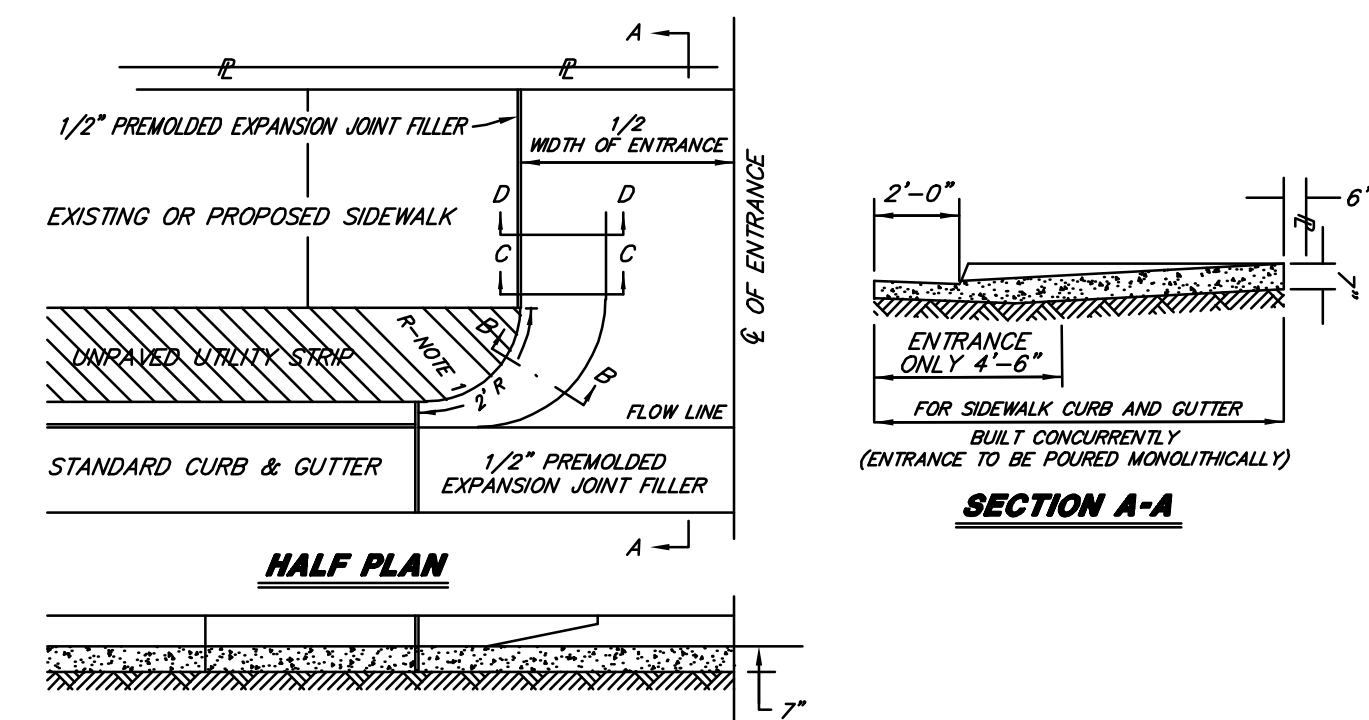


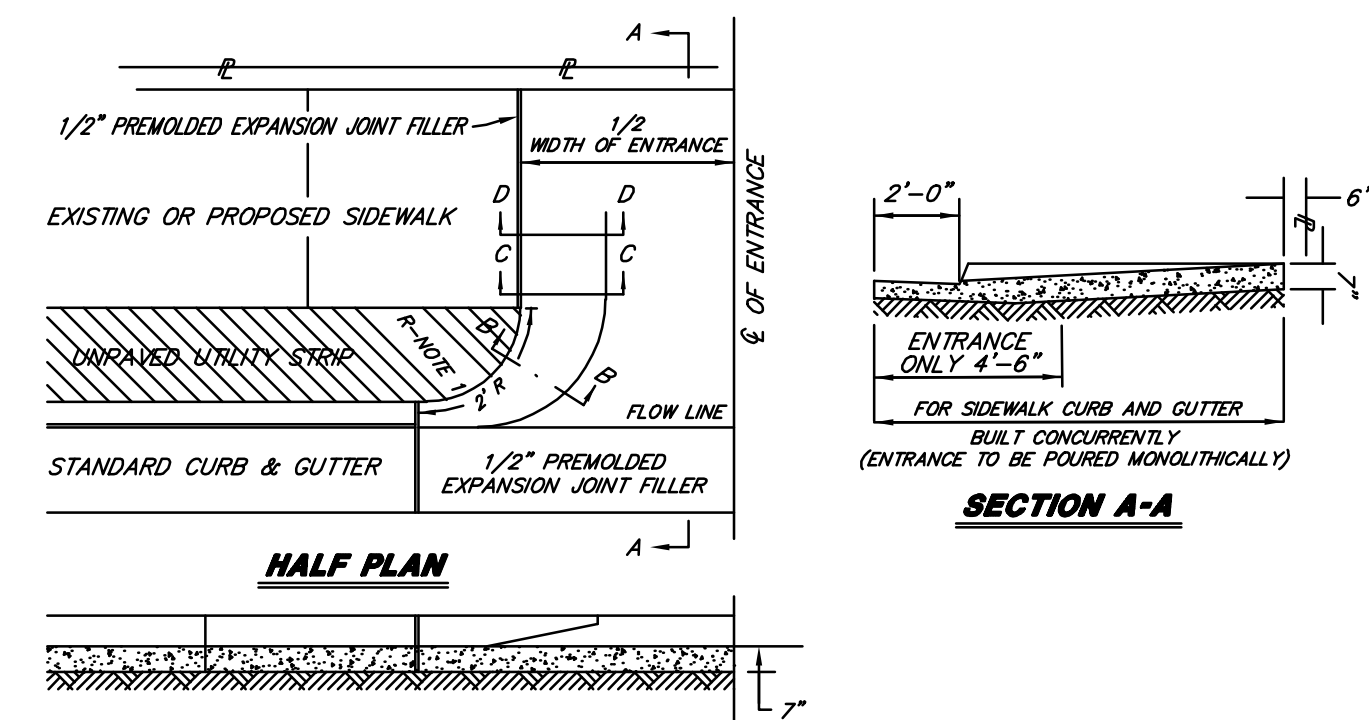
STREET SECTION

SOUTHERN HILLS DR. EXTENSION

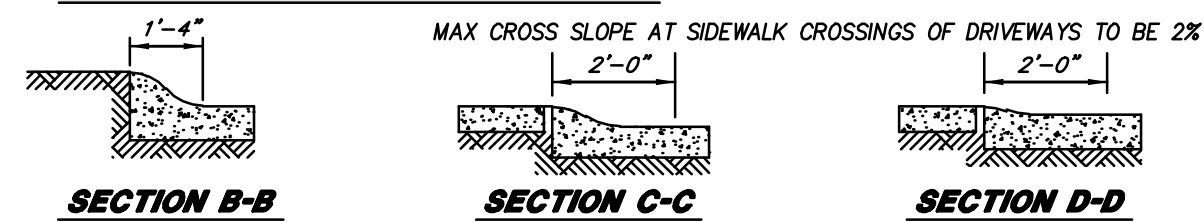


STREET SECTION

MILVIEW DRIVE, CLAREMONT COURT, AND MILVIEW COURT



SECTION ELEVATION AT FLOW LINE



GENERAL NOTES:

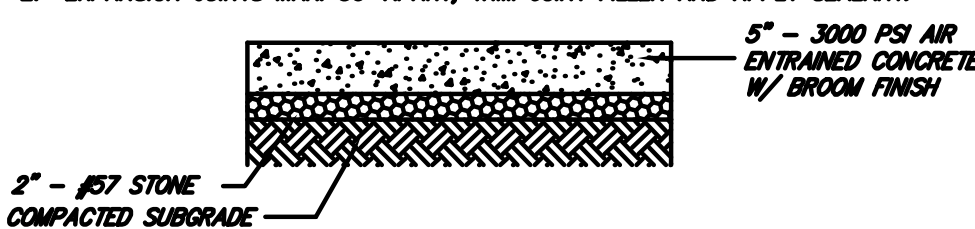
- Standard residential "Entrance" shall have a curb radius (R) of 2 feet.
- Minimum Entrance width to be 12 feet at P.T. of radius return.
- Where curb & gutter already exists, both curb & gutter shall be removed. If proposed entrance falls within five (5) feet of an existing joint, removal & reconstruction shall be to that joint. Any concrete removed at other than an existing joint shall be cut with a mechanical saw specifically manufactured for that purpose, this also shall apply to street pavement.
- Where sidewalk exists, or is to be constructed across driveways, the thickness thereof must correspond with the thickness of the entrance.
- Wherever "Entrances" exceeds twenty-four (24) feet in width a 1/2" pre-molded expansion joint filler shall be installed through the center perpendicular to flow line.
- Finish: "Entrances" shall have a "coarse broom finish" running parallel to flow line.
- Curing shall be accomplished by the use of a liquid membrane seal containing white pigment applied at the rate of one (1) gallon per 150 square feet.
- All "Entrance Ways" shall be constructed according to City of Roanoke specifications and to line and grades approved by the City Engineering Department.
- Entrances exceeding 30 feet in width shall be approved by the City Manager.

CITY OF ROANOKE
RESIDENTIAL "ENTRANCE" STANDARD

NO SCALE

NOTES:

- CONTRACTION JOINTS AT 6' O.C., SCORE TO 25% OF SIDEWALK THICKNESS
- EXPANSION JOINTS MAX. 30' APART, TRIM JOINT FILLER AND APPLY SEALANT.



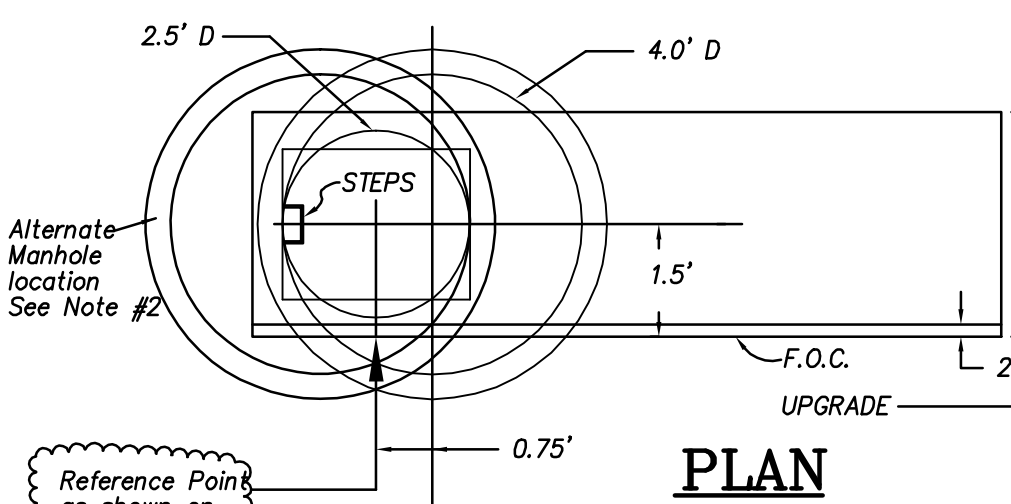
4" CONCRETE SIDEWALK

NO SCALE

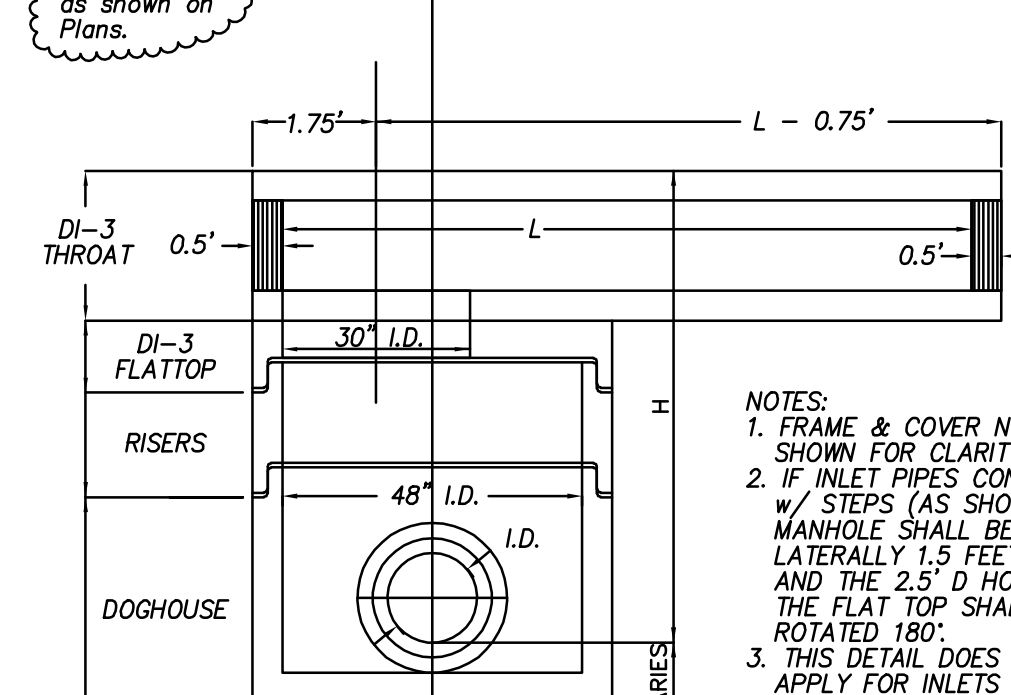
PAVEMENT SPECIFICATIONS						
STREET NAME	FROM STATION TO STATION	PAVEMENT WIDTH	RIGHT OF WAY WIDTH	VEHICLE TRIPS PER DAY	NUMBER OF REQ'D CBR TESTS	PAVEMENT SPECIFICATION
MILTON PARK DRIVE	10+12± TO 25+22±	24'	50'	964	4 (INCL. ONE AT CONNECTION POINT OF EXIST. PEAKWOOD DR.)	165 PSY ASPH. CONCRETE (1.5"), TYPE SM-9.5D 330 PSY ASPH. CONCRETE (3"), TYPE BM-25.0 6" AGGREGATE BASE-21B
MILTON PARK DRIVE	25+46± TO CUL DE SAC	24'	50'	276	2	220 PSY ASPH. CONCRETE (2"), TYPE SM-9.5D 8" AGGREGATE BASE-21B
CLAREMONT COURT	39+50± TO 46+68±	24'	50'	363	2	220 PSY ASPH. CONCRETE (2"), TYPE SM-9.5D 8" AGGREGATE BASE-21B
CLAREMONT COURT	46+68± TO SOUTHERN HILLS DR. (INCLUDING EXTENSION)	24'	50'	964	2	165 PSY ASPH. CONCRETE (1.5"), TYPE SM-9.5D 330 PSY ASPH. CONCRETE (3"), TYPE BM-25.0 6" AGGREGATE BASE-21B
CIRCLE PORTION OF CLAREMONT COURT	60+11± TO END	26'	112'	964	2	165 PSY ASPH. CONCRETE (1.5"), TYPE SM-9.5D 330 PSY ASPH. CONCRETE (3"), TYPE BM-25.0 6" AGGREGATE BASE-21B
HIGHCROFT COURT	70+00± TO CUL DE SAC	24'	50'	289	2	220 PSY ASPH. CONCRETE (2"), TYPE SM-9.5D 8" AGGREGATE BASE-21B

NOTES:

- THE PRELIMINARY PAVEMENT DESIGNS SHOWN ARE BASED ON A PREDICTED SUB-GRADE CBR VALUE OF 7.0 AND A RESILIENCY FACTOR (RF) OF 2.0 AS SHOWN IN APPENDIX I OF THE 2014 VIRGINIA DEPARTMENT OF TRANSPORTATION PAVEMENT DESIGN GUIDE FOR SUBDIVISION AND SECONDARY ROADS. THE SUB-GRADE SOIL IS TO BE TESTED BY AN INDEPENDENT LABORATORY AND THE RESULTS SUBMITTED TO THE CITY OF ROANOKE PRIOR TO BASE CONSTRUCTION. SHOULD THE SUB-GRADE CBR VALUE AND/OR THE RF VALUE BE LESS THAN THE PREDICTED VALUES, ADDITIONAL BASE MATERIAL WILL BE REQUIRED IN ACCORDANCE WITH DEPARTMENTAL SPECIFICATIONS. REFER TO THE SAME MANUAL FOR THE NUMBER AND LOCATIONS OF THE REQUIRED SOIL SAMPLES TO BE TESTED. ALL PAVEMENT DESIGNS SHALL BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL. (CHANGE VALUES FOR EACH SPECIFIC LOCATION).
- THE SUB-GRADE SHALL BE APPROVED BY THE CITY OF ROANOKE PRIOR TO THE PLACEMENT OF THE BASE. BASE SHALL BE APPROVED BY THE CITY OF ROANOKE FOR DEPTH, TEMPLATE, AND COMPACTION BEFORE SURFACE IS APPLIED. THE SURFACE LAYER SHALL BE APPROVED BY THE CITY OF ROANOKE FOR DEPTH, TEMPLATE, AND COMPACTION. THE DEVELOPER SHALL AUTHORIZE THE TESTING TO BE PERFORMED BY AN INDEPENDENT TESTING LAB FOR EACH LAYER OF THE PAVEMENT STRUCTURE. TEST RESULTS SHALL BE SUBMITTED TO THE CITY OF ROANOKE FOR APPROVAL. ALL TEST METHODS AND FREQUENCY OF TESTING SHALL BE IN ACCORDANCE WITH VDOT'S ROAD AND BRIDGE SPECIFICATIONS AND THE VIRGINIA TEST METHODS MANUAL.
- AGGREGATE SHALL BE PLACED IN 8 (EIGHT) INCH MAXIMUM LIFTS. FOR 10 (TEN) INCH AGGREGATE LAYER, THE AGGREGATE SHALL BE PLACED IN TWO (TWO) INCH LIFTS.



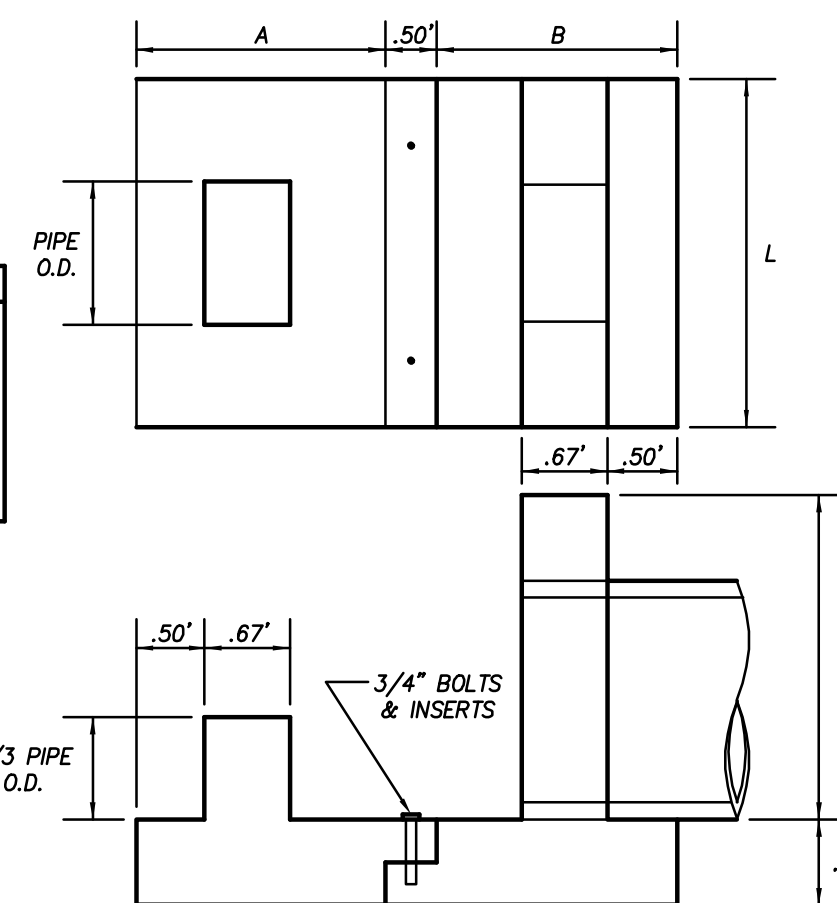
PLAN



PROFILE

LOCATION DETAIL FOR DI-3B (PRECAST)

NO SCALE



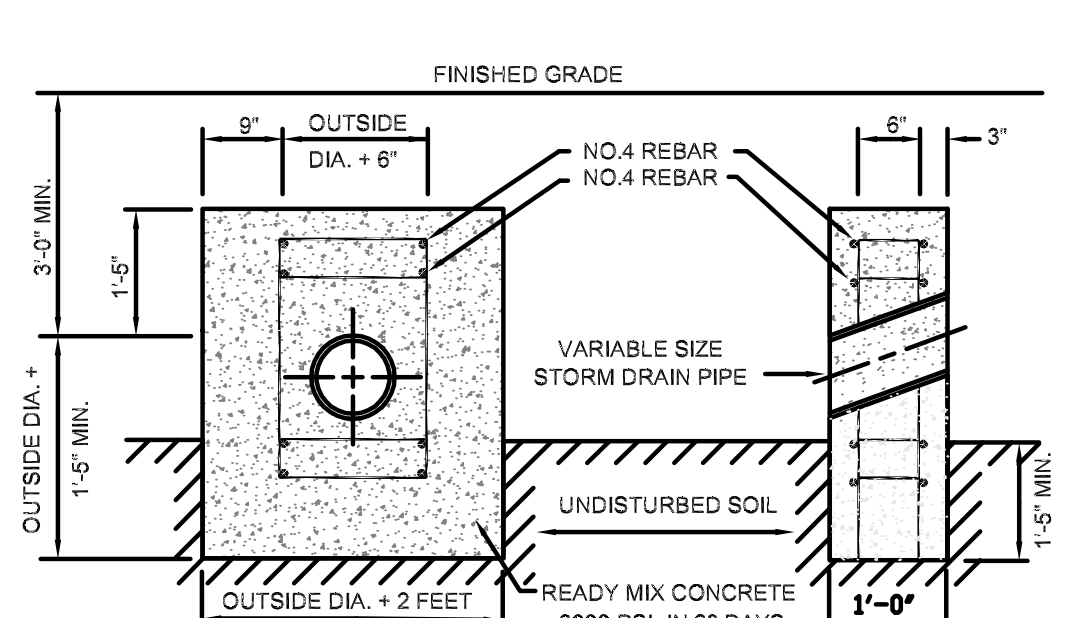
CONCRETE CURB (CG-2)

NO SCALE

SEE VDOT ROAD AND BRIDGE STANDARDS FOR ADDITIONAL CURB AND GUTTER NOTES AND DETAILS.

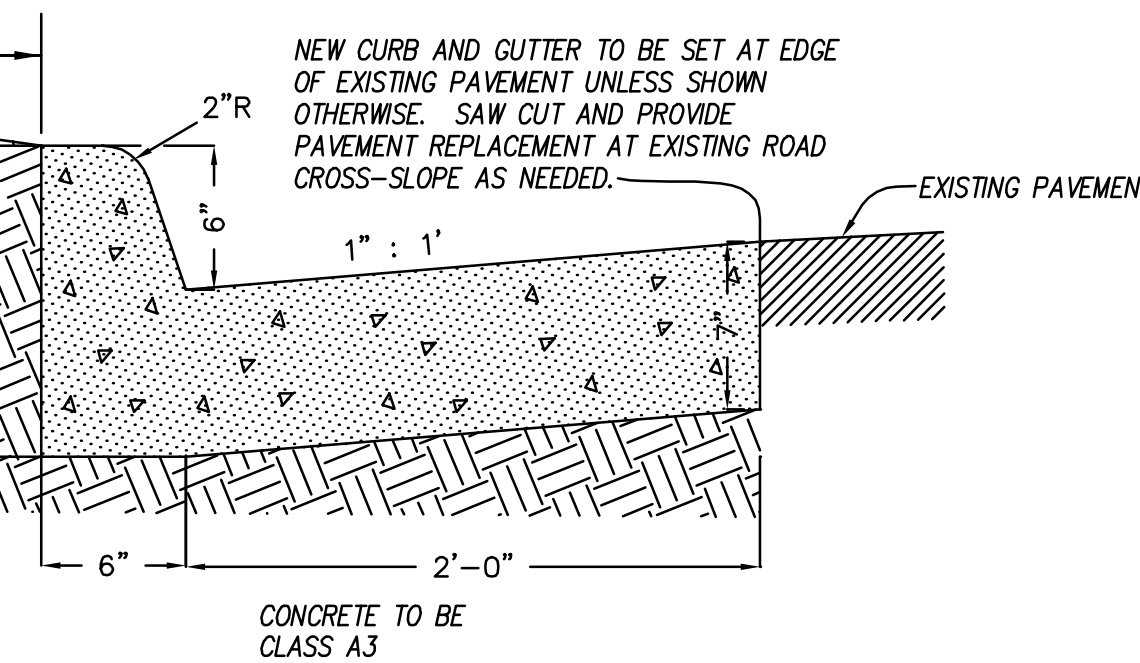
EW-1 MODIFIED WITH ENERGY DISSIPATER

NO SCALE



STORM DRAIN ANCHOR BLOCK

NO SCALE



CONCRETE CURB & GUTTER (CG-6)

NO SCALE

SITE AND ZONING TABULATIONS

CURRENT ZONING: R-12 (TAX #1090816), R-7 (TAX #5440101, 5480605)
 PROPOSED USE: SINGLE FAMILY DETACHED DWELLINGS
 SITE ACREAGE: 51.83 ACRES
 PROPOSED NUMBER OF LOTS: 79
 DIMENSIONAL STANDARDS LISTED BELOW FOR R-7 (TAX #5440101)
 MINIMUM LOT AREA REQUIRED: 7,000 S.F.
 MINIMUM FRONTAGE REQUIRED: 60' (MINIMUM LOT FRONTAGE REQUIREMENTS FOR DEVELOPMENTS ON CUL-DE-SACS SHALL BE MEASURED ALONG THE LINE OF THE MIN. FRONT YARD & SUCH FRONTAGE MAY BE REDUCED TO SEVENTY-FIVE (75) PERCENT OF THE FRONTAGE REQUIRED BY THE DISTRICT). (36.2-205(d)(3))
 MINIMUM REQUIRED YARD SETBACKS: (INFILL RULE APPLIES SEE SEC. 36.2-313)
 MINIMUM FRONT: 20'
 MAXIMUM FRONT: NONE
 MINIMUM REAR: 15'
 MINIMUM INDIVIDUAL SIDE YARD: 3'
 MINIMUM OFF-STREET PARKING: NONE
 MAXIMUM HEIGHT ALLOWED: 35'
 MAXIMUM FLOOR AREA RATIO: NONE
 MAXIMUM IMPERVIOUS SURFACE RATIO: 50%

GENERAL NOTES

- THE PROPERTY SHOWN ON THESE PLANS IS LOCATED AT ROANOKE CITY TAX ASSESSMENT MAP NO. 1090816, 5440101, AND 5480605.
- OWNER/DEVELOPER: WTSH, LLC.
(ALEXANDER BOONE)
3922 ELECTRIC ROAD
ROANOKE, VA 24018 (540) 278-1365
- THE BOUNDARY IS THE DIRECT RESULT OF A FIELD SURVEY BY LUMSDEN ASSOCIATES, P.C.
- TOPOGRAPHY DATA BASED ON AN AERIAL SURVEY BY MCKENZIE-SNYDER.
- NO TITLE REPORT WAS FURNISHED FOR THIS PROPERTY.
- THE DEVELOPMENT SHOWN ON THESE PLANS SHALL BE SERVED BY WESTERN VIRGINIA WATER AUTHORITY WATER AND SANITARY SEWER.
- THE PROPERTY ON THESE PLANS SHALL BE ACCESSED BY PUBLIC ROADS.
- A SEPARATE SIGN PERMIT WILL BE REQUIRED FOR ANY EXTERIOR SIGNAGE.
- NO CONSTRUCTION/FIELD REVISIONS ARE ALLOWED WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER, THE CITY OF ROANOKE, AND/OR THE WESTERN VIRGINIA WATER AUTHORITY.
- IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO CLEAN OUT THE EXISTING STORM SEWER SYSTEM WITHIN EXISTING DEVELOPMENTS SHOULD THESE SYSTEMS BECOME Silted OR BLOCKED IN ANY WAY DUE TO THE CONSTRUCTION OF THIS PROPOSED DEVELOPMENT.
- AS EACH LOT IS DEVELOPED A BASIC DEVELOPMENT PLAN MUST BE SUBMITTED TO AND APPROVED BY THE CITY. THE BASIC DEVELOPMENT PLAN WILL BE REVIEWED TO INSURE CONFORMANCE WITH ALL CITY ZONING REGULATIONS INCLUDING, BUT NOT NECESSARILY LIMITED TO, SETBACKS, IMPERVIOUS SURFACE RATIOS, LIGHTING, DRIVEWAY WIDTHS AND SURFACING, AND LANDSCAPING.
- THE MAINTENANCE, REPAIR, AND REPLACEMENT OF SUBDIVISION ENTRANCE AND ITS LANDSCAPING, LIGHTING, STORMWATER MANAGEMENT AREA, SIDEWALKS, AND ALL LANDSCAPED ISLANDS WITHIN THE RIGHT-OF-WAYS WILL BE THE RESPONSIBILITY OF THE HOMEOWNER'S ASSOCIATION.
- ALL NEW UTILITIES SHALL BE INSTALLED UNDERGROUND.
- THE CONTRACTOR SHALL SUPPLY THE WESTERN VIRGINIA WATER AUTHORITY A COPY OF THE WATER AND SANITARY SEWER ASBUILTS PER THE AUTHORITY'S SPECIFICATIONS PRIOR TO TENTATIVE ACCEPTANCE OF THE WATER AND SANITARY SEWER SYSTEMS. A PRECONSTRUCTION MEETING SHALL BE HELD WITH THE CITY OF ROANOKE AND THE WESTERN VIRGINIA WATER AUTHORITY AT LEAST ONE DAY PRIOR TO THE START OF CONSTRUCTION. COORDINATE THE SCHEDULING OF THIS MEETING WITH THE CITY OF ROANOKE.

CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT CITY OF ROANOKE STANDARDS AND SPECIFICATIONS, THE CURRENT EDITION OF VDOT'S ROAD AND BRIDGE STANDARDS, AND THE WESTERN VIRGINIA WATER AUTHORITY'S WATER AND SANITARY SEWER STANDARDS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND THE ENGINEER OF ANY CHANGES OR CONDITIONS ATTACHED TO PERMITS OBTAINED FROM ANY AUTHORITY ISSUING PERMITS.
- NO SUBSOIL INVESTIGATIONS HAVE BEEN FURNISHED TO THE DESIGNING ENGINEER.
- THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION.
- ALL WATER CONNECTIONS TO EXISTING LINES SHALL BE COORDINATED WITH AND PERFORMED BY THE WESTERN VIRGINIA WATER AUTHORITY.
- ALL SANITARY SEWER CONNECTIONS TO EXISTING LINES SHALL BE PERFORMED BY THE CONTRACTOR WITH A WESTERN VIRGINIA WATER AUTHORITY INSPECTOR ON-SITE.
- SEE VDOT ROAD AND BRIDGE STANDARDS FOR CONCRETE CURB AND STORM DRAINAGE DETAILS.
- THE CONTRACTOR AND OR OWNER SHALL PROVIDE A STORAGE CONTAINER FOR TEMPORARY STORAGE AND DISPOSAL OF LAND CLEARANCE DEBRIS AND BUILDING MATERIALS. ON-SITE BURIAL OF MATERIAL SHALL NOT BE PERMITTED.

GRADING NOTES

- AREAS TO BE GRADED SHALL BE CLEARED OF ALL VEGETATION, STRUCTURES, AND OTHER PHYSICAL FEATURES IN PREPARATION OF GRADING.
- TOPSOIL SHALL BE REMOVED FROM THE CLEARED AREA AND STOCKPILED FOR FUTURE USE.
- FILL MATERIAL SHALL BE FREE FROM ORGANIC MATTER AND ROCKS LARGER THAN 6 INCHES IN DIAMETER.
- FILL MATERIAL SHALL BE PLACED AND COMPACTED IN EIGHT (8) INCH LOOSE LIFTS AND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF THE MATERIAL'S MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698, STANDARD PROCTOR. MAINTAIN MOISTURE CONTENT OF FILL MATERIAL WITHIN THREE (3) PERCENT OF OPTIMUM TO ATTAIN REQUIRED COMPACTION DENSITY.
- NO SUBSURFACE SOILS INFORMATION HAS BEEN FURNISHED TO THE DESIGNING ENGINEER (LUMSDEN ASSOCIATES, P.C.). A QUALIFIED GEOTECHNICAL ENGINEER, LICENSED IN THE STATE OF VIRGINIA, SHOULD BE CONSULTED CONCERNING SOIL STABILITY, SLOPE STABILIZATION, SOIL COMPACTION, TESTING, AND OTHER SOIL CHARACTERISTICS. LUMSDEN ASSOCIATES ASSUMES NO RESPONSIBILITY OR LIABILITY RELATING TO FAILURES RESULTING FROM SAME.

WESTERN VIRGINIA WATER AUTHORITY GENERAL NOTES

- ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE LATEST WVWA DESIGN AND CONSTRUCTION STANDARDS.
- THE CONTRACTOR OR DEVELOPER IS REQUIRED TO NOTIFY THE WESTERN VIRGINIA WATER AUTHORITY IN WRITING AT LEAST THREE (3) DAYS PRIOR TO ANY CONSTRUCTION. PLEASE CONTACT MARK SINK AT 537-3480.
- ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE WESTERN VIRGINIA WATER AUTHORITY. FIELD CORRECTIONS SHALL BE APPROVED BY THE WESTERN VIRGINIA WATER AUTHORITY PRIOR TO SUCH CONSTRUCTION.
- THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 18" CLEARANCE VERTICALLY AND 2" MINIMUM HORIZONTALLY FROM OUTSIDE OF PIPE TO OUTSIDE OF PIPE AT ALL WATER, SANITARY SEWER CROSSINGS OF ANY KIND OR OTHER UTILITIES. WHEN THIS CANNOT BE THE ACHIEVED ADDITIONAL MEASURES IN ACCORDANCE WITH WVWA STANDARDS SHALL BE ENFORCED.
- ANY EXISTING APPURTENANCES SHOULD BE ADJUSTED TO GRADE AND NEW FRAME AND COVERS INSTALLED WHERE REQUIRED.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO HAVE ALL EXISTING UTILITIES LOCATED AND POTHOLED TO VERIFY LOCATIONS. THIS PLAN REVIEW DOES NOT REMOVE THE CONTRACTOR'S RESPONSIBILITY TO RELOCATE ANY EXISTING CONFLICTS FOUND DURING CONSTRUCTION.



4664 BRAHMBLETON AVENUE
 P.O. BOX 20669
 ROANOKE, VIRGINIA 24018

FOR REVIEW ONLY

NOTES AND
 DETAILS

DEVELOPMENT PLANS FOR
 Milview SUBDIVISION
 PREPARED FOR
 WTSH, LLC
 SITUATED IN
 THE CITY OF ROANOKE, VIRGINIA

REVISIONS		DESCRIPTION
NO.	DATE	
1	4/15/2021	SEE PLAN REVISION TABLE ON SHEET No. 3
2		
3	1/25/2022	SEE PLAN REVISION TABLE ON SHEET No. 3
4	6/12/2023	SEE PLAN REVISION TABLE ON SHEET No. 3
5		

DATE: March 10, 2020

SCALE: NONE

COMMISSION NO: 03-374N

SHEET 2 OF 19