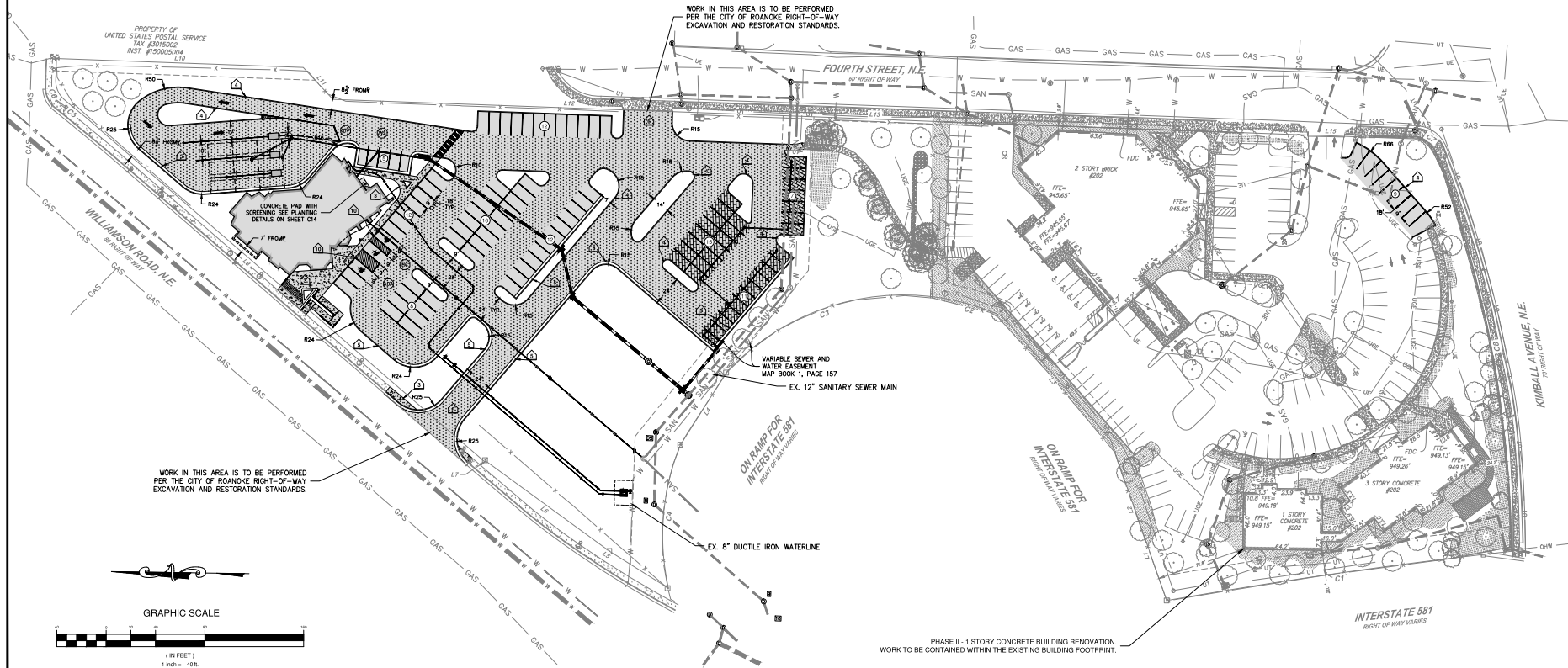
1. THE DESIGN AND LAYOUT OF THE DRIVE-THROUGH FACILITY WILL MEET AND MAINTAIN ALL SUPPLEMENTAL REGULATIONS FOR A DRIVE-THROUGH FACILITY LOCATED IN 36.2-409 OF THE ZONING ORDINANCE.
2. AN 8-FOOT WIDE PLANTING STRIP SHALL BE MAINTAINED WITH EVERGREEN SHRUBS AND DECIDUOUS TREES, SPACED OUT ACCORDING TO THE STANDARDS LOCATED IN TABLE 648-1 OF THE ZONING ORDINANCE, BETWEEN THE RIGHT-OF-WAY AND DRIVE-THROUGH FACILITY.

STRIPING & SIGNAGE LEGEND

- 4" WHITE STRIPING (TYP.)
- HANDICAP STRIPING (TYP.)
- "VAN ACCESSIBLE" ADA ACCESSIBLE SIGN (TYP.)
- 8" WHITE STOP BAR (TYP.)

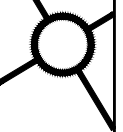
SITE LAYOUT LEGEND

- STANDARD DUTY PAVEMENT.
- HEAVY DUTY PAVEMENT.
- CONCRETE SIDEWALK.
- VDOT CG-2 CURB.
- VDOT CG-90 ENTRANCE.
- VDOT CG-12.
- SEGMENTAL RETAINING WALL (BY OTHERS).
- 4" CURB CUTS.
- CURB TAPER.
- PERVIOUS PAVERS. (PERVIOUS CONCRETE AVAILABLE AS ALTERNATIVE)



2122 Carolina Ave. SW
Roanoke, VA 24014
Ph: 540-387-1113 Fax: 540-389-5767
1915-8 W. Cary Street
Richmond, VA 23220
Phone: 804-358-2947 Fax: 804-359-9645
www.parkerdsg.com

These documents are the property of Parker Design Group (PDG) and may not be reproduced or used without the express permission of PDG. Any use of these documents without authorization of PDG will be the sole risk of the user and PDG will not be responsible for any errors or omissions.



MEMBER ONE FEDERAL
CREDIT UNION
FIELD REVISION #1
202 4TH STREET, NE
CITY OF ROANOKE, VIRGINIA

| REVISIONS |
|--|
| 1ST REVIEW COMMENTS JANUARY 28, 2021 |
| 2ND REVIEW COMMENTS FEBRUARY 26, 2021 |
| FIELD REVISION #1 JULY 08, 2021 |

DESIGNED BY: PDG
DRAWN BY: CEP / JMD
CHECKED BY: JDE
SCALE: 1" = 40'
DATE: NOVEMBER 09, 2020
PROJECT NUMBER: 19-0135

SHEET TITLE:
PHASE I & II SITE
DIMENSIONAL
PLAN

C07