

SITE STATISTICS:

Site Statistics
Tax No: 1300511
Parcel Area: 0.869 acres
Limits of Disturbance: 0.74± acres
Address: 2926 Franklin Road SW
Zone: CG
Proposed Use: Financial Institution & Drive Thru Facility
Setbacks:
Front: Minimum - 0'; Maximum - 30'
Side: Minimum - 0'
Rear: Minimum - 0'
Maximum Building Height: 45' adjacent to residential, otherwise none
Maximum Floor Area Ratio: 5
Proposed: Less than 0.5
Impervious Surface Maximum: 85%
Proposed: 49% (Existing: 75%)
Parking:
Minimum Parking: 1 per 300SF net floor area
2600 / 300 = 9 spaces
Maximum Parking: 1.5 x 9 = 14 spaces
Parking Proposed: 23 Spaces
Landscaping:
Overall minimum Tree Canopy: 10% of lot area = 3902 sf
Maintain existing wooded area of ± 6,000 sf
Parking Lot Landscaping:
Required: 8' deep yard or street screen.
Required: 9035 x 20% = 1,807 sf
To be met as required (6 trees @ 314 sf = 1,884 sf)
Existing Buildings and Pavement to be removed and property is proposed to be redeveloped as shown.
Utilities:
Utilize existing services/connections for water and sewer.
Relocation of utility pole required for new exit.
New electric service to be underground.
Two existing fire hydrants along Franklin within 250' of proposed building.
Building: Type II B Construction (B Use Group)

PROFFERS:

CITY CONSTRUCTION NOTES:

- Right-of-Way Excavation Permit** - Prior to the commencement of any digging, alteration or construction within the public right-of-way (streets, alleys, public easements), a right-of-way excavation permit shall be applied for and obtained by the contractor from the City of Roanoke.
- Land Disturbance Permit** - An approved erosion and sediment control plan for any borrow/fill sites associated with the project must be submitted prior to the issuance of a land disturbance permit.
- Plans and Permits** - A copy of the plans as approved by the City (signed by the proper City officials) and all permits issued by the City shall be available at the construction site at all times of ongoing construction.
- Location of Utilities** - The contractor shall verify the location of all existing utilities prior to the commencement of any construction.
- Construction Entrance** - The contractor shall install an adequate construction entrance for all construction related egress from the site. Size and composition of construction entrance shall be as shown on the plans.
- Streets to Remain Clean** - It shall be the responsibility of the contractor to insure that the public street adjacent to the construction entrance remains free of mud, dirt, dust, and/or any type of construction materials or litter at all times.
- Barricades/Ditches** - The contractor shall maintain the integrity of all excavated ditches and shall furnish and ensure that all barricades proper and necessary for the safety of the public are in place.
- Sewer and Pavement Replacement** - Construction of sanitary sewers and the replacement of pavement shall be in accordance with approved standards and specifications of the City of Roanoke and the Western Virginia Water Authority.
- Approved Plans/Construction Changes** - Any change or variation from construction design as shown on the officially approved plans shall be approved by the erosion and sediment control agent prior to said changes or variation in construction being made.
- Final Acceptance/City** - The owner or developer shall furnish the City of Roanoke's Planning Building and Development Department with a field surveyed final correct set of as-built plans of the newly constructed storm rain and/or stormwater management facilities prior to final acceptance and issuance of a certificate of occupancy by the City. As-built plans shall be provided in the State Plane Virginia South Coordinate System, NAD 1983, FIPS 4502 Feet, US Survey Feet, Datum NA 83, in the form of 1 paper copy and 1 digital AUTOCAD file.
- Right-of-Way Construction** - "WORK IN THIS AREA IS TO BE PERFORMED PER THE CITY OF ROANOKE RIGHT OF WAY EXCAVATION AND RESTORATION STANDARDS".

SITE DEVELOPMENT PLANS

FOR

MEMBER ONE FEDERAL CREDIT UNION

MEMBER ONE FCU

FINANCIAL INSTITUTION

CITY OF ROANOKE

ROANOKE, VA

MARCH 14, 2018

LATEST REVISION: MAY 16, 2018

OWNER'S STATEMENT:

LOCAL APPROVALS:

City of Roanoke Planning, Building, & Development	
COMPREHENSIVE DEVELOPMENT PLAN	
APPROVED	
Any changes to this approved plan must be coordinated with the Agent to the Planning Commission and revisions approved prior to construction.	
Agent, Planning Commission	Date
Development Engineer	
Zoning Administrator	

CONTACT INFORMATION:

**Engineer/
Surveyor:** Parker Design Group, inc
2122 Carolina Ave. SW
Roanoke, VA 24014
Phone: (540) 387-1153
Fax: (540) 389-5767

**Owner/
Developer:** Member One
Federal Credit Union
PO BOX 12288
Roanoke, VA 24024

Miss Utility of Virginia
204 RIVERS BEND BOULEVARD
CHESTER, VIRGINIA 23851



BEFORE YOU DIG ANYWHERE IN
VIRGINIA CALL 811
VA LAW REQUIRES 48 HOURS
NOTICE BEFORE YOU EXCAVATE.

SHEET INDEX:

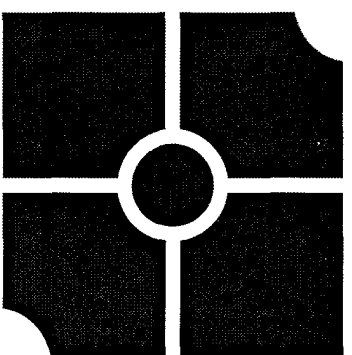
C01 COVER SHEET
C02 EXISTING CONDITIONS & DEMOLITION PLAN
C03 LAYOUT & DIMENSIONAL PLAN
C04 STORMWATER PLAN
C05 GRADING & ESC PLAN
C06 ESC NARRATIVE
C07 ESC DETAILS
C08 STORM DETAILS
C09 SITE DETAILS
C10 SEWER PROFILES & DETAILS
L01 LANDSCAPE PLAN

LEGEND:

CONCRETE	YARD LIGHT (S.M.H.)	EX. POWER POLE
ASPHALT PAVING	TYPICAL YARD HYDRANT	EX. TELEPHONE
PAVEMENT REPLACEMENT	PROP. FIRE HYDRANT	EX. TELEPHONE PEDESTAL
GRAVEL	PROP. AIR RELEASE VALVE	EX. LIGHT POLE
PAVERS	PROP. GATE VALVE	BENCHMARK
WETLAND AREA	PROP. BLOW OFF VALVE	
SURVEYED PROPERTY LINE	PROP. TELEPHONE LINE	
PROPOSED PROPERTY LINE	PROP. GAS LINE	
DEED PROPERTY LINE	PROP. SANITARY SEWER LINE	
OHE EXIST. OVERHEAD POWER	PROP. STORM SEWER LINE	
W EXIST. WATER LINE	PROP. CONTOURS	
C EXIST. OVERHEAD CABLE	EXIST. 2' CONTOURS	
EXIST. CENTERLINE OF ROAD	EXIST. 10' CONTOURS	
EXIST. STORM SEWER	PROP. SPOT ELEVATION	
SAN EXIST. SANITARY SEWER	SILT FENCE	
UE PROP. UNDERGROUND ELEC. LINE	PROP. TREELINE	
UG PROP. UNDERGROUND ELEC. SERVICE	RMA RESOURCE MANAGEMENT AREA BOUNDARY	
W PROP. WATERLINE	RPA RESOURCE PROTECTION AREA BOUNDARY	
A PROP. AUDIO CABLE	DITCH LINE	
EXIST. TREELINE		
EXIST. EDGE OF PAVEMENT		

GENERAL NOTES:

- The minimum required density for all compaction shall be 95 percent of maximum dry density with a moisture content within ±2 percent of the optimum. It is contractor's responsibility to verify compacted fill is suitable for building construction.
- It is the contractor's responsibility to meet compliance requirements with section 59.1-406, et seq. of the Code of Virginia (overhead high voltage lines safety act).
- The contractor shall be responsible for obtaining all necessary permits before beginning construction.
- All construction will be in accordance with Roanoke City standards and specifications.
- Unless shown and specified otherwise, methods and materials shall be in accordance with VDOT Road and Bridge Standards latest edition.
- Contractor shall coordinate installation of permanent electrical service, telephone service, and cable TV. These utility lines shall be underground.
- Contractor shall be responsible for repair of any utilities damaged as a result of construction activities. Verify location of all existing utilities prior to beginning work.
- Owner responsible for obtaining permission for any offsite grading, erosion and sediment control measures, and construction.
- Distances and radii referred to are to the edge of pavement, unless otherwise noted.
- Rights-of-way, lot lines, and easements are dedicated on plats separate from these plans.
- All utilities shall be underground installation.
- All utilities will be visually inspected by the City's inspector prior to backfilling the trenches, including all utility crossings.
- Backflow preventers to be provided in accordance with the Roanoke City standards on all sprinkler system laterals. Site contractor shall coordinate with building contractor with regards to the location. If backflow preventers are not installed inside building mechanical room, they shall be installed onsite prior to entering building.
- Utilities shown herein are based on available above ground structures (valves, manholes, etc.) and existing Roanoke City mapping.
- All utilities to be maintained by the WVWA shall be within the dedicated rights-of-way or easements.
- A field review shall be made by the City during construction to determine the adequacy of channels and ditches as constructed in accordance with the approved plan. In the event of scour and erosion, the Owner shall install additional measures as determined and required by the City.
- Lighting shall not glare onto adjoining properties or on any public street right-of-way.
- Dumpster pads are provided for garbage collection.
- Proposed signage shall be permitted separately in accordance with the City regulations.
- The contractor or developer is required to notify Roanoke City in writing at least three (3) days prior to any construction, including, but not limited to the following:
 - Installation of approved erosion control devices
 - Clearing and grubbing
 - Subgrade excavation
 - Installing storm sewers or culverts
 - Placing gravel base
 - Placing any roadway surface
 - Installing water lines
 - Installing sanitary sewer lines
- A pre-construction conference should be scheduled with Roanoke City, to be held at least 48 hrs prior to any construction.
- Measures to control erosion and siltation must be provided prior to plan approval. Plan approval in no way relieves the developer or contractor of the responsibilities contained within the erosion and siltation control policies.
- An approved set of plans and all permits must be available at the construction site.
- Field construction shall honor proposed drainage divides as shown on plans.
- Construction debris shall be containerized in accordance with the Virginia Litter Control Act. No less than one litter receptacle shall be provided on site. The contractor shall provide adequate means of cleaning mud from trucks and/or other equipment prior to entering public streets.
- It is the contractors responsibility to insure that the streets are in a clean, mud and dust free condition at all times.
- The developer and/or contractor shall supply all utility companies with copies of approved plans, advising them that all grading and installation shall conform to approved plans.
- Contractors shall notify utilities of proposed construction at least two (2), but not more than ten (10) working days in advance. Area public utilities may be notified thru "Miss Utility": 1-800-552-7001.
- The developer or contractor shall supply the City with correct As-Built plans before final acceptance.
- Field revisions shall be approved by Roanoke City prior to such construction.
- 100 year floodway and floodplain information shall be shown where applicable.



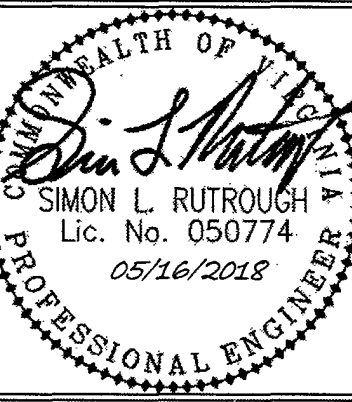
parker
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**Member One Federal Credit Union
Site Development Plan**
City of Roanoke, VA
2926 Franklin RD, SW

REVISIONS:

1st Submission City Comments: 4-23-18
2nd Submission City Comments: 5-16-18

DESIGNED BY: JMD

DRAWN BY: JMD

CHECKED BY: SLR

DATE:
March 14, 2018

SHEET TITLE:
COVER SHEET

SCALE:
N/A
SHEET NO.

C01

JOB NO. 17-0187-02