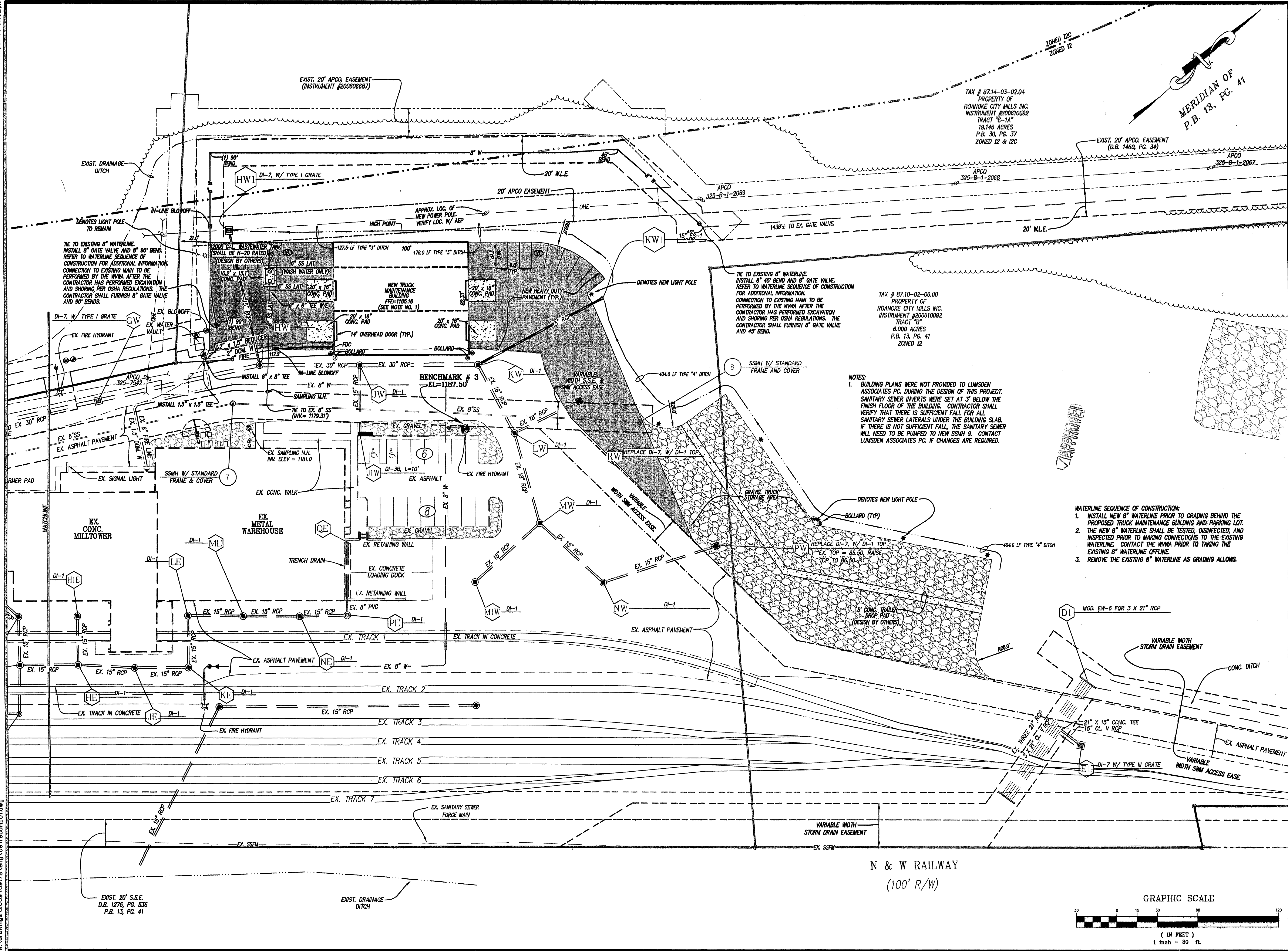
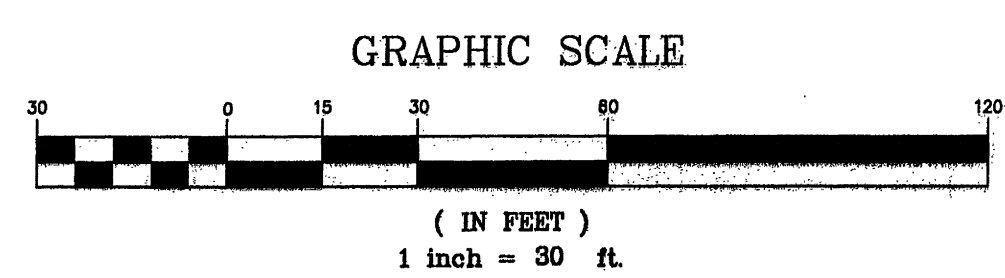




N & W RAILWAY
(100' R/W)



TAX # 87.14-03-02.04
PROPERTY OF
ROANOKE CITY MILLS INC.
INSTRUMENT #200610092
TRACT "C-1A"
19.146 ACRES
P.B. 30, PG. 37
ZONED 12 & 12C

EXIST. 20' APCO EASEMENT
(D.B. 1460, PG. 34)

TAX # 87.10-02-06.00
PROPERTY OF
ROANOKE CITY MILLS INC.
INSTRUMENT #200610092
TRACT "B"
6.000 ACRES
P.B. 13, PG. 41
ZONED 12

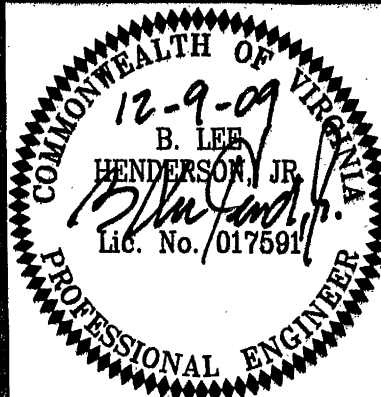
NOTES:
1. BUILDING PLANS WERE NOT PROVIDED TO LUMSDEN ASSOCIATES PC. DURING THE DESIGN OF THIS PROJECT. SANITARY SEWER INVERTS WERE SET AT 3' BELOW THE FINISH FLOOR OF THE BUILDING. CONTRACTOR SHALL VERIFY THAT THERE IS SUFFICIENT FALL FOR ALL SANITARY SEWER LATERALS UNDER THE BUILDING SLAB. IF THERE IS NOT SUFFICIENT FALL, THE SANITARY SEWER WILL NEED TO BE PUMPED TO NEW SSMH 9. CONTACT LUMSDEN ASSOCIATES PC. IF CHANGES ARE REQUIRED.

WATERLINE SEQUENCE OF CONSTRUCTION:
1. INSTALL NEW 8" WATERLINE PRIOR TO GRADING BEHIND THE PROPOSED TRUCK MAINTENANCE BUILDING AND PARKING LOT.
2. THE NEW 8" WATERLINE SHALL BE TESTED, DISINFECTED, AND INSPECTED PRIOR TO MAKING CONNECTIONS TO THE EXISTING WATERLINE. CONTACT THE WYMA PRIOR TO TAKING THE EXISTING 8" WATERLINE OFFLINE.
3. REMOVE THE EXISTING 8" WATERLINE AS GRADING ALLOWS.

LUMSDEN ASSOCIATES, P.C.
ENGINEERS-SURVEYORS-PLANNERS
ROANOKE, VIRGINIA

4664 BRAMBLETON AVENUE
P.O. BOX 20669
ROANOKE, VIRGINIA 24018

PHONE: (540) 774-4411
FAX: (540) 772-9445
E-MAIL: MAIL@LUMSDENPC.COM



DIMENSIONAL LAYOUT

MENNEL MILLING CO. FLOUR MILL
PREPARED FOR
MENNEL MILLING COMPANY
CAVE SPRING MAGISTERIAL DISTRICT
ROANOKE COUNTY, VIRGINIA

REVISIONS		DESCRIPTION
NO.	DATE	
1		
2		
3		
4		
5		

DATE: December 9, 2009
SCALE: 1" = 30'
COMMISSION NO.: 09-178
SHEET 6 OF 15