

CURRENT ZONING: I-2A/-2C. INDUSTRIAL WITH CONDITIONS (ALL PAVEMENT & BUILDING IMPROVEMENTS COVERED UNDER THIS PLAN WILL TAKE PLACE WITHIN THE I-2 ZONE.)

CURRENT USE: MILL

PROPOSED USE: INDUSTRY, TYPE 1

MINIMUM LOT AREA REQUIRED: 20,000 SQUARE FEET (0.456 AC.)

MINIMUM FRONTAGE REQUIRED: 100 FEET

SITE AREA: 17.42 AC.

MINIMUM REQUIRED SETBACKS

FRONT: 30 FEET (OR 20' BUILDING LINE) WHEN PARKING IS LOCATED BEHIND THE FRONT

SIDE: 10 FEET

REAR: 25 FEET

MAXIMUM HEIGHT ALLOWED: 75 FEET INCLUDING ROOFTOP EQUIPMENT WHEN ADJOINING RESIDENTIAL PROPERTY. THE MAXIMUM HEIGHT MAY BE INCREASED PROVIDED EACH REQUIRED YARD ADJOINING A RESIDENTIAL DISTRICT IS INCREASED TWO FEET FOR EACH FOOT IN HEIGHT OVER 75 FEET. THIS DISTANCE SHALL BE MEASURED FROM THE PORTION OF THE STRUCTURE WHICH EXCEEDS 75 FEET IN ALL OTHER LOCATIONS THE HEIGHT IS UNLIMITED.

$(75' + 456.7' / 2 = 303.35')$

PROPOSED HEIGHT: LESS THAN 125' FEET (MAXIMUM FOR GRAN STORAGE ANNEX)

MAXIMUM LOT COVERAGE ALLOWED: 90 PERCENT

MAXIMUM LOT COVERAGE: 243,008 SF / 750.251 S.F. = 32%

MAXIMUM BUILDING COVERAGE: 75 PERCENT OF THE TOTAL LOT AREA

PROPOSED BUILDING COVERAGE: 49,634 S.F. / 750.251 S.F. = 6.14%

MILL TOWER 9,600 SF @ 1 SPACE PER 1,000 SF = 9.6 SPACES  
WAREHOUSE 15,300 SF @ 1 SPACE PER 1,000 SF = 15.3 SPACES  
OFFICE AREA 4,400 SF @ 3 SPACE PER 1,000 SF = 13.2 SPACES  
MAINTENANCE BLDG. 8,000 SF @ 1 SPACE PER 1,000 SF = 8 SPACES

TOTAL SPACES REQUIRED: 28 SPACES HANDICAP SPACES REQUIRED: 2 SPACES  
TOTAL SPACES PROVIDED: 30 SPACES INCLUDING 2 HANDICAPPED SPACES  
(27 EX. SPACES - 13 RELOCATED PARKING SPACES =  
14 EX. PARKING SPACES + 16 NEW PARKING SPACES = 30 SPACES)  
MAX. PARKING ALLOWED 30.3 (28 + 10% = 30.3)

1. THE PROPERTY SHOWN ON THESE PLANS IS LOCATED AT ROANOKE COUNTY TAX ASSESSMENT MAP 00714-03-0204 AND 0710-03-0200
2. DEVELOPER: THE HEWING MILLING COMPANY, 5185 BENJOS RD, ROANOKE, VA, 24018
3. THE BOUNDARY IS THE DIRECT RESULT OF A FIELD SURVEY BY LUNDSON ASSOCIATES, P.C.
4. TOPOGRAPHY DATA BASED ON A FIELD SURVEY PREPARED BY LUNDSON ASSOCIATES, P.C.
5. THE DEVELOPMENT ON THESE PLANS SHALL BE SERVED BY WESTERN VIRGINIA WATER AUTHORITY WATER AND SEWER.
6. PROPERTY AS SHOWN DOES NOT LIE WITHIN THE LIMITS OF THE 100 YEAR FLOODPLAIN AS DEFINED BY THE FLOOD INSURANCE RATE MAPS.
7. ALL EXTERIOR LIGHTS SHALL BE DESIGNED, ARRANGED, AND LOCATED SO AS NOT TO DIRECT GLARE ON ADJACENT RESIDENTIAL PROPERTIES OR RIGHT OF WAYS. THE MAXIMUM LIGHTING DENSITY AT ADJOURNING RESIDENTIAL PROPERTIES OR RIGHT OF WAYS SHALL NOT EXCEED 0.5 FOOT CANDLES.
8. A SEPARATE SIGN PERMIT IS REQUIRED FOR ANY SIGNAGE.
9. ALL REFUSE SERVICE (DUMPSTERS/CONTAINERS) AND OUTDOOR STORAGE AREAS IN ALL ZONING DISTRICTS SHALL BE SCREENED FROM SURROUNDING NEIGHS PER SECTION 30-82-5. HEIGHT OF SCREENING MUST BE A MINIMUM OF SIX (6) FEET.
10. GROUND LEVEL AND ROOF TOP MECHANICAL EQUIPMENT SHALL BE SCREENED OR LANDSCAPED PER SECTION 30-82-6 (E) 2

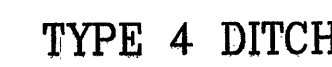
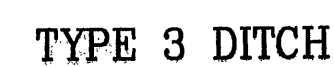
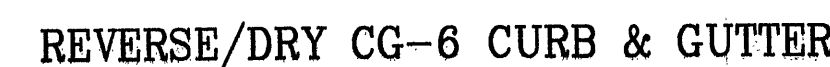
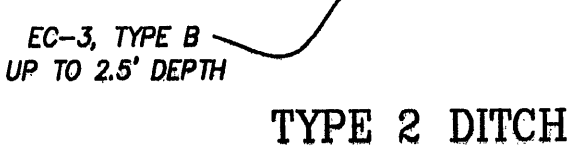
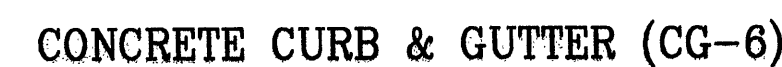
1. ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT COUNTY OF ROANOKE STANDARDS AND SPECIFICATIONS.
2. ALL SHALL BE SUBJECT TO INSPECTION BY THE WESTERN VIRGINIA WATER AUTHORITY, ROANOKE COUNTY AND/OR THE VIRGINIA DEPARTMENT OF TRANSPORTATION INSPECTORS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND THE ENGINEER OF ANY CHANGES OR CONDITIONS ATTACHED TO PERMITS OBTAINED FROM ANY AUTHORITY ISSUING PERMITS. NO SUBSOIL INVESTIGATIONS HAVE BEEN FURNISHED TO THE DESIGNING ENGINEER.
4. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION.
5. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION.
6. ALL WATER AND SANITARY SEWER FACILITIES SHALL BE INSTALLED ACCORDING TO THE WESTERN VIRGINIA WATER AUTHORITY WATER AND SANITARY SEWER DESIGN AND CONSTRUCTION STANDARDS.
7. ALL ROAD AND DRIVE STANDARDS FOR CONCURE CURBS AND STORM DRAINAGE DETAILS.
8. THE CONTRACTOR AND/OR OWNER SHALL PROVIDE A STORAGE CONTAINER FOR TEMPORARY STORAGE AND DISPOSAL OF LAND CLEARANCE DEBRIS AND BUILDING MATERIALS. ON-SITE BURIAL OF MATERIAL SHALL NOT BE PERMITTED.
9. DESIGN CHANGES, SPECIFIED MATERIAL CHANGES AND/OR FIELD CHANGES FROM THE APPROVED PLANS MUST BE APPROVED BY THE SALEH VDOT RESIDENCY AND/OR ROANOKE COUNTY OFFICE PRIOR TO PROCEEDING WITH THE WORK. A WRITTEN COPY OF EXPLANATION SHALL ACCOMPANY THE REVISED DESIGN PLANS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ENGINEERING CALCULATIONS.
11. DESIGN FOR FOOTINGS AND FOUNDATIONS FOR SLOES AND BUILDINGS WERE DONE BY OTHERS. LUMSDEN ASSOCIATES ASSUMES NO RESPONSIBILITY OR LIABILITY RELATING TO FAILURES RESULTING FROM SAME.

1. AREAS TO BE GRADED SHALL BE CLEARED OF ALL VEGETATION, STRUCTURES, AND OTHER PHYSICAL FEATURES IN PREPARATION FOR GRADING.  
2. MATERIAL SHALL BE REMOVED FROM THE CLEARED AREA AND STOCKPILED FOR FUTURE USE.  
3. FILL MATERIAL SHALL BE FREE FROM ORGANIC MATTER AND ROCKS LARGER THAN 6 INCHES IN DIAMETER. FILL MATERIAL SHALL BE PLACED AND COMPACTED IN EIGHT (8) ONE LOOSE LOTS AND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF THE MATERIAL'S MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698, STANDARD PROCTOR. MAXIMUM MOISTURE CONTENT OF FILL MATERIALS WITHIN THESE (4) PERCENT OPTIMUM MOISTURE RANGES REQUIRED COMPACTION DENSITY.  
4. A QUALIFIED GEOTECHNICAL ENGINEER, LICENSED IN THE STATE OF VIRGINIA, SHOULD BE CONSULTED CONCERNING SOIL STABILITY, SOIL STABILIZATION, SOIL COMPACTION, TESTING, AND OTHER SOIL CHARACTERISTICS. LUNDSEN ASSOCIATES ASSUMES NO RESPONSIBILITY OR LIABILITY RELATING TO FAILURES RESULTING FROM 302.014 BY PROCHLING & ROBERTSON DATED DECEMBER 3, 2009.  
5. SEE TECHNICAL SPECIFICATIONS FOR FILL.  
6. AS-BUILT PLANS ARE REQUIRED FOR ALL SLOPES GREATER THAN 3:1 AND HIGHER THAN 25'.

1. WALL DESIGNER SHALL PROVIDE TO THE OWNER DESIGN DRAWINGS FOR THE RETAINING WALL. SUCH DRAWINGS TO INCLUDE TYPE AND STYLE OF WALLS. DRAWINGS SHALL BE SIGNED AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF VIRGINIA. WALL INFORMATION SHOWN IN THESE PLANS ARE FOR INFORMATION ONLY. THE USER OF THESE PLANS ASSUMES NO RESPONSIBILITY OR LIABILITY RELATING TO FAILURES RESULTING FROM SAME.
2. A QUALIFIED GEOTECHNICAL ENGINEER SHOULD MONITOR THE INSTALLATION OF THE RETAINING WALL. GEOTECHNICAL ENGINEER SHALL BE LICENSED AS A PROFESSIONAL ENGINEER IN THE STATE OF VIRGINIA.
3. ALL RETAINING WALLS SUPPORTING MORE THAN TWO FEET OF UNBALANCED FILL SHALL GET A PERMIT FROM THE RAMONCE COUNTY BUILDING DEPARTMENT.
4. ALL RETAINING WALLS OF GREATER HEIGHT SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER, LICENSED IN THE STATE OF VIRGINIA.

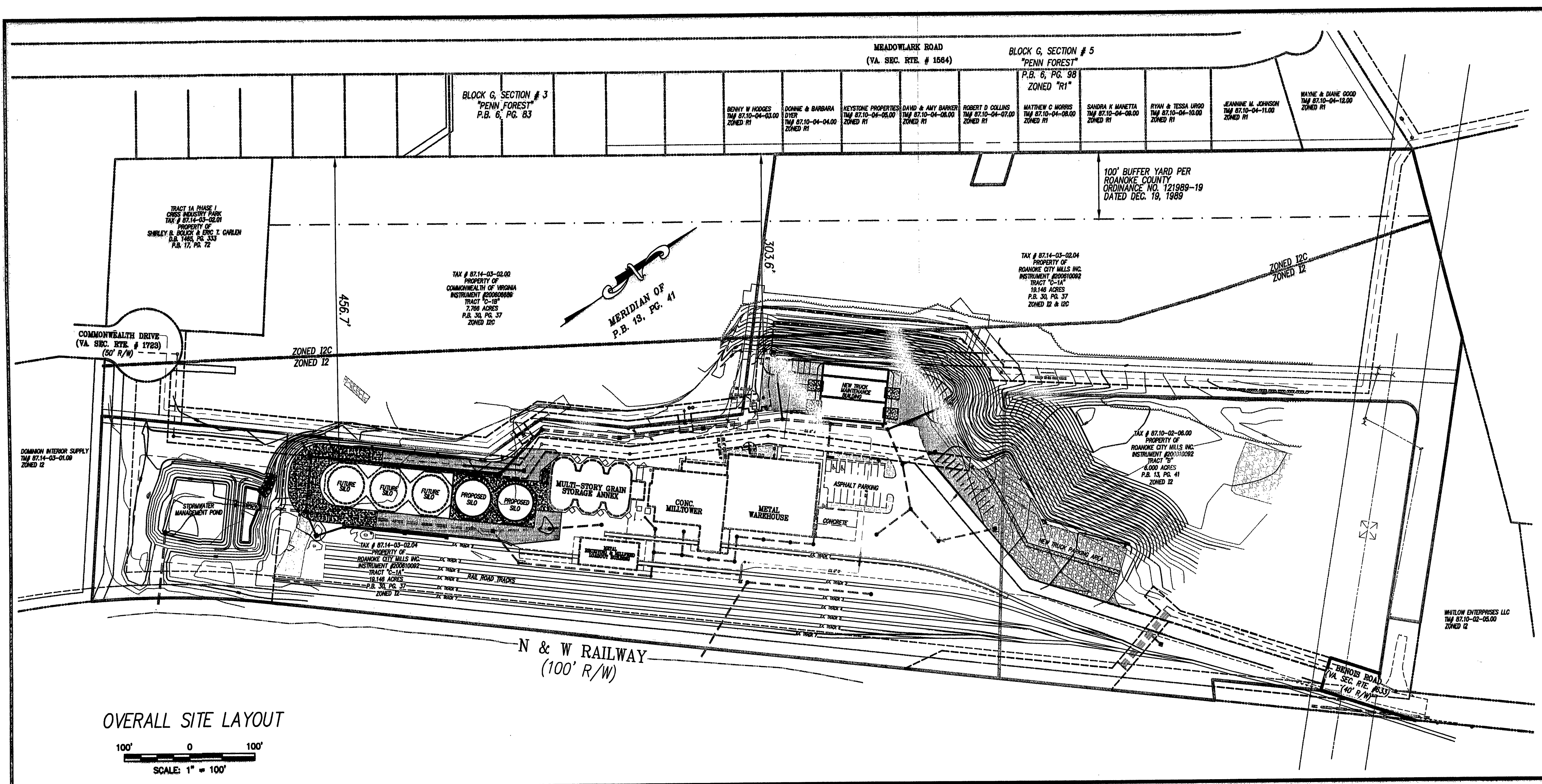
THE FOLLOWING ARE APPLICABLE PROFFERS ESTABLISHED BY ORDINANCE 121988-19 AT A REGULAR MEETING OF THE BOARD OF SUPERVISORS OF ROANOKE COUNTY, VIRGINIA, HELD AT THE ROANOKE COUNTY ADMINISTRATION CENTER, TUESDAY, DECEMBER 19, 1988:

1. THE PROPERTY WILL NOT INCLUDE PERMITTED USES FOR:
  - A) AUTOMOBILE PAINTING, UPHOLSTERING, REPAIRING, REBUILDING, RECONDITIONING, BODY AND FENDER WORK, TRUCK REPAIR OR OVERHAULING.
  - B) MANUFACTURING OF POTTERY AND FIGURINES OR OTHER SIMILAR CERAMIC PRODUCTS.
  - C) VETERINARY HOSPITAL AND COMMERCIAL KENNELS WITH EXTERIOR RUNS AND YARDS.
  - D) LEA MARKETS, UNLESS A SPECIAL EXCEPTION HAS BEEN GRANTED BY THE BOARD;
  - E) SEED AND FEED STORES.
2. A MINIMUM 100 FOOT BUFFER YARD ALONG THE WESTERN PROPERTY BOUNDARIES; THAT EXISTING VEGETATION BE RETAINED WITHIN THE 100 FOOT BUFFER YARD, AND SUPPLEMENTED WHERE NECESSARY IN ORDER TO MAINTAIN THE EXISTING SCREENING OF THIS SITE FROM ADJOINING RESIDENCES.
3. SOUND LEVELS SHALL NOT EXCEED 60 DBA WITHIN 100 FEET OF ADJOINING RESIDENCES.
4. HOURS OF OPERATION SHALL BE LIMITED FROM 8:00 a.m. TO 11:00 P.M. ON THIS PROPERTY.
5. THE EFFECTIVE DATE OF THE ORDINANCE IS DECEMBER 19, 1988.



CONCRETE PAVEMENT NOTE:

1. CONTRACTION JOINT SPACING NOT TO EXCEED 15' IN EVERY DIRECTION. EXPANSION JOINTS TO BE PLACED EVERY 30'. JOINTS TO BE SEALED WITH SILICONE FILLER.
2. PERIMETER CURB SHALL BE INTEGRAL WITH CONCRETE SLAB.

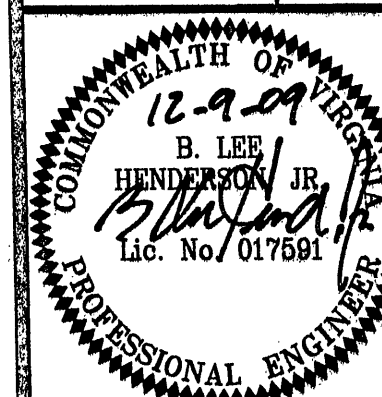


**LA**

**LUMSDEN ASSOCIATES, P.C.**  
**ENGINEERS-SURVEYORS-PLANNERS**  
**ROANOKE, VIRGINIA**

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## OVERALL SITE LAYOUT & NOTES & DETAILS

**MENNEL MILLING CO. FLOUR MILL**  
**PREPARED FOR**  
**MENNEL MILLING COMPANY**  
**CAVE SPRING MAGISTERIAL DISTRICT**

REVISIONS		DESCRIPTION
NO.	DATE	
1		
2		
3		
4		
5		

DATE: December 9, 2008

SCALE: AS SHOWN

COMMISSION NO: 09-176

SHEET 2 OF 15