

04217cover-notes & details.plt
w:\drawings\2004\04217.dwg
04217cover-notes & details.plt

SITE AND ZONING TABULATIONS:

CURRENT ZONING: I-2/A-20, INDUSTRIAL WITH CONDITIONS
CURRENT USE: VACANT
PROPOSED USE: INDUSTRIAL, TYPE I
MINIMUM LOT AREA REQUIRED: 20,000 SQUARE FEET (0.459 AC.)
MINIMUM FRONTAGE REQUIRED: 100 FEET
SITE AREA: 25,377 AC.
MINIMUM REQUIRED SETBACKS:
FRONT: 30 FEET (OR 20' WHEN PARKING IS LOCATED BEHIND THE FRONT BUILDING LINE.)
SIDE: 10 FEET
REAR: 25 FEET
MAXIMUM HEIGHT ALLOWED: 75 FEET INCLUDING ROOFTOP EQUIPMENT WHEN ADJOINING RESIDENTIAL PROPERTY. THE MAXIMUM HEIGHT MAY BE INCREASED PROVIDED EACH REQUIRED YARD ADJOINING A RESIDENTIAL DISTRICT IS INCREASED TWO FEET FOR EACH FOOT IN HEIGHT OVER 75 FEET. THIS DISTANCE SHALL BE MEASURED FROM THE PORTION OF THE STRUCTURE WHICH EXCEEDS 75 FEET. IN ALL OTHER LOCATIONS THE HEIGHT IS UNLIMITED.
PROPOSED HEIGHT: 100 FEET (MAXIMUM FOR GRAIN STORAGE ANNEX)
MAXIMUM LOT COVERAGE ALLOWED: 90 PERCENT
PROPOSED LOT COVERAGE: 361,225 SF / 1,105,422 S.F. = 32.7%
MAXIMUM BUILDING COVERAGE: 75 PERCENT OF THE TOTAL LOT AREA
PROPOSED BUILDING COVERAGE: 38,793 S.F. / 1,105,422 S.F. = 3.5%

PARKING TABULATION:

MILL TOWER: 9,600 SF @ 1 SPACE PER 1,000 SF = 9.6 SPACES
WAREHOUSE: 15,300 SF @ 1 SPACE PER 5,000 SF = 3.1 SPACES
OFFICE AREA: 4,400 SF @ 1 SPACE PER 300 SF = 14.6 SPACES
TOTAL SPACES REQUIRED: 28 SPACES
HANDICAP SPACES REQUIRED: 2 SPACES
TOTAL SPACES PROVIDED: 30 SPACES INCLUDING 2 HANDICAPPED SPACES

PROFFERED CONDITIONS:

THE FOLLOWING ARE APPLICABLE PROFFERS ESTABLISHED BY ORDINANCE 121889-19 AT A REGULAR MEETING OF THE BOARD OF SUPERVISORS OF ROANOKE COUNTY, VIRGINIA, HELD AT THE ROANOKE COUNTY ADMINISTRATION CENTER, TUESDAY, DECEMBER 19, 1989:

- THE PROPERTY WILL NOT INCLUDE PERMITTED USES FOR:
A) AUTOMOBILE PAINTING, UPHOLSTERING, REPAIRING, REBUILDING, RECONDITIONING, BODY AND FENDER WORK, TRUCK REPAIRING OR OVERHAULING.
B) MANUFACTURING OF POTTERY AND FIGURINES OR OTHER SIMILAR CERAMIC PRODUCTS.
C) VETERINARY HOSPITAL AND COMMERCIAL KENNELS WITH EXTERIOR RUNS AND YARDS.
D) FLEA MARKETS, UNLESS A SPECIAL EXCEPTION HAS BEEN GRANTED BY THE BOARD; AND
E) SEED AND FEED STORES.
- A MINIMUM 100 FOOT BUFFER YARD ALONG THE WESTERN PROPERTY BOUNDARIES, THAT EXISTING VEGETATION BE RETAINED WITHIN THE 100 FOOT BUFFER YARD, AND SUPPLEMENTED WHERE NECESSARY IN ORDER TO MAINTAIN THE EXISTING SCREENING OF THIS SITE FROM ADJOINING RESIDENCES.
- SOUND LEVELS SHALL NOT EXCEED 60 dba WHEN MEASURED AT ADJOINING RESIDENCES.
- HOURS OF OPERATION SHALL BE LIMITED FROM 6:00 am TO 11:00 p.m. ON THIS PROPERTY.
- THE EFFECTIVE DATE OF THE ORDINANCE IS DECEMBER 19, 1989.

GENERAL NOTES:

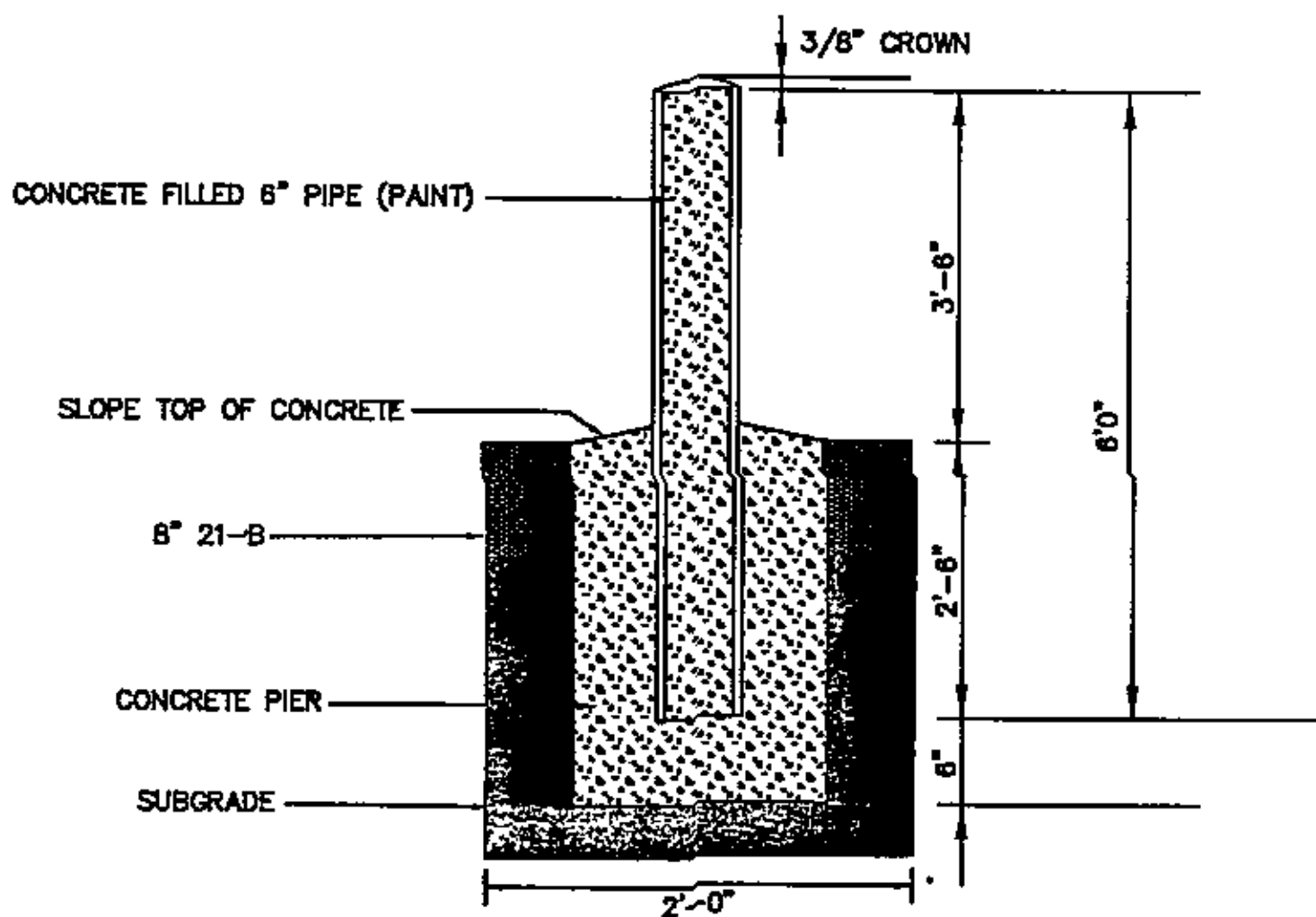
- THE PROPERTY SHOWN ON THESE PLANS IS LOCATED AT ROANOKE COUNTY TAX ASSESSMENT MAP #87.14-03-02 AND 87.10-02-06.
- DEVELOPER: THE MENDEL MILLING COMPANY
128 W. CROCKER STREET
P.O. BOX 808
ROSTOWN, OH 44070
- THE BOUNDARY IS THE DIRECT RESULT OF A FIELD SURVEY BY LUMSDEN ASSOCIATES, P.C.
- TOPOGRAPHY DATA BASED ON A FIELD SURVEY PREPARED BY LUMSDEN ASSOCIATES, P.C.
- THE DEVELOPMENT ON THESE PLANS SHALL BE SERVED BY WESTERN VIRGINIA WATER AUTHORITY WATER AND SEWER.
- PROPERTY AS SHOWN DOES NOT LIE WITHIN THE LIMITS OF THE 100 YEAR FLOODPLAIN AS DEFINED BY THE FLOOD INSURANCE RATE MAP.
- ALL EXTERIOR LIGHTS SHALL BE DESIGNED, ARRANGED, AND LOCATED SO AS NOT TO DIRECT GLARE ON ADJACENT RESIDENTIAL PROPERTIES OR RIGHT OF WAYS. THE MAXIMUM LIGHTING DENSITY AT ADJOINING RESIDENTIAL PROPERTIES OR RIGHT OF WAYS SHALL NOT EXCEED 0.5 FOOT CANDLES.
- A SEPARATE SIGN PERMIT IS REQUIRED FOR ANY SIGNAGE.

CONSTRUCTION NOTES:

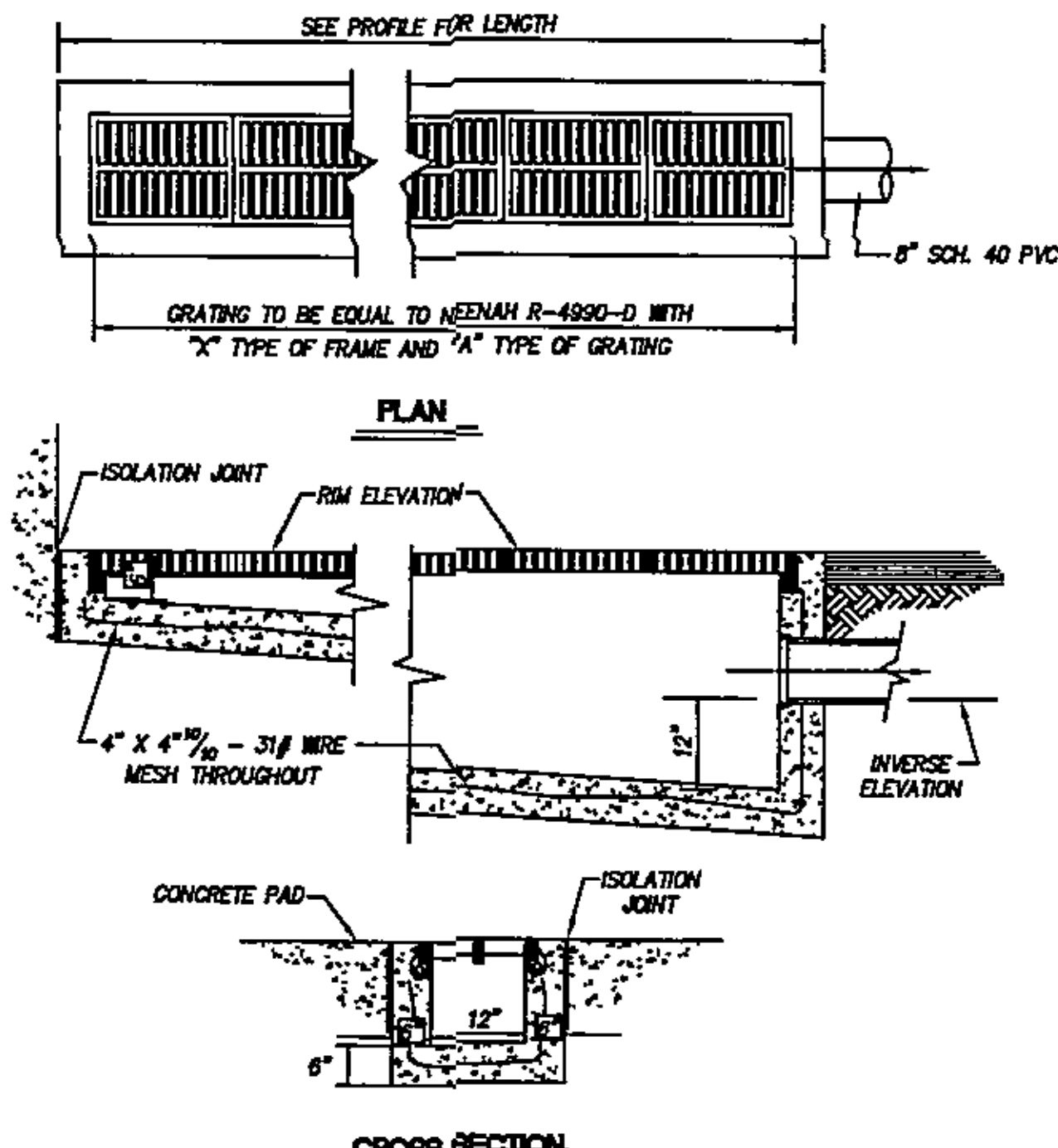
- ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT COUNTY OF ROANOKE STANDARDS AND SPECIFICATIONS.
- ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE WESTERN VIRGINIA WATER AUTHORITY, ROANOKE COUNTY AND/OR THE VIRGINIA DEPARTMENT OF TRANSPORTATION INSPECTORS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND THE ENGINEER OF ANY CHANGES OR CONDITIONS ATTACHED TO PERMITS OBTAINED FROM ANY AUTHORITY ISSUING PERMITS.
- NO SUBSOIL INVESTIGATIONS HAVE BEEN FURNISHED TO THE DESIGNING ENGINEER.
- THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION.
- SEWER AND WATER TAPS SHALL BE LOCATED BY THE CONTRACTOR AND MADE BY THE WESTERN VIRGINIA WATER AUTHORITY AT THE CONTRACTOR'S EXPENSE.
- ALL WATER AND SANITARY SEWER FACILITIES SHALL BE INSTALLED ACCORDING TO THE WESTERN VIRGINIA WATER AUTHORITY WATER AND SANITARY SEWER DESIGN AND CONSTRUCTION STANDARDS.
- SEE VDOT ROAD AND BRIDGE STANDARDS FOR CONCRETE CURB AND STORM DRAINAGE DETAILS.
- THE CONTRACTOR AND/OR OWNER SHALL PROVIDE A STORAGE CONTAINER FOR TEMPORARY STORAGE AND DISPOSAL OF LAND CLEARANCE DEBRIS AND BUILDING MATERIALS. ON-SITE BURIAL OF MATERIAL SHALL NOT BE PERMITTED.
- DESIGN CHANGES, SPECIFIED MATERIAL CHANGES AND/OR FIELD CHANGES FROM THE APPROVED PLANS MUST BE APPROVED BY THE SALEM VDOT RESIDENCY OFFICE PRIOR TO PROCEEDING WITH THE WORK. A LETTER OF EXPLANATION SHALL ACCOMPANY THE REVISED DESIGN PLANS AND/OR ENGINEERING CALCULATIONS.

GRADING NOTES:

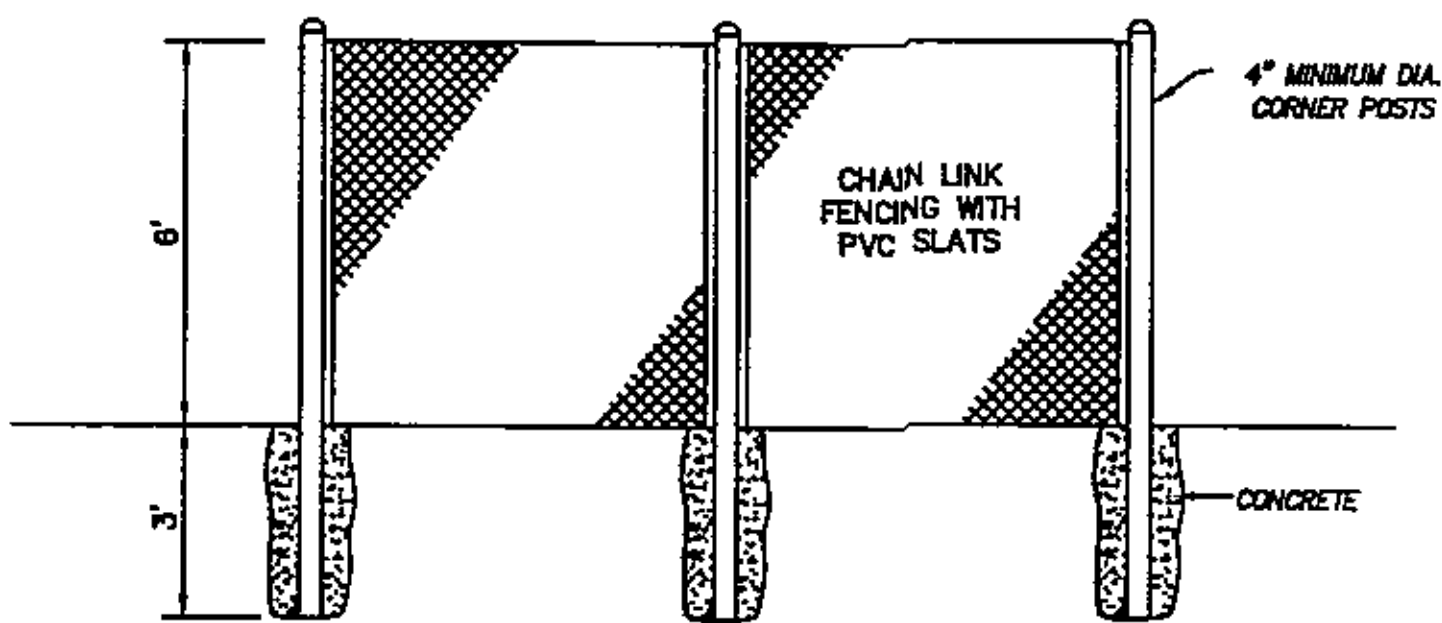
- AREAS TO BE GRADED SHALL BE CLEARED OF ALL VEGETATION, STRUCTURES, AND OTHER PHYSICAL FEATURES IN PREPARATION OF GRADING.
- TOPSOIL SHALL BE REMOVED FROM THE CLEARED AREA AND STOCKPILED FOR FUTURE USE.
- FILL MATERIAL SHALL BE FREE FROM ORGANIC MATTER AND ROCKS LARGER THAN 6 INCHES IN DIAMETER.
- FILL MATERIAL SHALL BE PLACED AND COMPACTED IN EIGHT (8) INCH LOOSE LIFTS AND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF THE MATERIAL'S MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698, STANDARD PROCTOR. MAINTAIN MOISTURE CONTENT OF FILL MATERIAL WITHIN THREE (3) PERCENT OF OPTIMUM TO ATTAIN REQUIRED COMPACTION DENSITY.
- NO SUBSURFACE SOILS INFORMATION HAS BEEN FURNISHED TO THE DESIGNING ENGINEER (LUMSDEN ASSOCIATES, P.C.). A QUALIFIED GEOTECHNICAL ENGINEER, LICENSED IN THE STATE OF VIRGINIA, SHOULD BE CONSULTED CONCERNING SOIL STABILITY, SLOPE STABILIZATION, SOIL COMPACTION, TESTING AND OTHER SOIL CHARACTERISTICS. LUMSDEN ASSOCIATES ASSUMES NO RESPONSIBILITY OR LIABILITY RELATING TO FAILURES RESULTING FROM SAME.



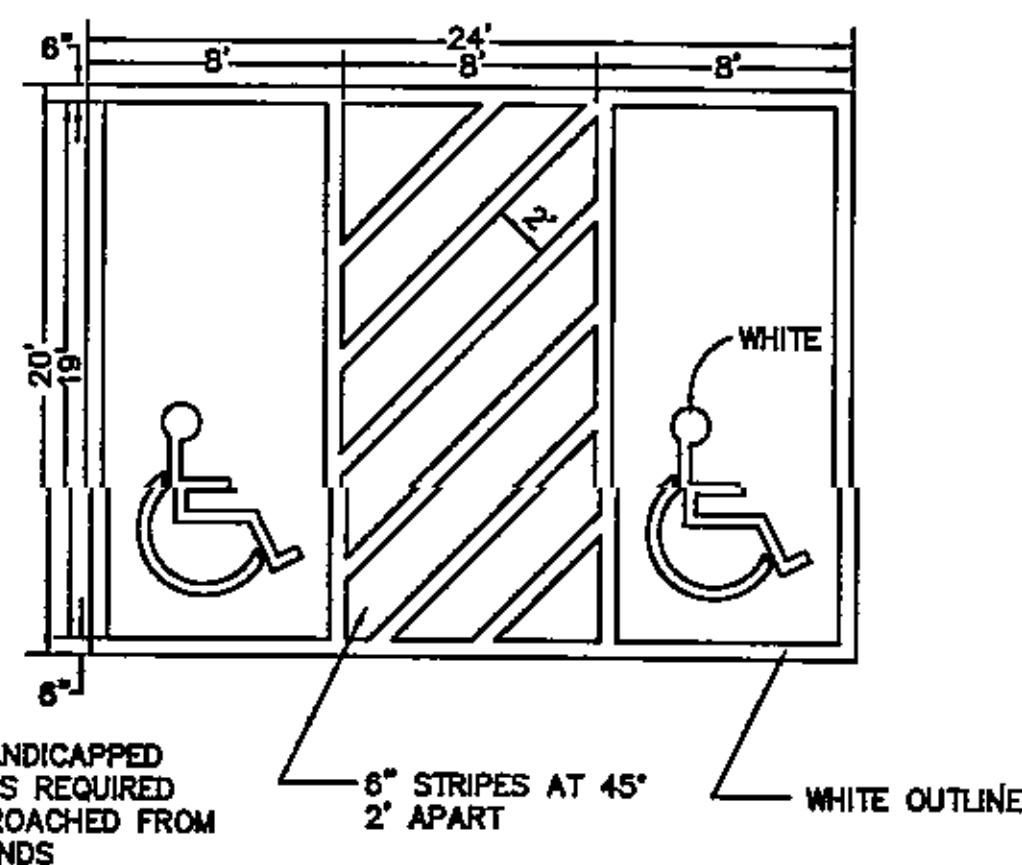
PIPE BOLLARD DETAIL



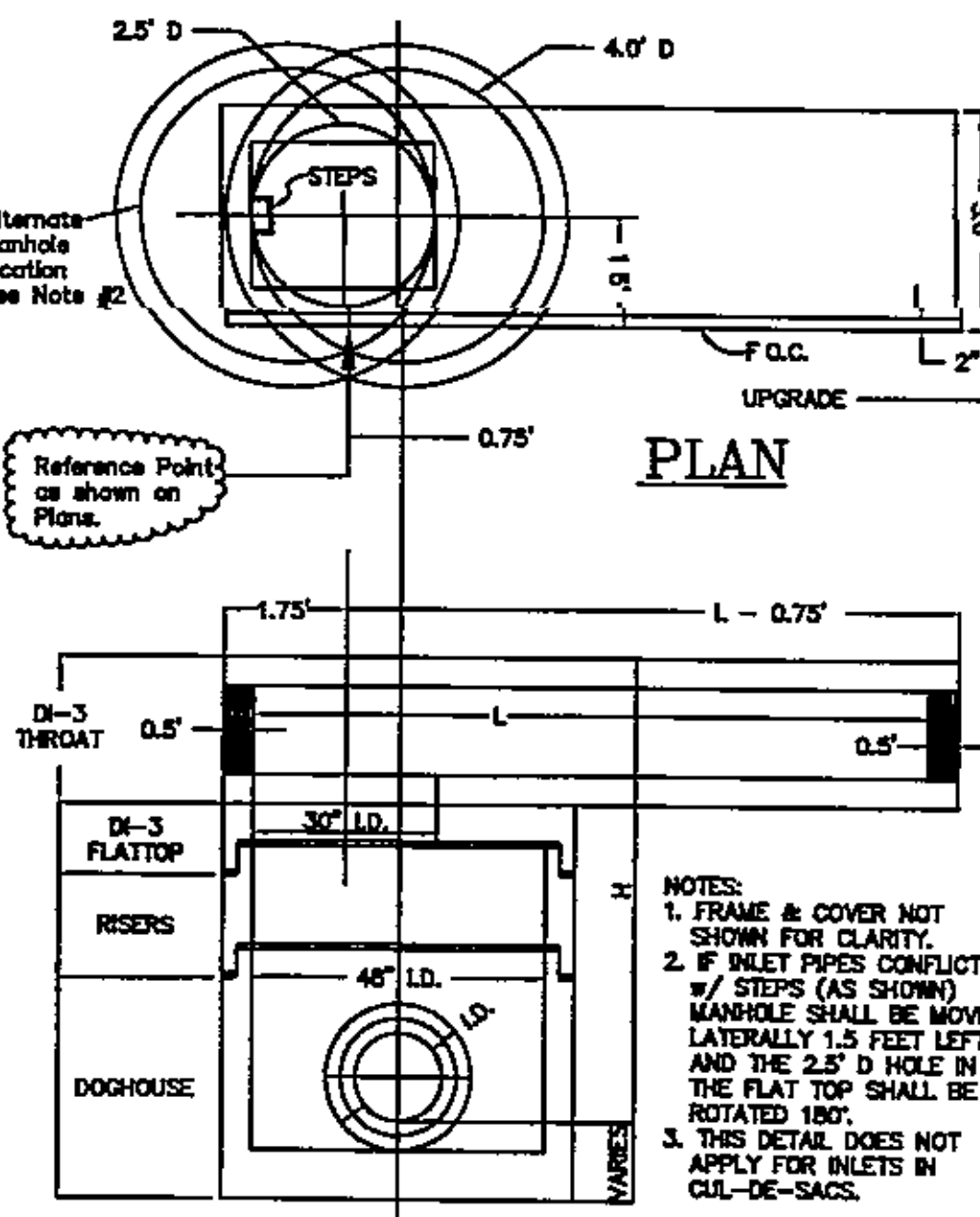
TRENCH DRAIN DETAIL



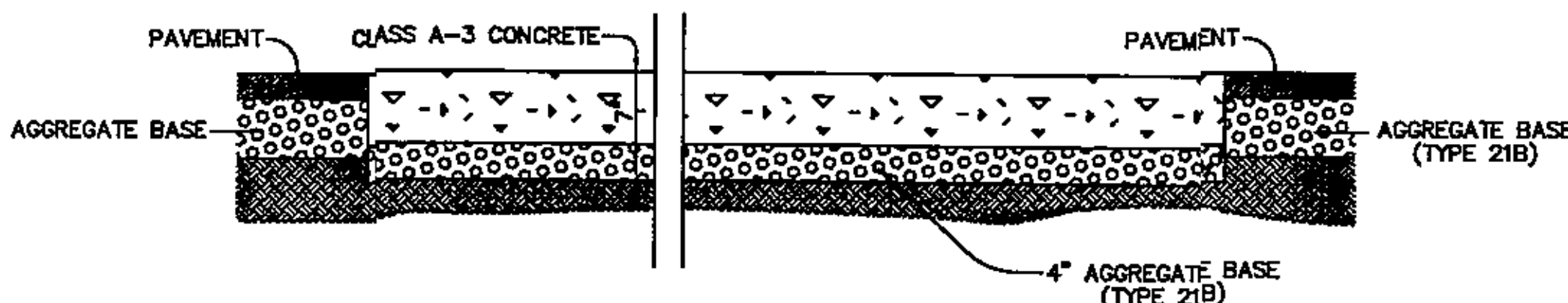
SCREEN FENCE



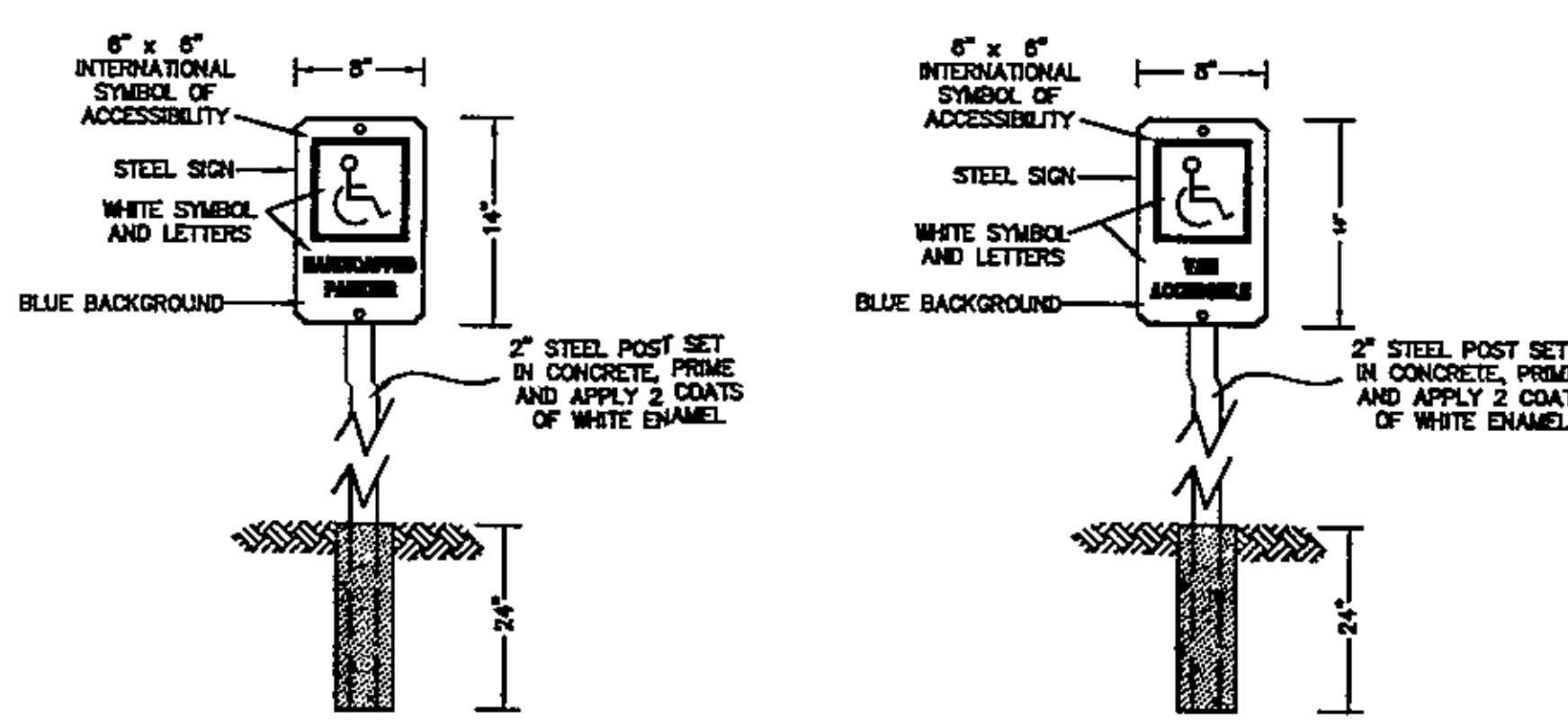
HANDICAP PARKING SPACE



LOCATION DETAIL FOR DI-38 (PRECAST)

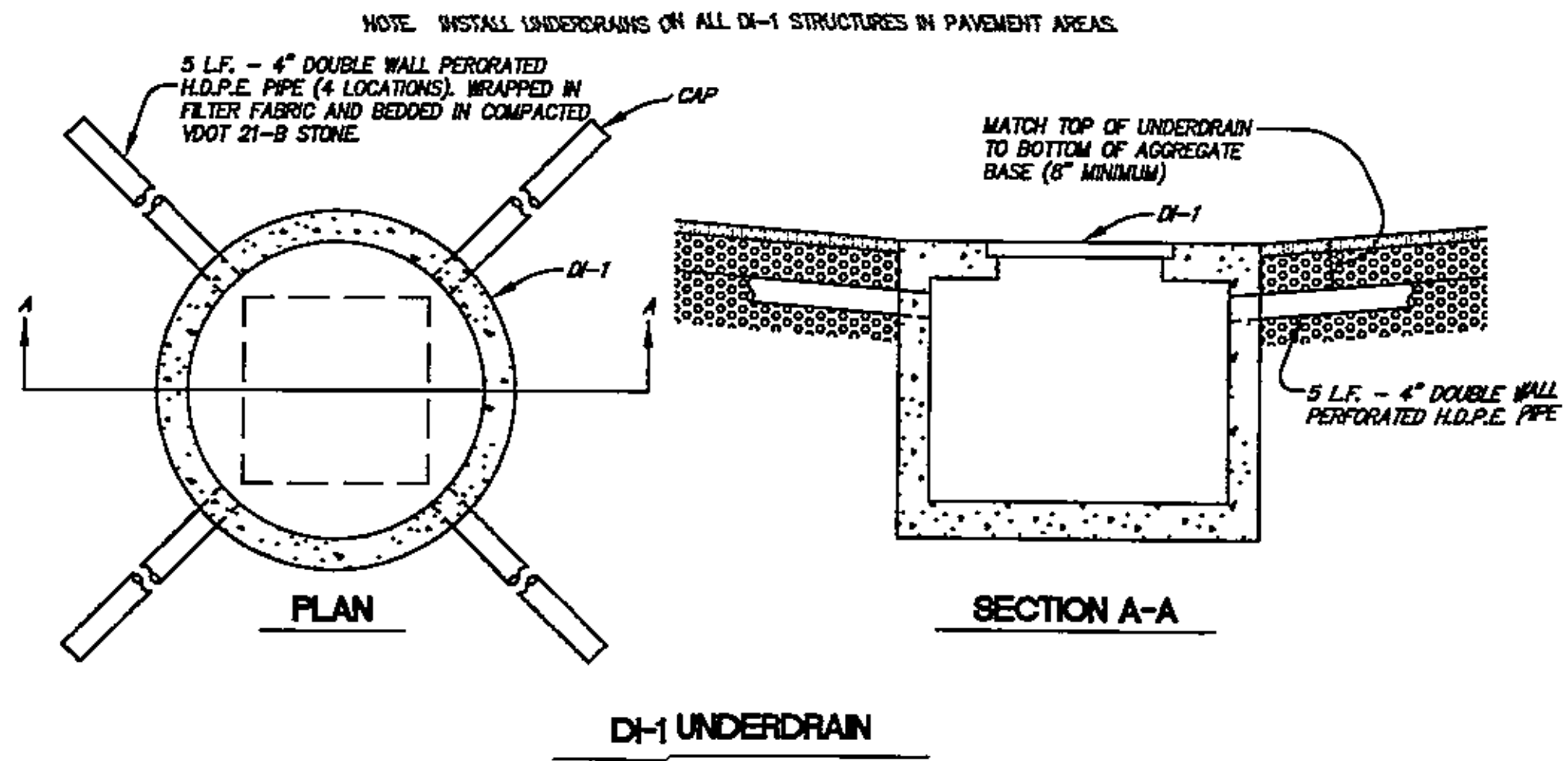


TYPICAL DUMPFSTER PAD SECTION

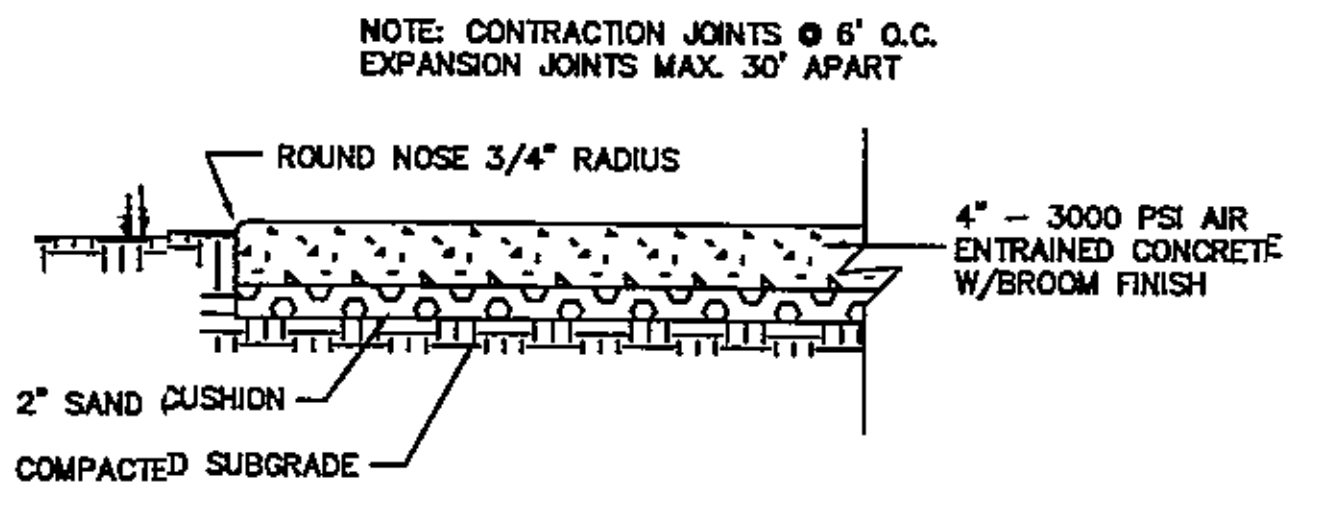


HANDICAP PARKING SIGN (S1)

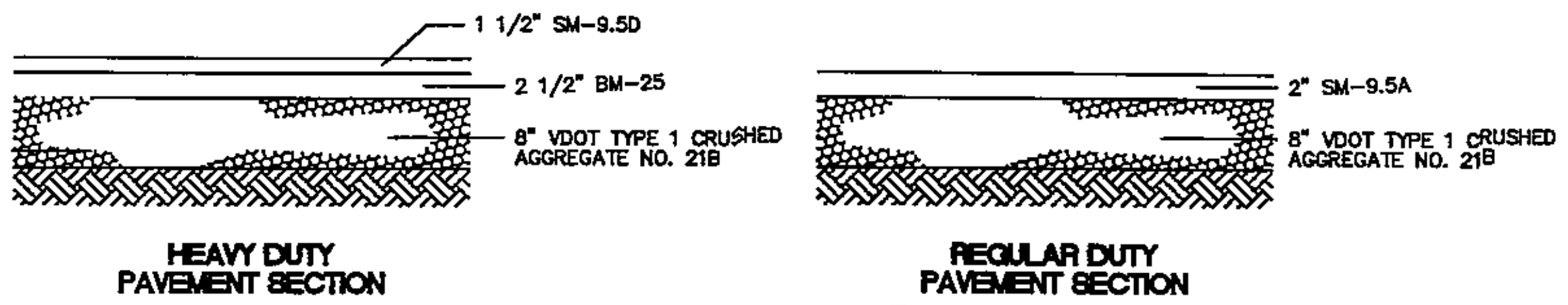
VAN ACCESSIBLE HANDICAP PARKING SIGN (S2)



DI-1 UNDERDRAIN



CONCRETE WALK



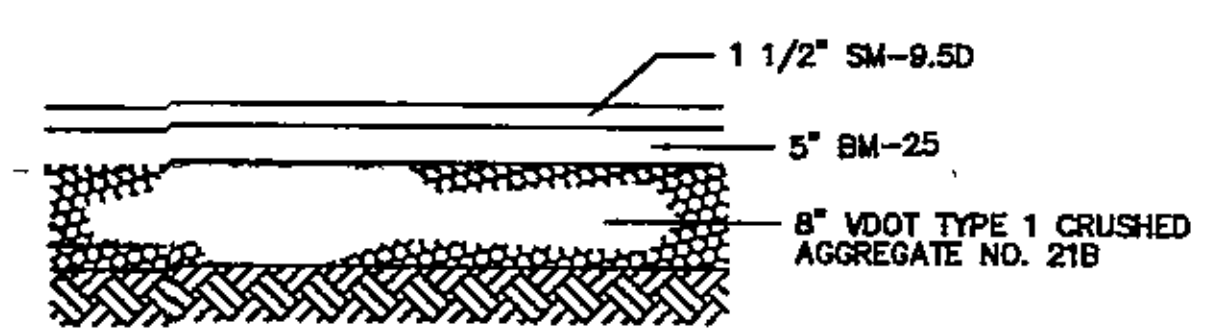
HEAVY DUTY PAVEMENT SECTION

REGULAR DUTY PAVEMENT SECTION

- ASPHALT PAVEMENT NOTES:
- ASPHALT CONCRETE BASE COURSE AND SURFACE COURSE SHOULD BE PLACED AND COMPACTED IN GENERAL ACCORDANCE WITH THE REQUIREMENTS OF VDOT SPECIFICATIONS SECTION 315. IN ADDITION, ACCEPTABLE COMPACTION SHOULD BE DEFINED AS A TEST SECTION DENSITY WITHIN THE RANGE OF 80 TO 100 PERCENT OF THE MAXIMUM DENSITY DETERMINED ON A DENSITY CONTROL STRIP CONSISTING OF AN APPROVED ROLLER AT THE START OF PAVING OPERATIONS FOR EACH COURSE MAX. THE SIZE OF TEST SECTIONS SHOULD BE DETERMINED BASED ON FIELD OBSERVATIONS MADE BY EXPERIENCED TESTING PERSONNEL. A MINIMUM OF TEN DENSITY TESTS SHOULD BE PERFORMED IN EACH TEST SECTION AND THE RESULTS AVERAGED. IN ADDITION TO THE AVERAGE REQUIRED COMPACTION RECOMMENDED ABOVE, NO ONE TEST SHOULD BE BELOW 85 PERCENT COMPACTION.
 - THE APPROPRIATE SUBBASE COURSE SHOULD BE PLACED, COMPACTED, AND TESTED IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 308 OF THE VDOT ROAD AND BRIDGE SPECIFICATIONS, JANUARY 2002.



GRAVEL TRUCK PARKING LOT SECTION



BENOS ROAD PAVEMENT SECTION

- NOTE:
- BENOS ROAD PAVEMENT SECTION TO BE PROVIDED WHERE THERE ARE IMPROVEMENTS MADE WITHIN THE VDOT RIGHT-OF-WAY INCLUDING NEW RIGHT-OF-WAY TO STATION 11+70.
 - IN BENOS ROAD RIGHT-OF-WAY, THE SUB-GRADE SHALL BE APPROVED BY VDOT PRIOR TO PLACEMENT OF THE BASE. BASE SHALL BE APPROVED BY VDOT FOR DEPTH, TEMPLATE, AND COMPACTION BEFORE SURFACE IS APPLIED. BM-25 SHALL BE 5" IN BENOS ROAD RIGHT OF WAY UNLESS OTHERWISE DIRECTED.

LUMSDEN ASSOCIATES, P.C.
ENGINEERS-SURVEYORS-PLANNERS
ROANOKE, VIRGINIA
4664 BRAMBLETON AVENUE
ROANOKE, VIRGINIA 24018
PHONE (804) 744-4411
FAX (804) 772-9445
E-MAIL: MAIL@LUMSDEN.COM



NOTES
AND MISC.
DETAILS

MENDEL MILLING CO. FLOUR MILL
PREPARED FOR
MENDEL MILLING COMPANY
CAVE SPRING MAGISTERIAL DISTRICT
ROANOKE COUNTY, VIRGINIA

NO.	DATE	DESCRIPTION
1	9/14/06	ISSUED BEFORE ROAD PAVEMENT SECTION
2	10/15/06	REVISED BEFORE ROAD PAVEMENT NOTE
3	12/06/06	ADDED TYPE G AND F DITCH DETAILS
4		
5		

DATE: JUNE 1, 2006
SCALE: NO SCALE
COMMISSION NO: 04-217IBE
SHEET: 3 OF 16