

GENERAL NOTES

1. UTILITY CONTROL

STREETS TO BE GRADED, PAVED AND ALL STRUCTURAL COMPONENTS ERECTED IN ACCORDANCE WITH THE VIRGINIA DEPARTMENT OF HIGHWAYS ROAD AND BRIDGE SPECIFICATIONS AND CURRENT DESIGN STANDARDS. ALL MATERIALS USED SHALL BE TESTED IN ACCORDANCE WITH STANDARD POLICIES. THE DEVELOPER MUST CONTACT THE OFFICE OF MR. G. L. ROBERTSON, RESIDENT ENGINEER, PRIOR TO BEGINNING ANY CONSTRUCTION AT WHICH TIME AN INSPECTION AND TESTING PROCEDURE. POLICY WILL BE DRAWN. THE DEVELOPER MAY PRODUCE TEST REPORTS FROM APPROVED INDEPENDENT LABORATORIES OR SOLICIT TESTING BY VDH, IN EITHER EVENT AT THE DEVELOPER'S EXPENSE.

STRUCTURAL VALUE OF SUBGRADE MUST HAVE A CBR RATING OF 10 OR GREATER, THE SOIL BEING TESTED BY AN INDEPENDENT LABORATORY AND RESULTS SHOWN PRIOR TO CONSTRUCTION. UPON RECEIPT OF THE LAB. REPORT SHOWING SATISFACTORY SOIL BEARING VALUES, BASE REQUIREMENTS ACCORDING TO CATEGORY VEHICULAR DEMAND AS REQUESTED BY THE DEVELOPER MAY BE APPROVED.

2. UTILITIES

ALL NECESSARY UTILITY LATERALS WILL BE PLACED PRIOR TO PAVEMENT SURFACING OR CONDUIT PROVISIONS MADE FOR THE SAME (I.E. WATER, SEWER, GAS AND TELEPHONE).

GAS OR PETROLEUM TRANSMISSION LINES WILL NOT BE PERMITTED WITHIN THE PAVEMENT OR SHOULDER ELEMENT (BACK OF CURB TO BACK OF CURB) OF THIS DEVELOPMENT. SERVICE LATERALS CROSSING AND PIPE LINES LOCATED OUTSIDE THE PAVEMENT BUT INSIDE THE RIGHT OF WAY WILL BE CONSTRUCTED IN CONFORMITY WITH ASHRAE 31.8 SPECIFICATIONS AND SAFETY REGULATIONS. DISTRIBUTION LINES WITH PRESSURES LESS THAN 120 LBS. ARE UNAFFECTED BY THE ABOVE.

PERMITS WILL BE REQUIRED FOR ALL UTILITIES WITHIN STREET RIGHT OF WAY PRIOR TO ACCEPTANCE INTO THE SECONDARY HIGHWAY SYSTEM.

3. PRIVATE ENTRANCES

STANDARD PRIVATE ENTRANCE DESIGN CG-6 WILL BE PROVIDED TO LOTS WHERE STANDARD CURB AND GUTTER IS APPROVED FOR USE.

PERMITS WILL BE REQUIRED FOR ALL PRIVATE ENTRANCES CONSTRUCTED ON STREET RIGHT OF WAYS PRIOR TO ACCEPTANCE INTO THE SECONDARY HIGHWAY SYSTEM.

4. EROSION CONTROL AND LANDSCAPING

CARE MUST BE TAKEN DURING CONSTRUCTION TO PREVENT EROSION, DUST AND MUD FROM DAMAGING ADJACENT PROPERTY, CLOGGING DITCHES, TRACKING PUBLIC STREETS AND OTHERWISE CREATING A PUBLIC OR PRIVATE NUISANCE TO SURROUNDING AREAS.

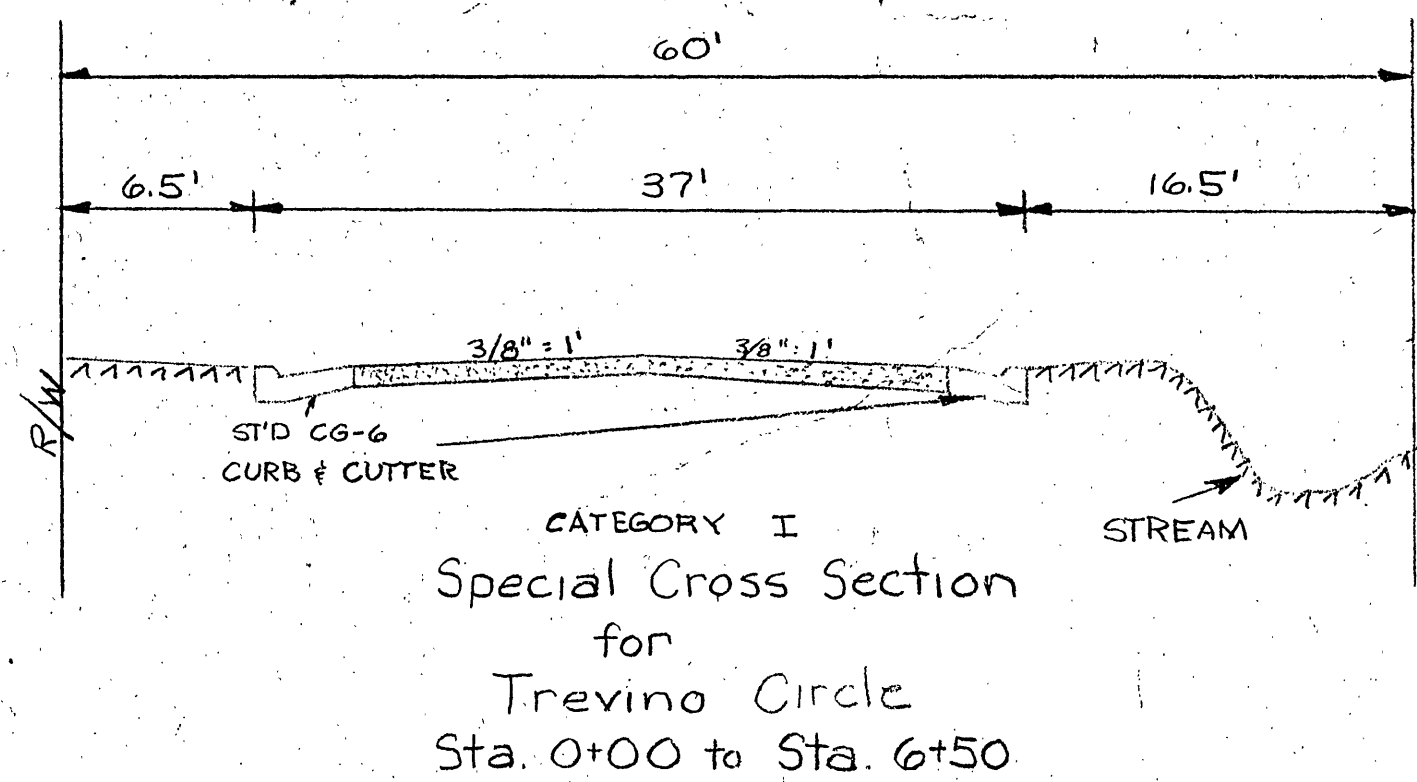
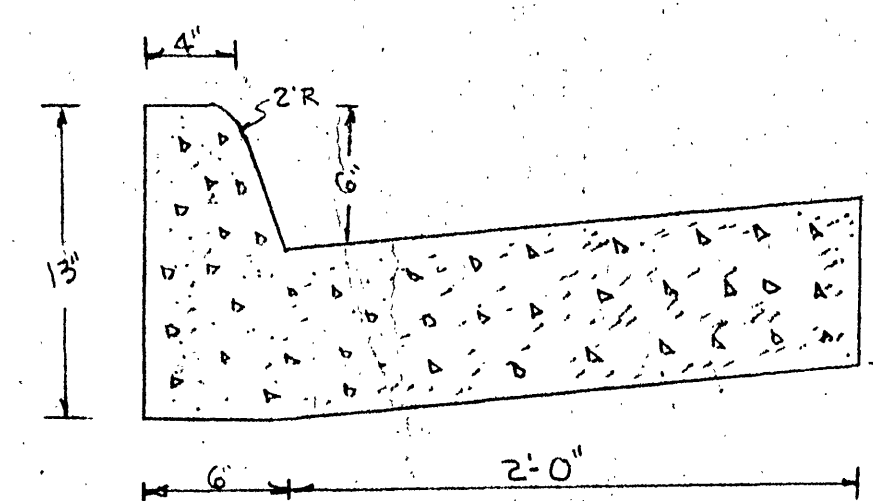
THE ENTIRE CONSTRUCTION AREA BACK OF CURBS AND/OR PAVEMENT TO BE BACKFILLED AND SEEDED TOGETHER WITH DITCHES AND CHANNELS, AT THE EARLIEST POSSIBLE TIME AFTER FINAL GRADING.

DRAINAGE EASEMENTS MUST BE DEFINED BY EXCAVATED DITCHES OR CHANNELS FOR THEIR FULL LENGTH OR TO WELL DEFINED EXISTING NATURAL WATERWAYS.

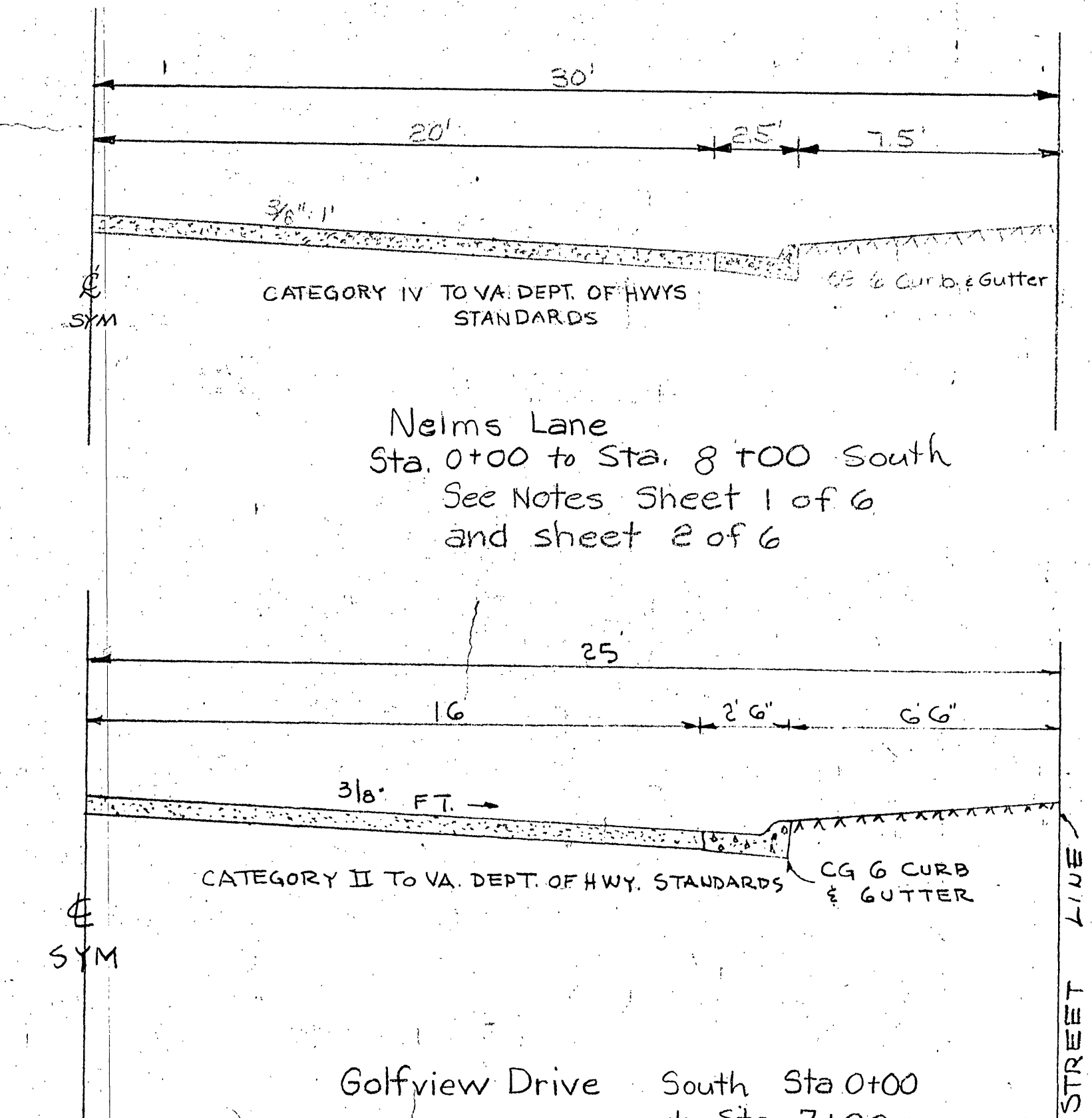
5. MINIMUM PAVEMENT RADIUS OF 25 FT. REQUIRED AT ALL STREET INTERSECTIONS.

NOTE: SEWER LINE CONSTRUCTION WILL BE IN ACCORDANCE WITH RULES & REGULATIONS AND CONSTRUCTION SPEC. & STANDARDS OF ROANOKE CO. PUBLIC SERVICE AUTHORITY.

STANDARD CG-6 CURB & GUTTER



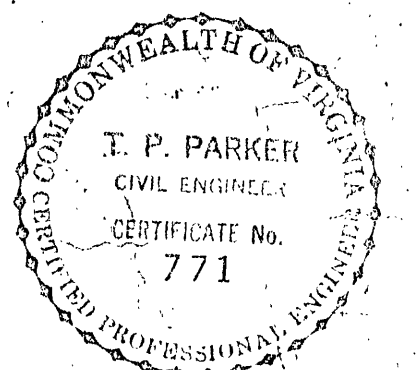
Note: Nelms Lane
Waldron Homes shall install the following; Sta. 0+00 to Sta. 8+00 south and Sta. 0+50 north curb & gutter on east side only and place necessary surface treatment to meet proposed curb & gutter along east side. James E. Long Construction Co. will be responsible for all remaining improvements from the beginning of Meadowview Acres subdivision to Sta. 0+50 north to meet Category IV requirements. Waldron Homes shall install complete street and curb & gutter on east side only from Sta. 0+50 north to Sta. 9+80 north. The developer of Sec. 4 Meadowview Acres will be responsible for installation of curb & gutter on west side only.



Nelms Lane
Sta. 0+00 to Sta. 8+00 South
See Notes Sheet 1 of 6 and sheet 2 of 6

Golfview Drive South Sta. 0+00 to Sta. 7+00
North Sta. 0+00 to Sta. 10+50
Sta. 0+00 to Sta. 3+00

Applewood Nelms Lane Sta. 0+00 to Sta. 9+80 North
See Notes Sheet 1 of 6 and Sheet 2 of 6



T. P. Parker 2-3-75
RESIDENT ENGINEER, VA. DEPT. OF HWYS. DATE

M. J. Parker 3/4/75
SECT. OF ROANOKE CO. PLANNING. COMM. DATE

Charles L. Mitchell 5-27-75
CITY ENGINEER OF ROANOKE, VIRGINIA DATE

Lorton Mcmullen 5-27-75
AGENT FOR CITY OF ROANOKE PLANNING COMM DATE

PLAN & PROFILE OF
SECTION 1
MONTEREY NORTH
PROPERTY OF
WALDRON HOMES, INC.
ROANOKE COUNTY, VIRGINIA.
BY: T. P. PARKER & SON
ENGRS. & SURVEYORS
DATE: MAY 22, 1974 SCALE: AS NOTED