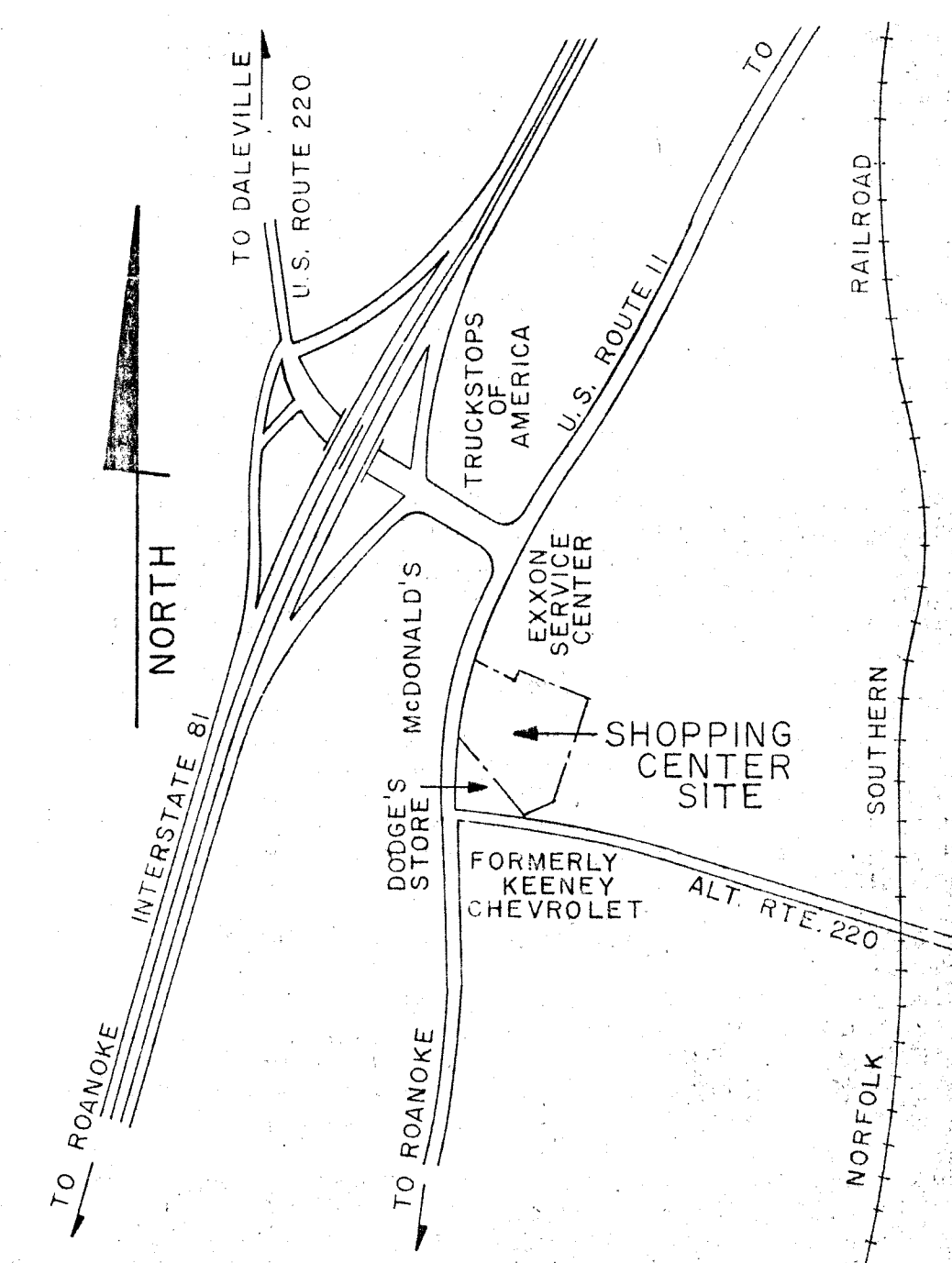


PROJECT NAME: Mountain View Shopping Plaza
 DATE: 4-84
 TYPE: Site plan
 LOCATION: 8
 TOTAL SHEETS: 8
 A/E FIRM: Clean Water
 # OF SETS: 1



VICINITY MAP

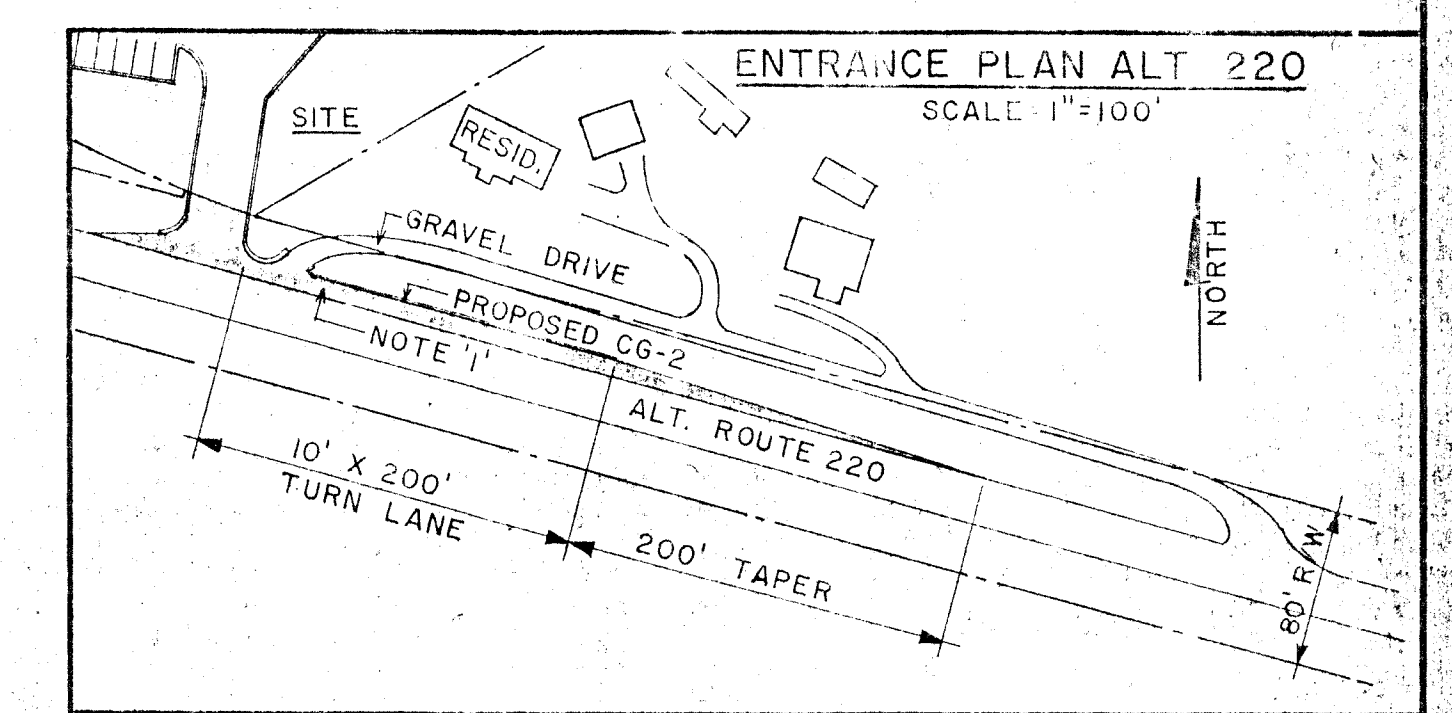
SITE CRITERIA

LAND AREA = 8.7 ACRES
 BOUNDARY CALCULATED FROM PLAT PREPARED BY BUFORD T. LUMSDEN & ASSOCIATES 2/23/82.
 BUILDING AREA = 56,375 SQUARE FEET
 PARKING = 310 SPACES (5.5 SPACES/1000 SQ. FT. REQ.)

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 DATE: APR 18 1984

BY: *Dr.*
 WINN-DIXIE STORES, INC.
 STORE DESIGN

REC'D-5-84
 REC'D-5-84
 REC'D-5-84

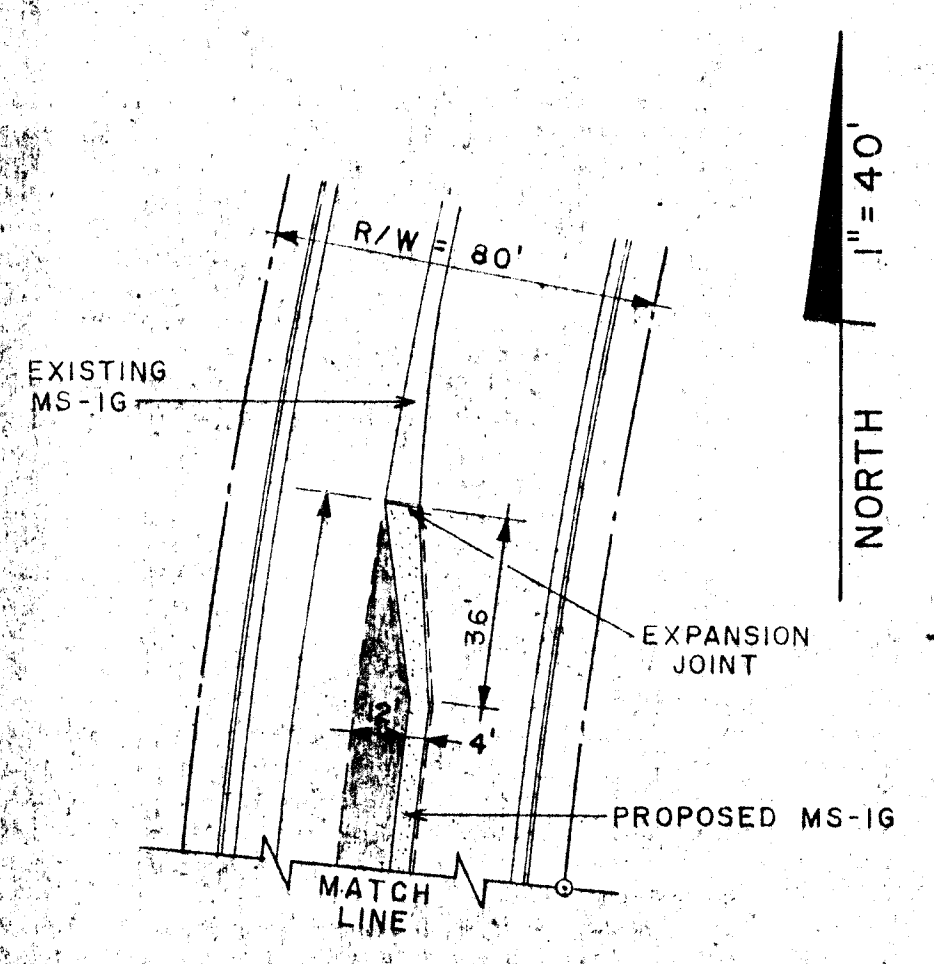


ENTRANCE PLAN ALT. 220
 SCALE: 1"=100'

REV. 3: 5-10-83 LBV
 REV. 4: 7-25-83 CFA
 REV. 5: 8-4-83 LBV
 REV. 6: 9-16-83 DJR
 REV. 7: 9-29-83 CFA
 REV. 8: 10-6-83 DJR

David J. Rigby

Sheet: 1 of 8
 Scale: 1"=40'
 Date: MAR. 31, 1983
 Project: 8243



GENERAL NOTES

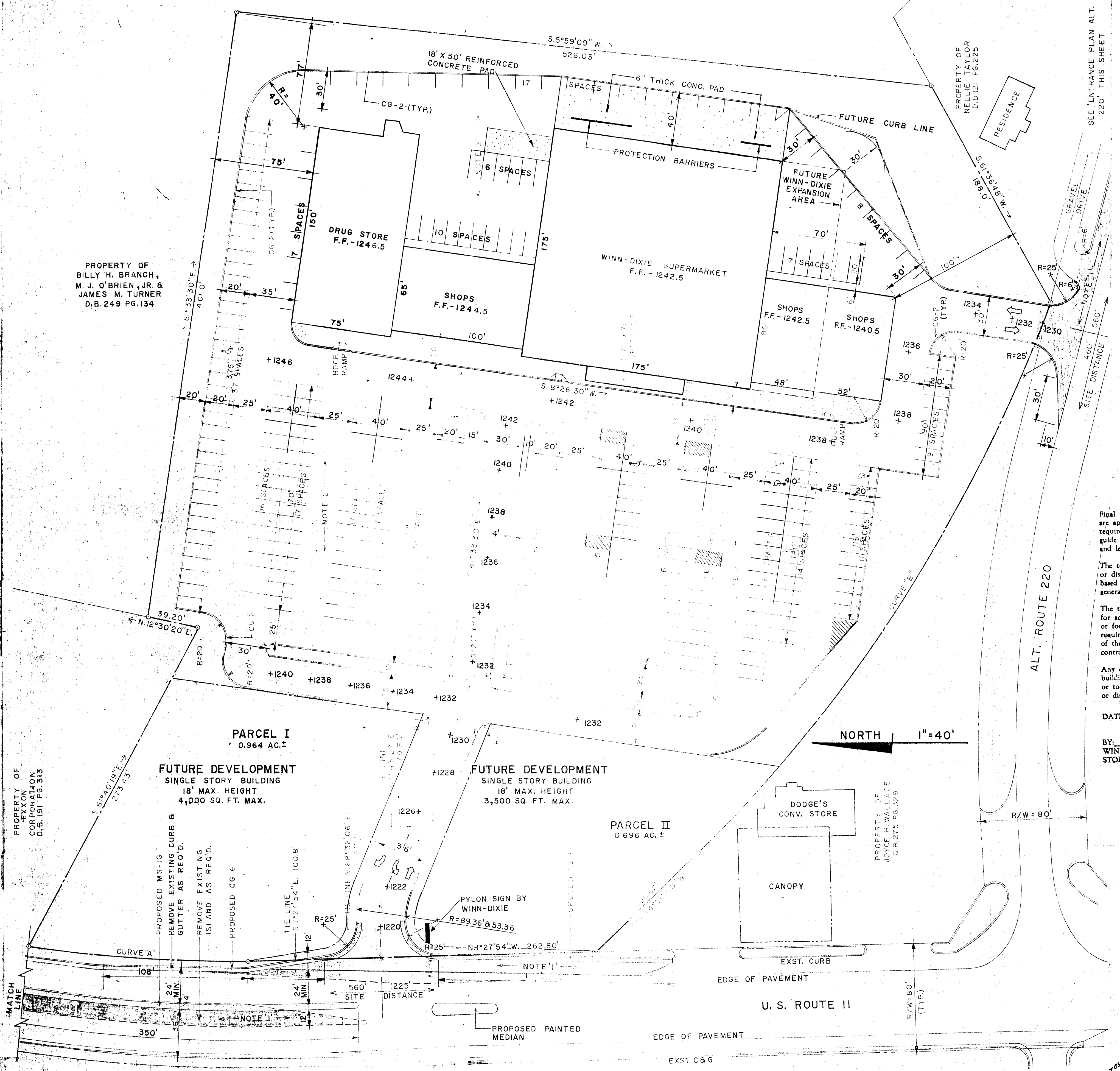
- PAVEMENT DESIGN SHALL BE 6" 21 OR 21A STONE, 6" B-3 AND 1-1/2" S-5 IN ACCORDANCE WITH VDH&T SPECIFICATIONS.
- PAVEMENT DESIGN SHALL BE 5" 21 OR 21A STONE AND 1-1/2" S-5 IN ACCORDANCE WITH VDH&T SPECIFICATIONS.
- TYPICAL PARKING SPACE DIMENSIONS ARE 10' W. X 20' L. HANDICAPPED PARKING SPACE DIMENSIONS ARE 15' W. X 20' L. BASKART SPACE DIMENSIONS ARE 10' W. X 20' L.
- UNLESS INDICATED OTHERWISE TYPICAL RADIUS SHALL BE 5'-0".
- ALL PARKING SPACES TO BE 10' DOUBLE STRIPED SPACES, FOR DETAIL SEE WINN DIXIE ARCHITECTURAL DRAWINGS.

CURVE DATA

CURVE "A"
 RADIUS = 915.00'
 ARC DIST. = 166.12'
 CHD. DIST. = 165.89'
 CHD. BEARING = N. 3° 44' 00" E.
 CURVE "B"
 RADIUS = 1074.68'
 ARC DIST. = 498.12'
 CHD. DIST. = 493.67'
 CHD. BEARING = N. 57° 16' 42" W.

LEGEND

- CONCRETE
- BASKART SPACE
- HANDICAPPED PARKING SPACE
- CURB (CG-2)
- CURB AND GUTTER (CG-6)
- PROPOSED PAVEMENT WITHIN VDH&T RIGHT-OF-WAY

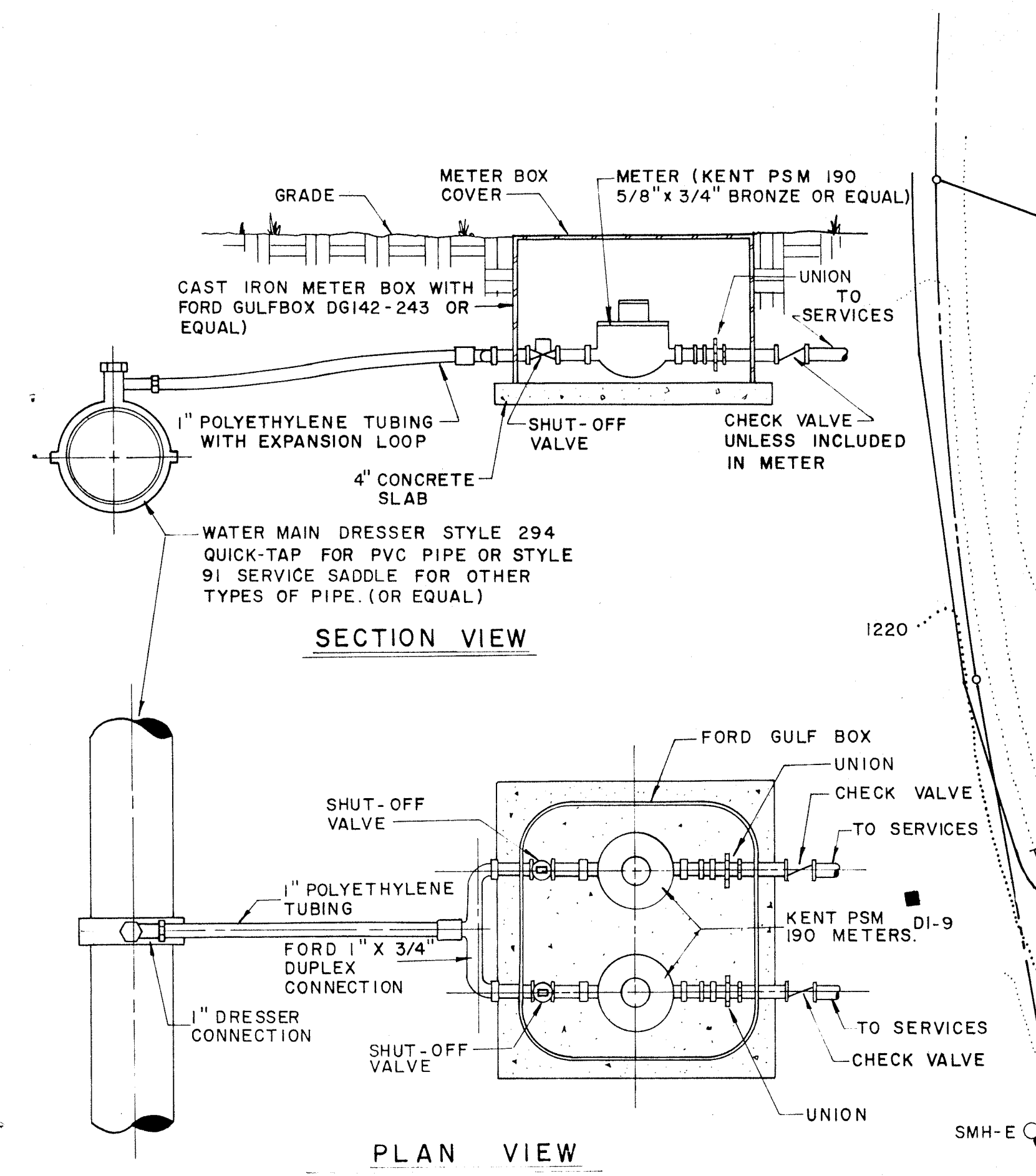


Designed: LBV
 Drafted: LBV
 Checked: DJR
 Approved: DJR

Clean Water Engineers, Inc.
 Fincastle, Virginia

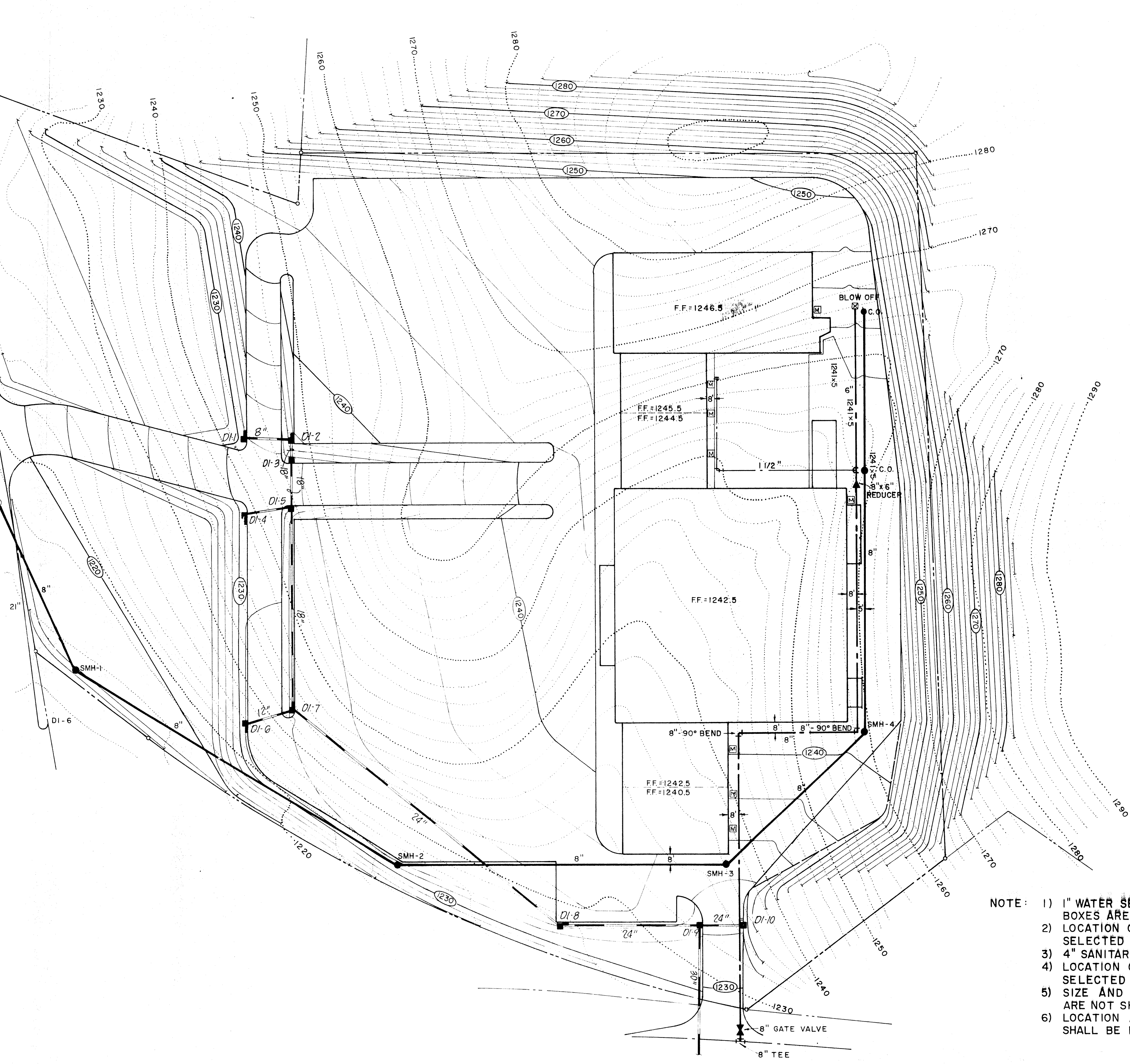
PLANS OF SITE FOR
 MOUNTAIN VIEW SHOPPING PLAZA
 BOTETOURT COUNTY, VIRGINIA

4/16/84
 Timon Mammone
 4/16/84



TYPICAL 5/8", 3/4" & 1" METERED WATER CONNECTION
NTS

	TOP	INV. IN	INV. OUT	DIST.	GRADE
DI-1	32.5	—	30.00	35'	1.7%
DI-2	38.4	29.40	28.60	15'	1.35%
DI-3	32.2	28.40	28.35	36'	1.55%
DI-5	32.2	27.80	27.30	35'	0.40%
DI-4	30.7	—	28.30	150'	1.95%
DI-5	32.2	28.10	27.30	35'	1.10%
DI-7	34.6	24.35	23.85	260'	1.00%
DI-6	30.6	—	27.90	105'	1.05%
DI-7	34.6	27.50	23.85	36	
DI-8	35.0	21.25	21.20		
DI-9	33.0	20.10	20.05		
DI-10	32.8				



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DATE: APR 18 1984

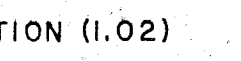
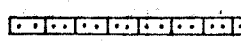
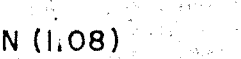
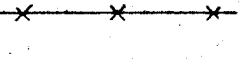
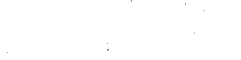
BY: *DM*
WINN-DIXIE STORES, INC.
STORE DESIGN

- NOTE:
- 1" WATER SERVICE LATERALS TO DUPLEX METER BOXES ARE NOT SHOWN.
 - LOCATION OF DUPLEX METER BOXES SHALL BE SELECTED BY THE CONTRACTOR.
 - 4" SANITARY SEWER LATERALS NOT SHOWN.
 - LOCATION OF THE SEWER LATERALS SHALL BE SELECTED BY THE CONTRACTOR.
 - SIZE AND LOCATION OF SPRINKLER LATERALS ARE NOT SHOWN.
 - LOCATION AND SIZES OF SPRINKLER LATERALS SHALL BE DETERMINED BY THE CONTRACTOR.

PROPERTY OF
EXXON
CORPORATION
D.B. 191 PG. 313

LEGEND

EROSION AND SEDIMENT CONTROL STANDARDS,
SPECIFICATIONS AND PRACTICES SHALL BE IN
ACCORDANCE WITH VSWCC HANDBOOK.

- CE CONSTRUCTION ENTRANCE (I.01) 
- CRS CONSTRUCTION ROAD STABILIZATION (I.02) 
- STB STRAW BALE BARRIERS (I.05) 
- IP STORM DRAIN INLET PROTECTION (I.08) 
- PS PERMANENT SEEDING (I.66) 
- MU MULCHING (I.75) 
- OP OUTLET PROTECTION (I.36) 
- SF SILT FENCE (I.06) 
- DC DUST CONTROL (I.86) 

NOTE:
PROVIDE INLET PROTECTION AT DROP
INLETS 2' & 3' AND OUTLET PROTECTION
AT 'OUTFALL' (SEE SHEET 4 OF 6).

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or discrepancies will not be considered.

DATE: APR 18 1984

BY: 
WINN-DIXIE STORES, INC.
STORE DESIGN

EROSION CONTROL NOTES

1. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS DURING CONSTRUCTION TO PREVENT WATERBORNE EARTH AND SILT FROM LEAVING THE CONFINES OF THE SITE. SEDIMENT BARRIERS TO BE PLACED AND SECURELY STAKED, WITH ENDS ABUTTING ONE ANOTHER, ALONG THE PROPERTY LINES AT ALL POINTS WHERE STORMWATER LEAVES THE PROPERTY AND AT ALL OTHER POINTS WHERE THERE IS A DANGER OF EARTH OR SILT BEING TRANSFERRED FROM THE SITE.
2. DURING CONSTRUCTION A ROADWAY CONSISTING OF AT LEAST SIX (6") INCHES OF NUMBER 1 STONE SHALL BE MAINTAINED FOR VEHICLES ENTERING AND EXITING THE SITE.
3. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO HIGHWAY SURFACES OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
4. THE GRADING ON THE SITE SHALL BE PERFORMED IN SUCH A MANNER AS TO DRAIN ALL STORMWATER INTO THE PROPOSED STORM DRAIN SYSTEM. STORMWATER SHALL BE FILTERED SO THAT SILT AND OTHER WATERBORNE OBJECTS DO NOT GET INTO STORM DRAIN SYSTEM.
5. ALL DISTURBED AREAS SHALL BE SEED AS SOON AS PRACTICABLE TO PREVENT EROSION AND MULCHED IN ACCORDANCE WITH THE VSWCC HANDBOOK.
6. THE CONTRACTOR SHALL REFER TO THE SOIL EROSION AND SEDIMENT CONTROL SPECIFICATIONS FOR THE SPECIFIC TYPES AND RATES FOR FERTILIZERS, SEEDS AND MULCH TO BE APPLIED TO THE SITE, AND FOR ACCEPTABLE DATES WHEN THE WORK CAN BE PERFORMED.
7. WHEN SITE CONDITIONS DICTATE DUST CONTROL MUST BE IMPLEMENTED.

EROSION CONTROL PLAN

Designed: LBV
Drafted: LBV
Checked: DJR
Approved: DJR

Clean Water Engineers, Inc.
Fincastle, Virginia

PLANS OF SITE FOR
MOUNTAIN VIEW SHOPPING PLAZA
BOTETOURT COUNTY, VIRGINIA

REV. 1: 1-27-83 LBY
REV. 2: 5-31-83 LBY
REV. 3: 5-10-83 LBY
REV. 4: 7-25-83 CFA
REV. 5: 10-6-83 DJR

DAVID J. RIGBY
Professional Engineer
No. 8169

Sheet: 3 of 8
Scale: 1" = 40'
Date: JAN. 7, 1983
Project: 8243

SCHEDULE OF DRAINAGE STRUCTURES					
MARK	SIZE BASE	INV. ELEV.	TYPE TOP	TOP ELEV.	HEIGHT
DI-1	48" Ø	1214.75	VDHT DI-3B, L=10'	1219.25	4.5'
DI-2	60" Ø	1194.75	VDHT DI-7, TYPE II	1200.5	5.75'
DI-3	60" Ø	1197.5	VDHT DI-7, TYPE II	1203.0	5.5'
DI-4	48" Ø	1200.5	VDHT DI-1	1206.75	6.25'
DI-5	48" Ø	1202.0	VDHT DI-1	1207.75	5.75'
DI-6	48" Ø	1208.0	VDHT DI-3B, L=12'	1213.65	5.65'
DMH-1	48" Ø	1209.5	FRAME & COVER	1217.0	7.5'
DI-7	48" Ø	1212.5	VDHT DI-3B, L=6'	1217.85	5.35'
DI-8	48" Ø	1213.75	VDHT DI-3B, L=20'	1219.45	5.7'

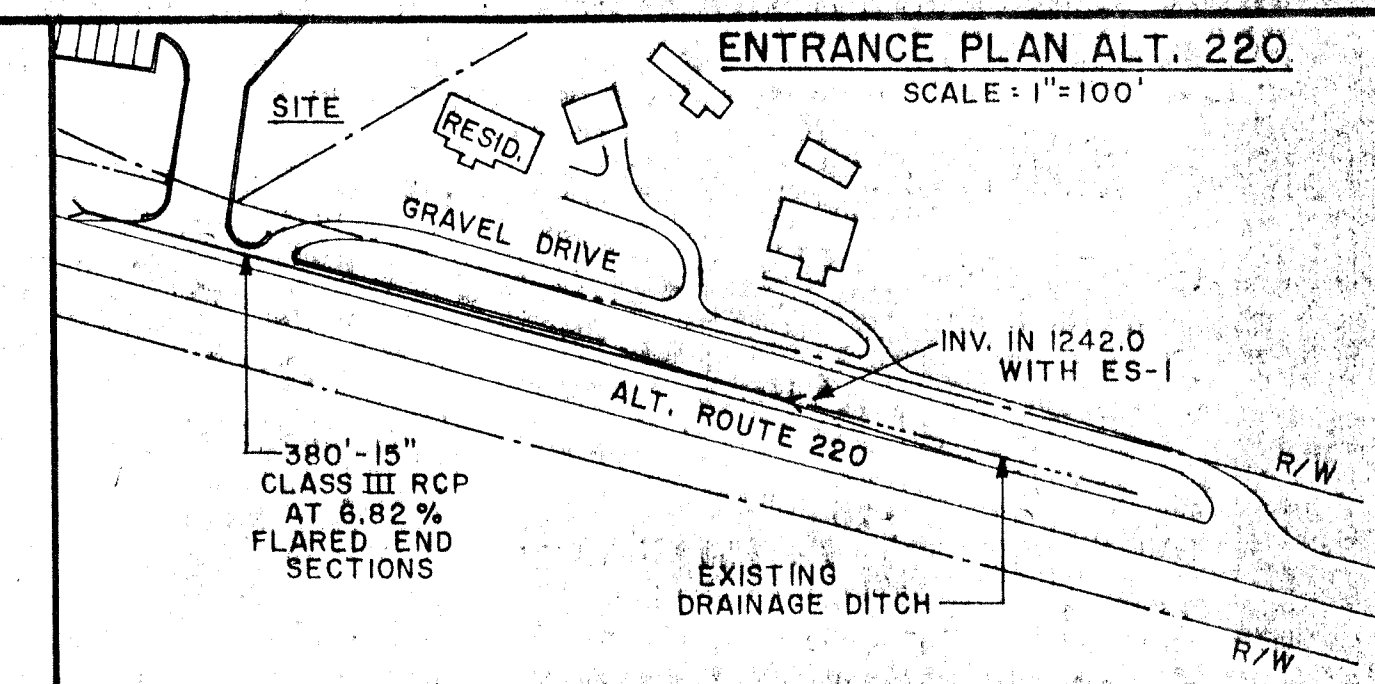
PROPERTY OF
EXXON
CORPORATION
D.B.191 PG.313

BUILDING NOTE:

BUILDING SIZES AND LOCATIONS HAVE BEEN REVISED SEE SHEET 1 OF 8 "PLOT PLAN" FOR ACTUAL LOCATIONS.

PIPE NOTE:

STORM DRAIN PIPE OFF-SITE SHALL BE CLASS III REINFORCED CONCRETE. PIPE SIZES ON-SITE ARE SHOWN FOR CLASS II REINFORCED CONCRETE. SHOULD ON-SITE PIPE BE REVISED TO CORRUGATED METAL THEN THE PIPE DIAMETER MUST BE INCREASED ONE SIZE ACCORDINGLY. CMP LESS THAN OR EQUAL 24" SHALL BE 16 GAGE AND CMP GREATER THAN 24" SHALL BE 14 GAGE.



NOTE: FOR CONTINUATION OF ON-SITE UTILITIES, SEE "REVISED SITE, GRADING & DRAINAGE PLAN" SHEET 2 OF 8.

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DATE: APR 18 1984

BY: *[Signature]*
WINN-DIXIE STORES, INC.
STORE DESIGN

LEGEND

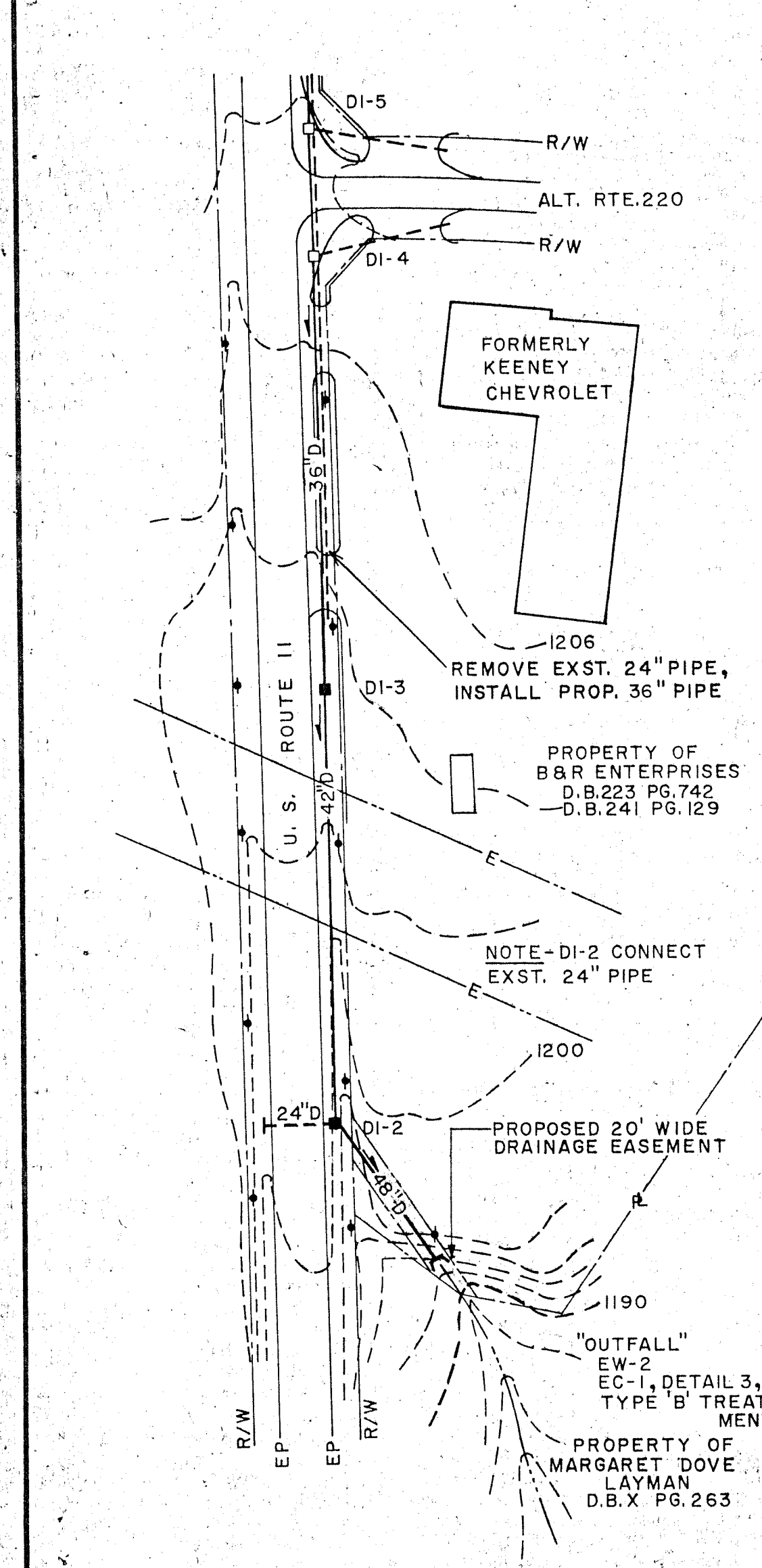
EXISTING	PROPOSED	
---	D---	STORM DRAINAGE PIPE
---	S---	SANITARY SEWER PIPE
---	W---	WATER LINE (30" COVER MINIMUM)
---	T&E---	TELEPHONE AND ELECTRICAL WIRES (OVERHEAD)
□	■	STORM DRAINAGE INLET
○	●	MANHOLE (STORM DRAIN OR SANITARY SEWER)
	● C.O.	SANITARY SEWER CLEANOUT
	□	DUPLEX METER BOX
	□	BLOWOFF ASSEMBLY
	✕	TELEPHONE AND ELECTRICAL POLE
	✕	PARKING LIGHT POLE
	✕	WATER VALVE
	● FD	FLOOR DRAIN (TOP ELEVATION TO BE DETERMINED BY CONTRACTOR)

NOTES

- POWER POLES PROPERTY OF APPALACHIAN POWER CO. OF ROANOKE, VA.
- TELEPHONE POLES PROPERTY OF ROANOKE-BOTETOURT TELEPHONE CO. OF DALEVILLE, VA.
- WATER LINES PROPERTY OF HUB WATER COMPANY OF TROUTVILLE, VA.
- SANITARY SEWER LINES PROPERTY OF BOTETOURT COUNTY SERVICE AUTHORITY.
- CONTRACTOR SHALL VERIFY TOP ELEVATIONS OF DI-1 THRU DI-8 IN FIELD PRIOR TO CONSTRUCTION.
- INVERTS OF ALL DRAINAGE STRUCTURES SHALL BE SHAPED IN ACCORDANCE WITH VDHT STANDARD IS-1.

UTILITY PLAN

OUTFALL PLAN SCALE: 1"=100'

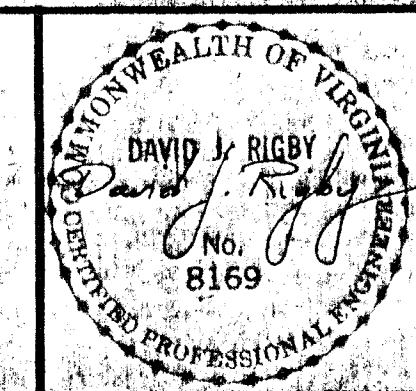


Designed: DJR/LBV
Drafted: LBV
Checked: DJR
Approved: DJR

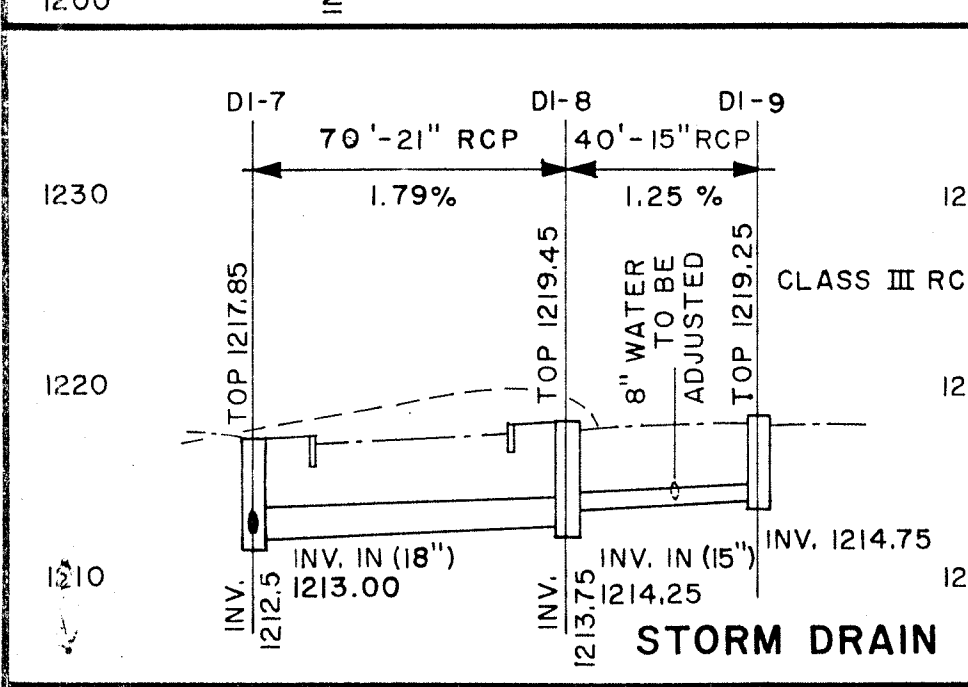
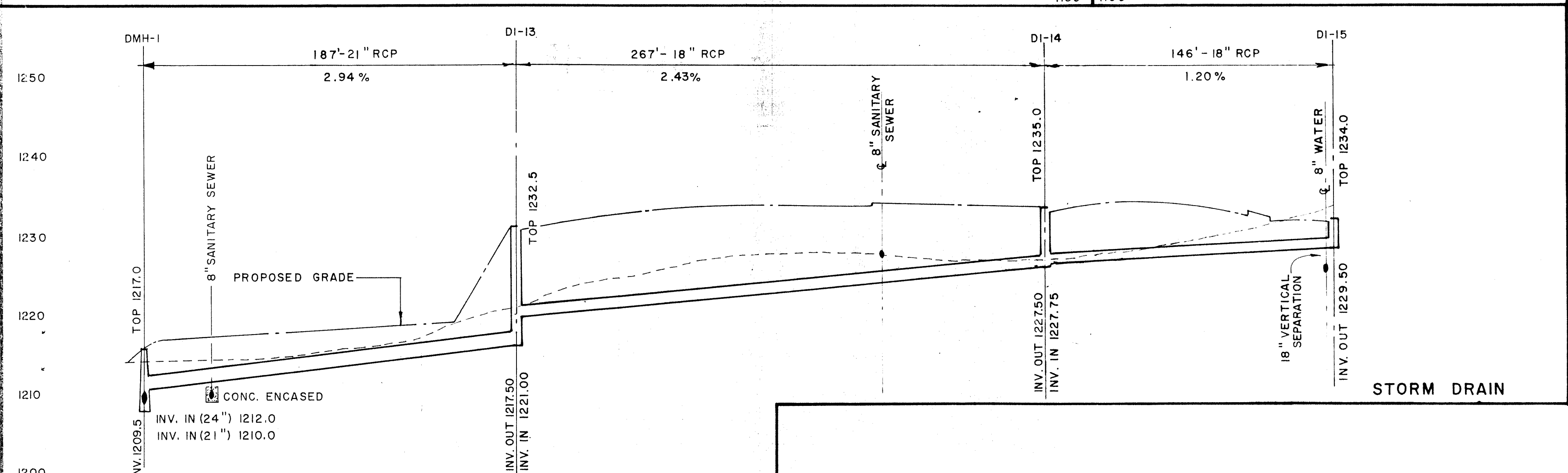
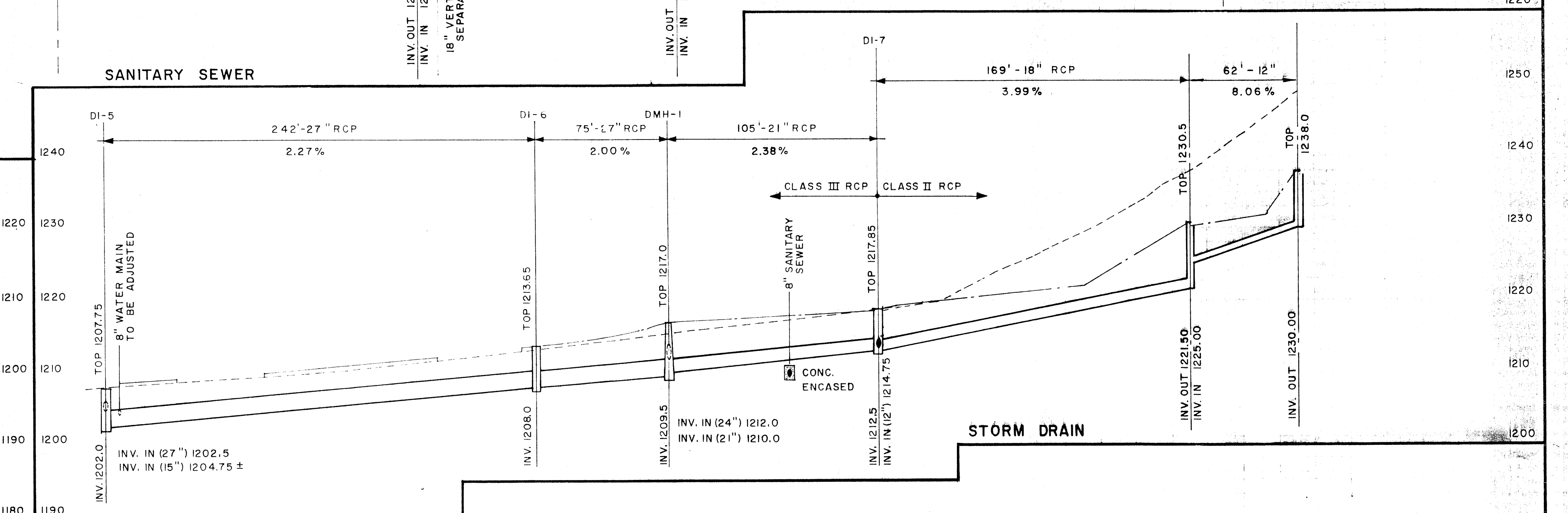
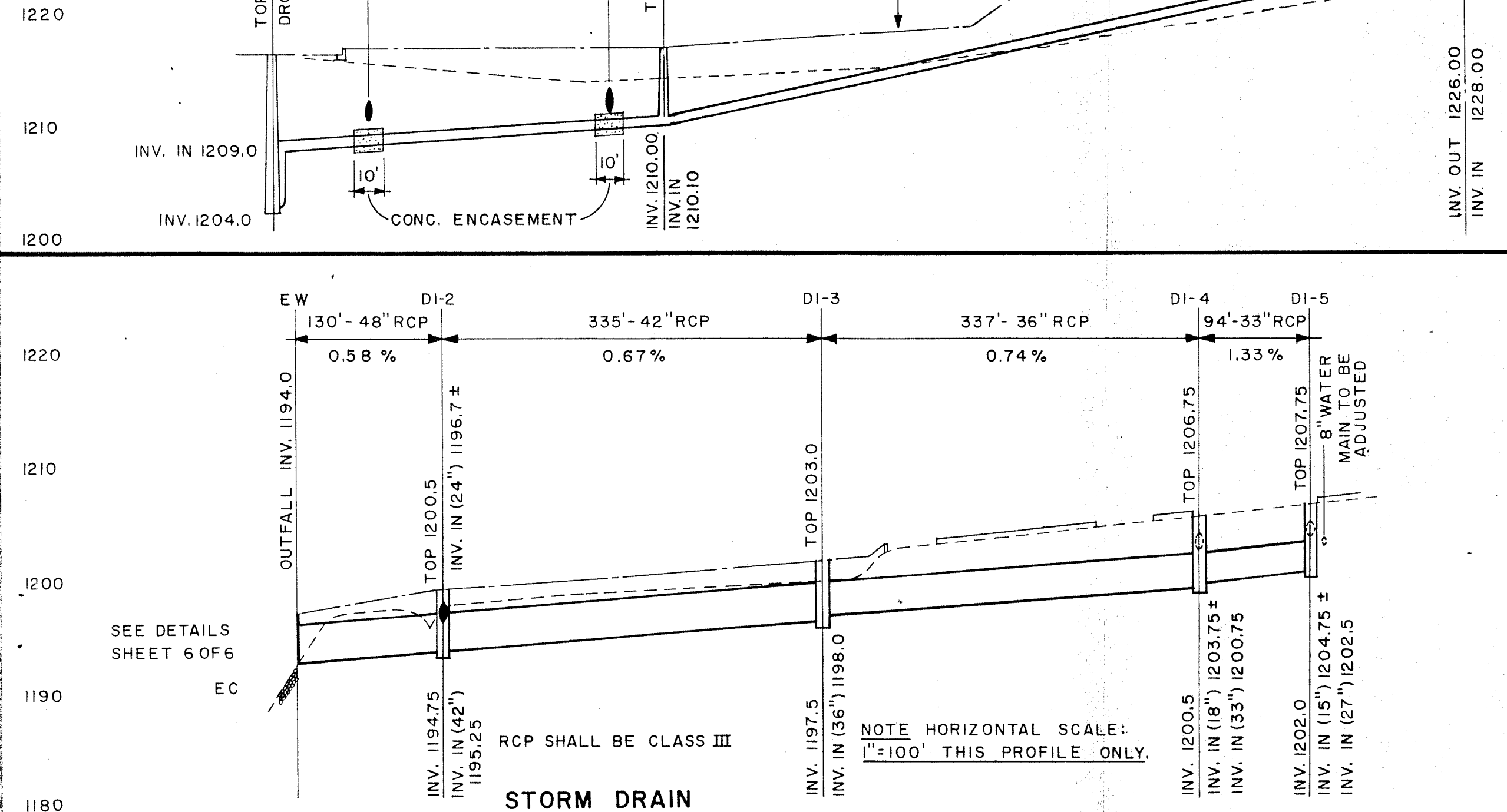
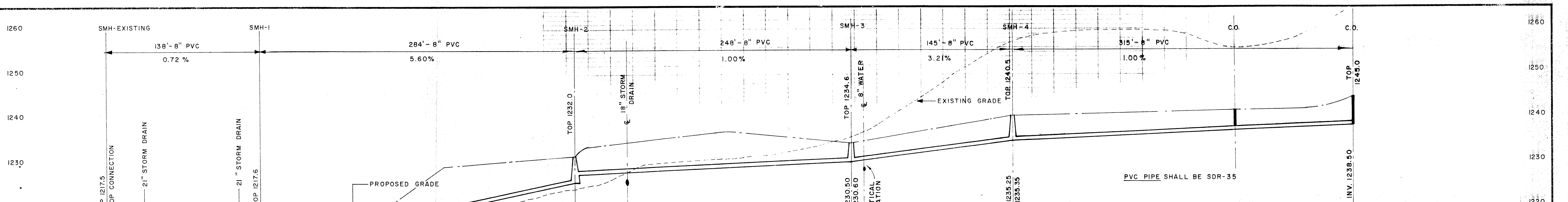
Clean Water Engineers, Inc.
Fincastle, Virginia

PLANS OF SITE FOR
MOUNTAIN VIEW SHOPPING PLAZA
BOTETOURT COUNTY, VIRGINIA

REV. 1: 1-24-83 LBV
REV. 2: 3-31-83 LBV
REV. 3: 5-10-83 LBV
REV. 4: 7-25-83 CFA
REV. 5: 10-6-83 DJR
10-6



Sheet: 4 of 8
Scale: 1"=40'
Date: JAN. 7, 1983
Project: 8243



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DATE: APR 18 1984

BY: *[Signature]*
WINN-DIXIE STORES, INC.
STORE DESIGN

Designed: LBV
Drafted: LBV
Checked: DJR
Approved: DJR

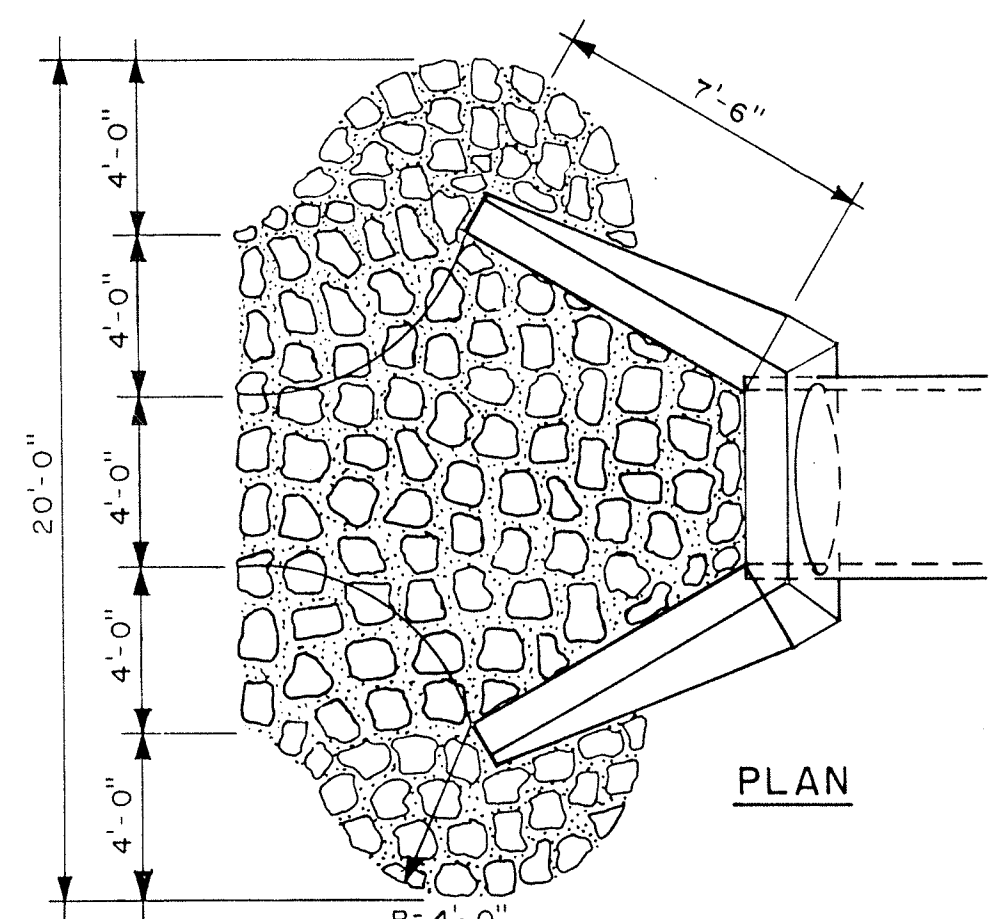
Clean Water Engineers, Inc.
Fincastle, Virginia

PLANS OF SITE FOR
MOUNTAIN VIEW SHOPPING PLAZA
BOTETOURT COUNTY, VIRGINIA

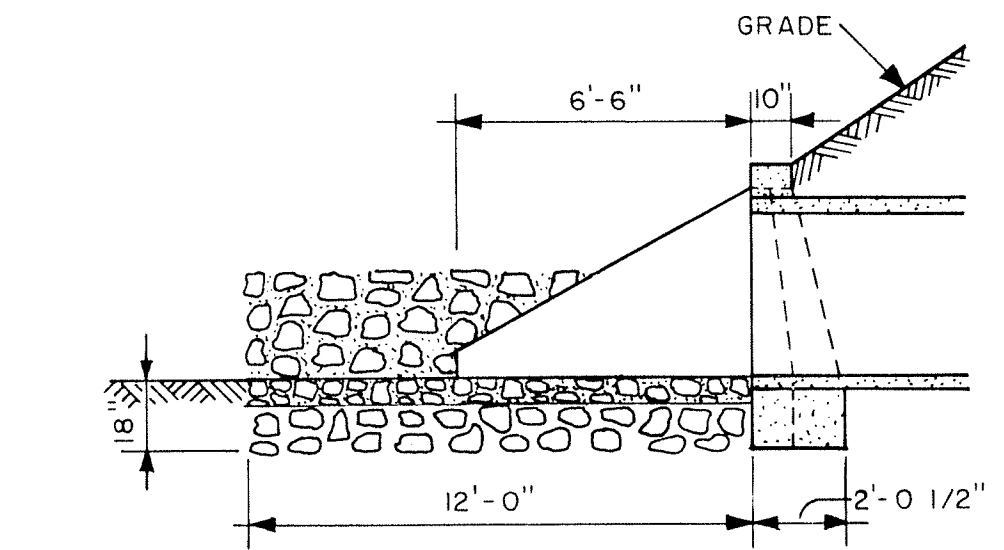
REV. 1 : 1-24-83 LBV
REV. 2 : 3-31-83 LBV
REV. 3 : 5-10-83 LBV
REV. 4 : 7-25-83 CFA
REV. 5 : 10-6-83 DJR

PROFILES

Sheet: 5 of 8
Scale: HORIZ. 1"=40'
Date: JAN. 7, 1983
Project: 8243

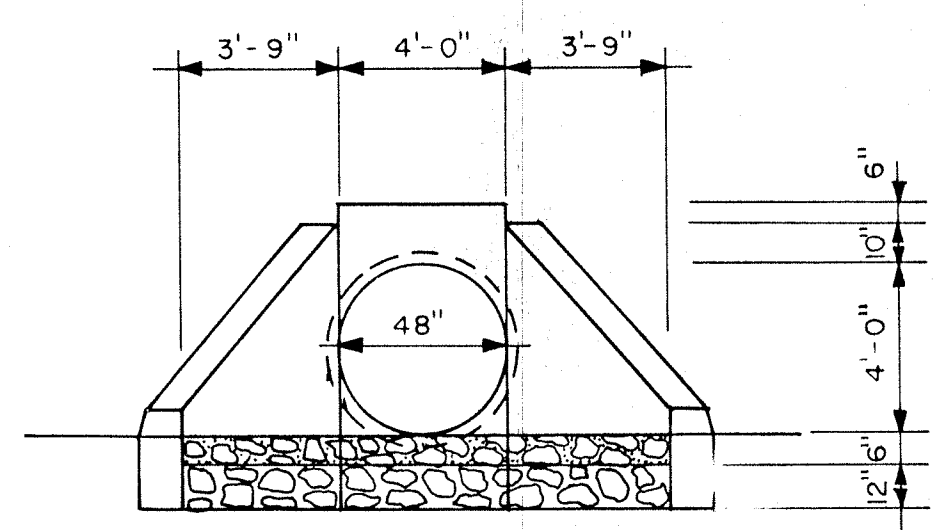


PLAN

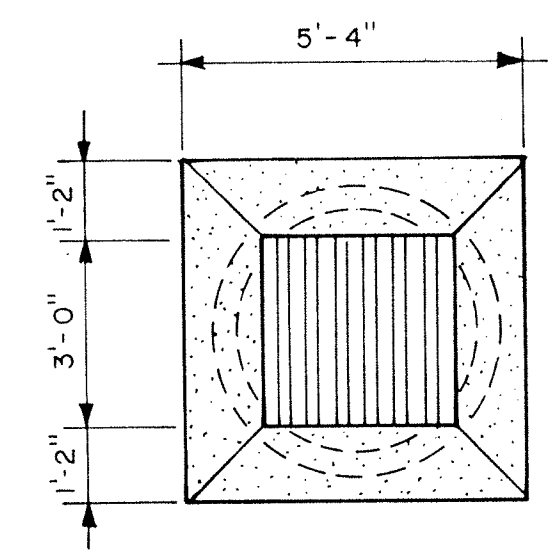


SECTION

OUTFALL ENDWALL/EROSION CONTROL

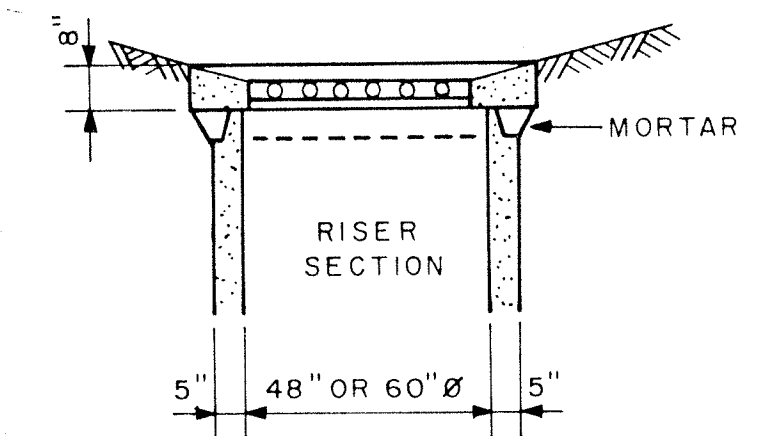


ELEVATION



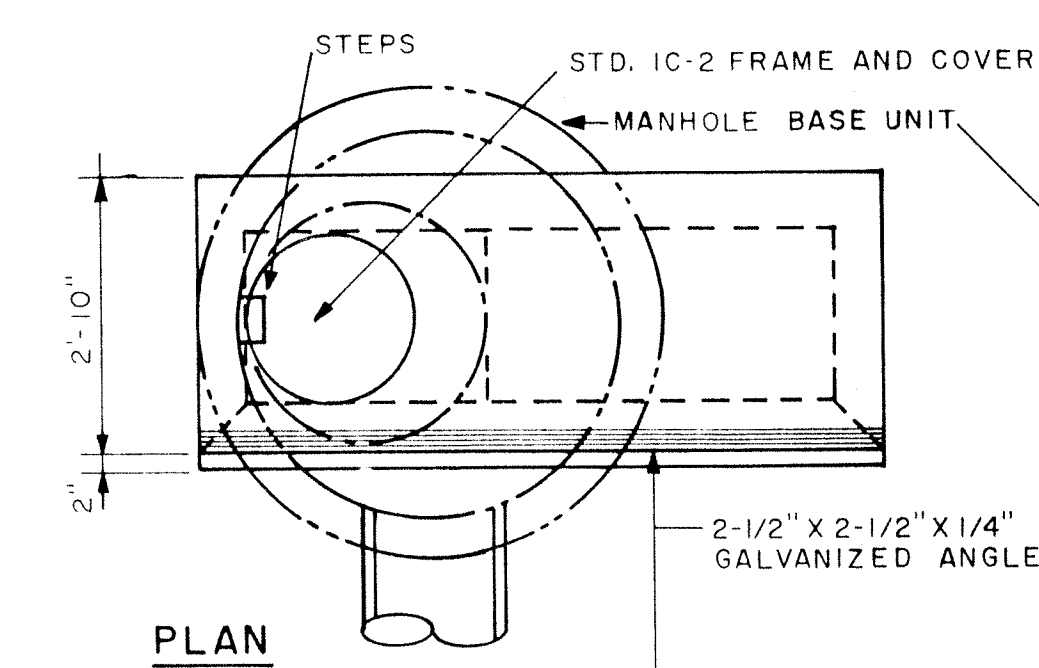
PLAN

SHALL BE IN ACCORDANCE WITH VDHT STD. DI-7 WITH TYPE II GRATE.

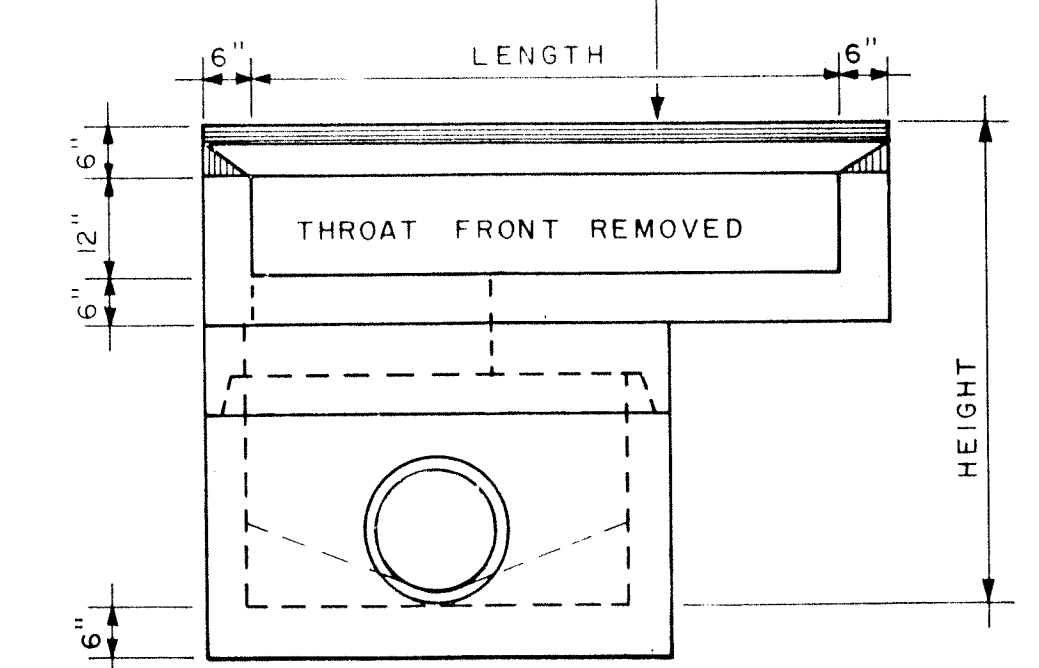


SECTION

DROP INLET

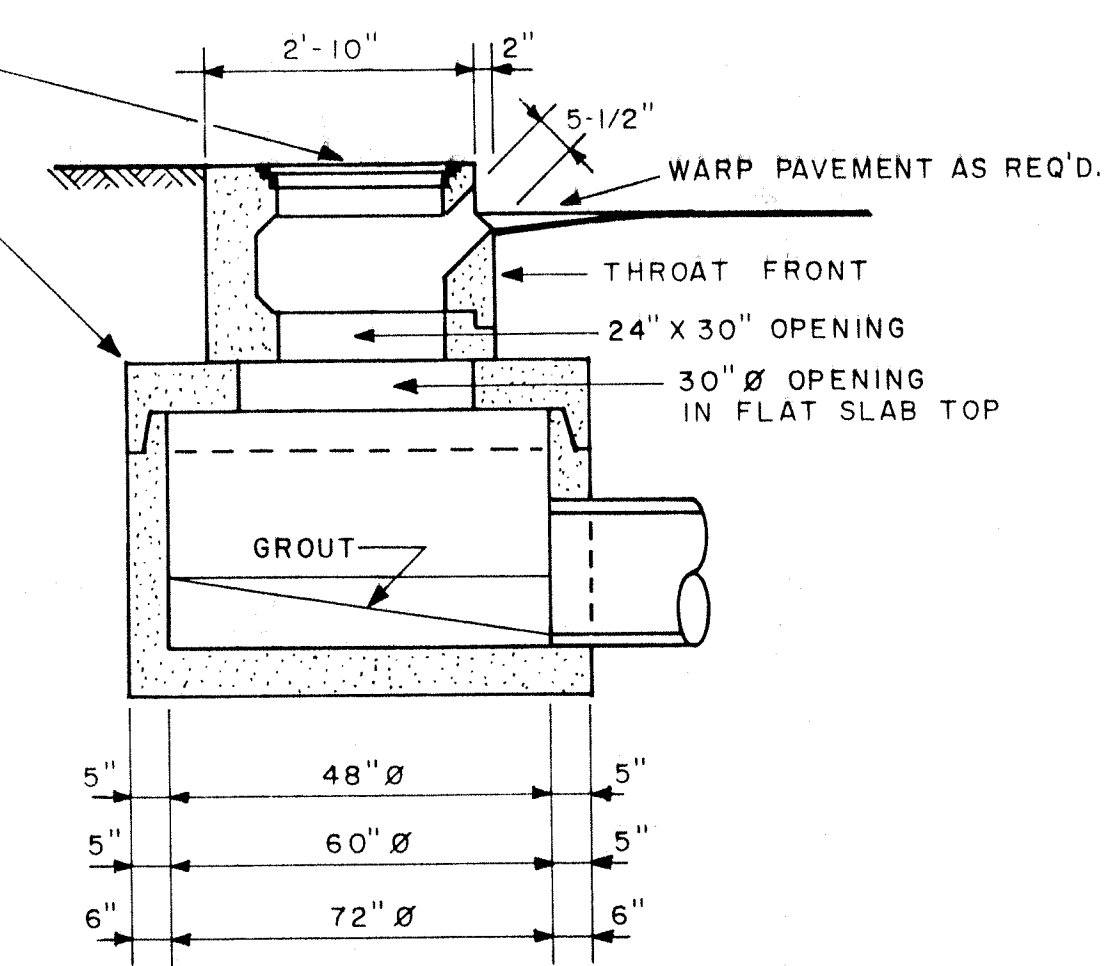


PLAN



ELEVATION

CURB INLET

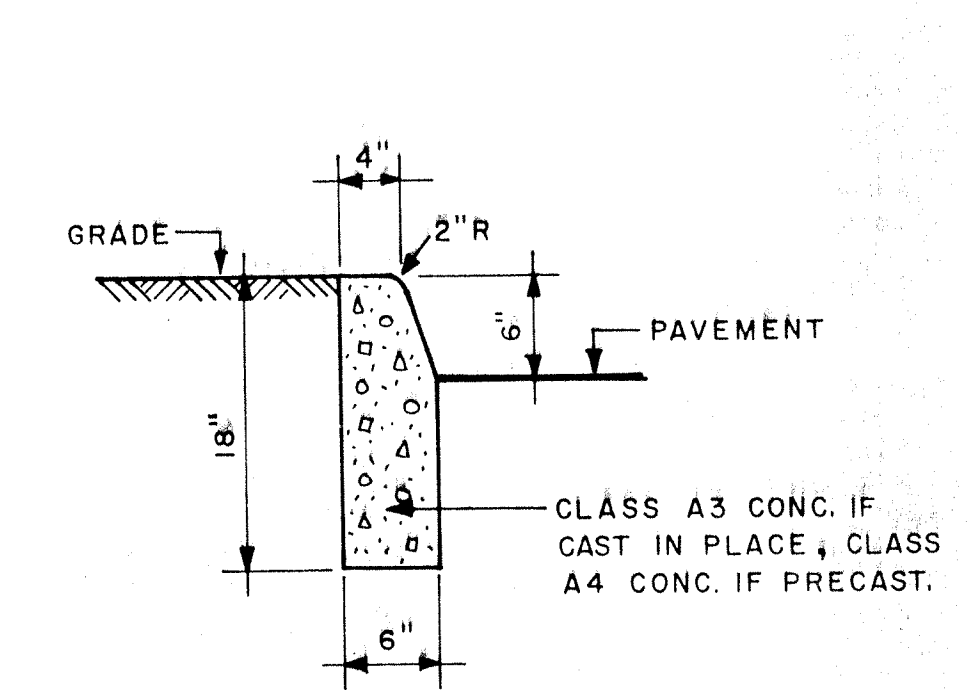


SECTION

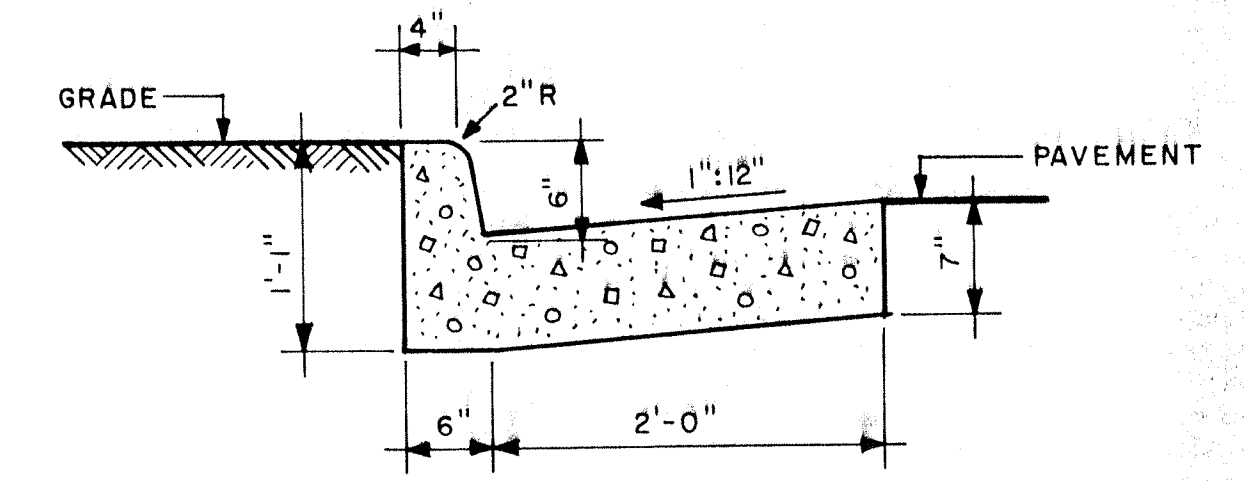
SHALL BE IN ACCORDANCE WITH VDHT STANDARDS DI-3B AND DI-4B.

PRECAST CURB INLET SHALL BE CLASS A4 CONCRETE.

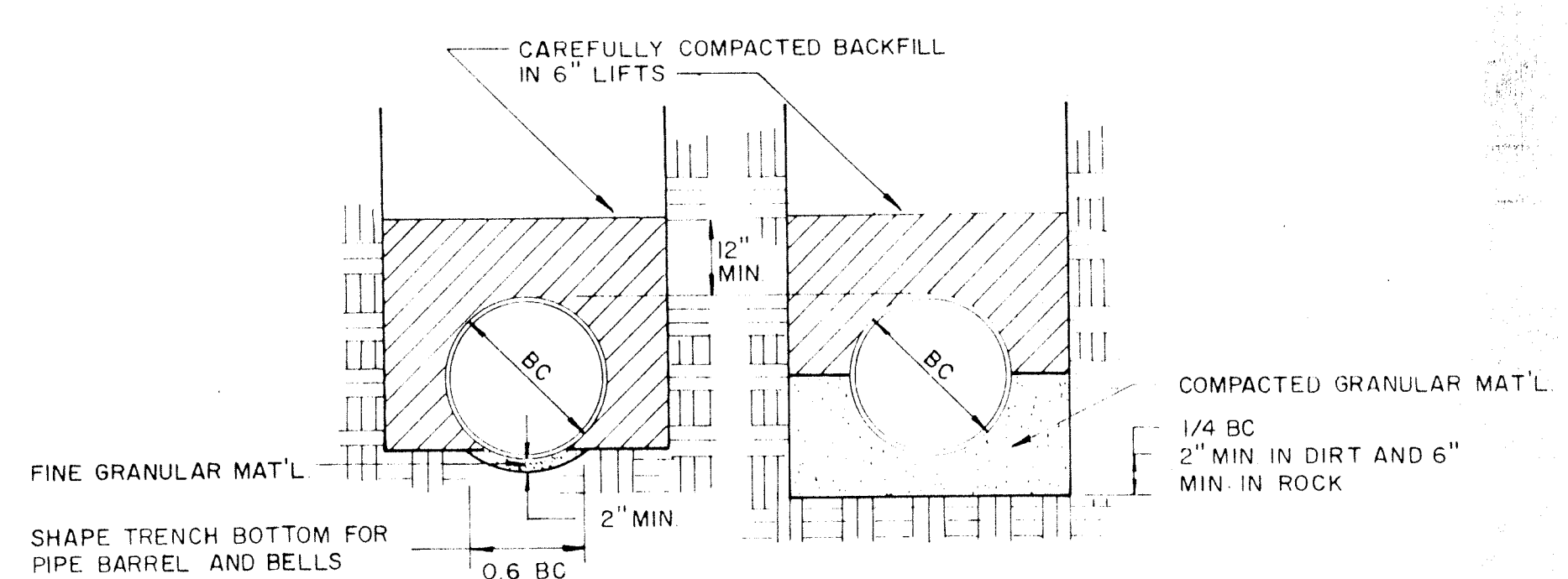
INVERTS SHALL BE SHAPED IN ACCORDANCE WITH VDHT STANDARD IS-1.



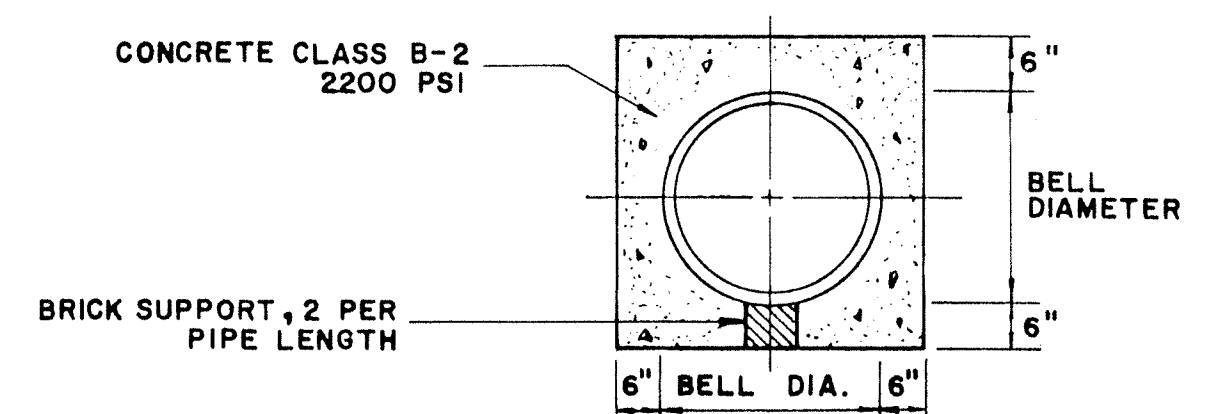
CURB
VDHT STD. CG-2



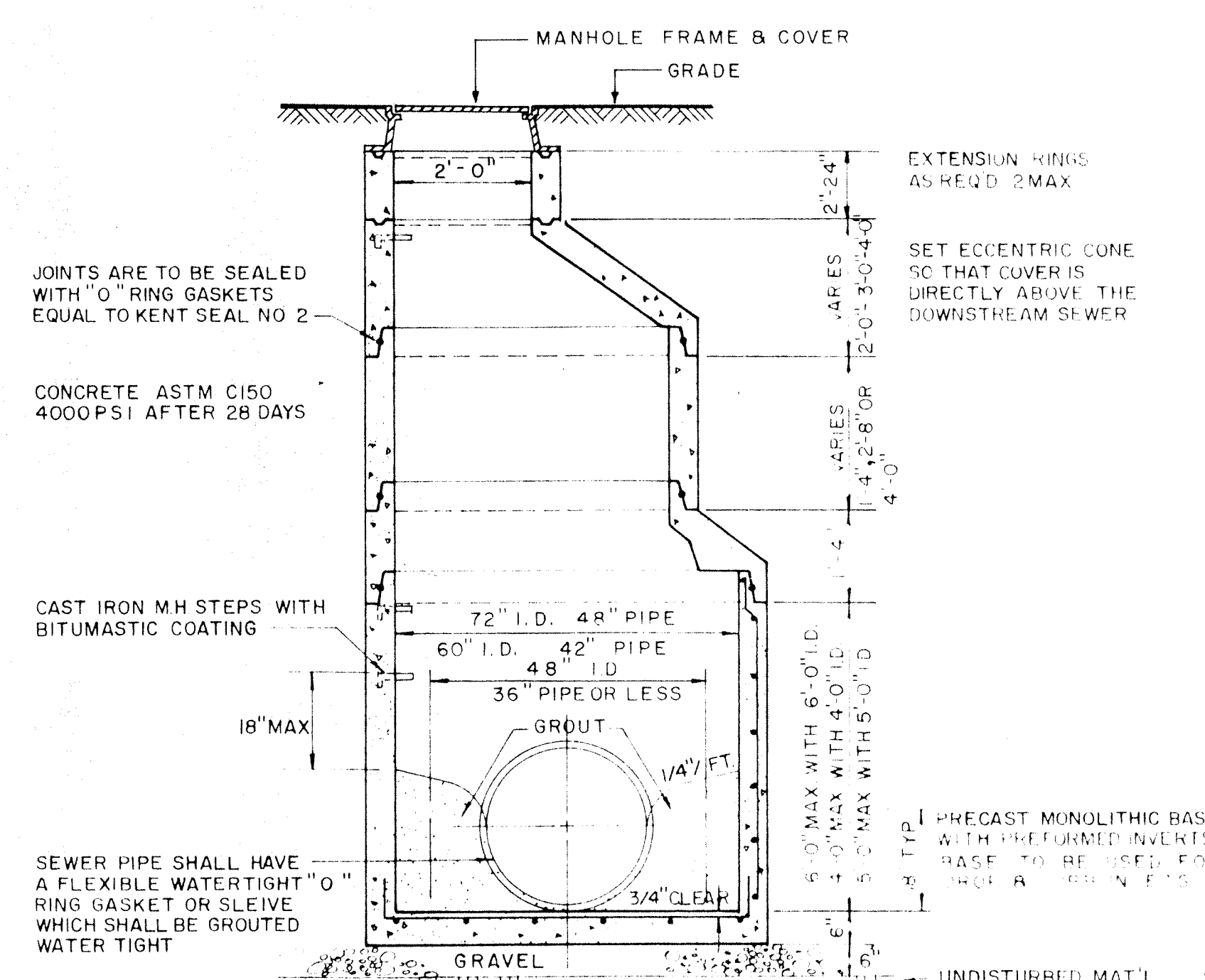
CURB & GUTTER
VDHT STANDARD CG-6



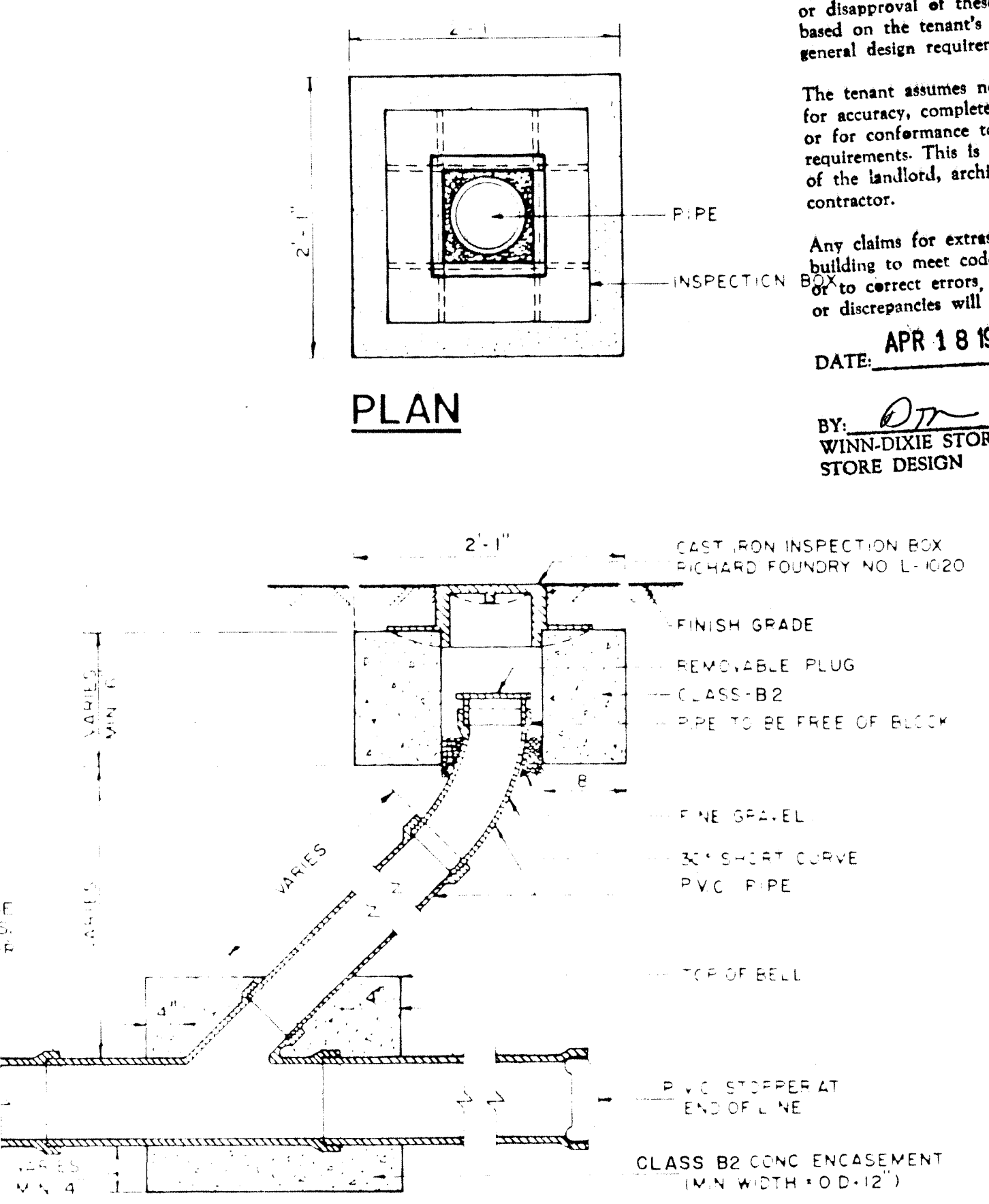
BEDDING DETAIL
FIRST CLASS—CLASS B BEDDING



CONCRETE ENCASED PIPE

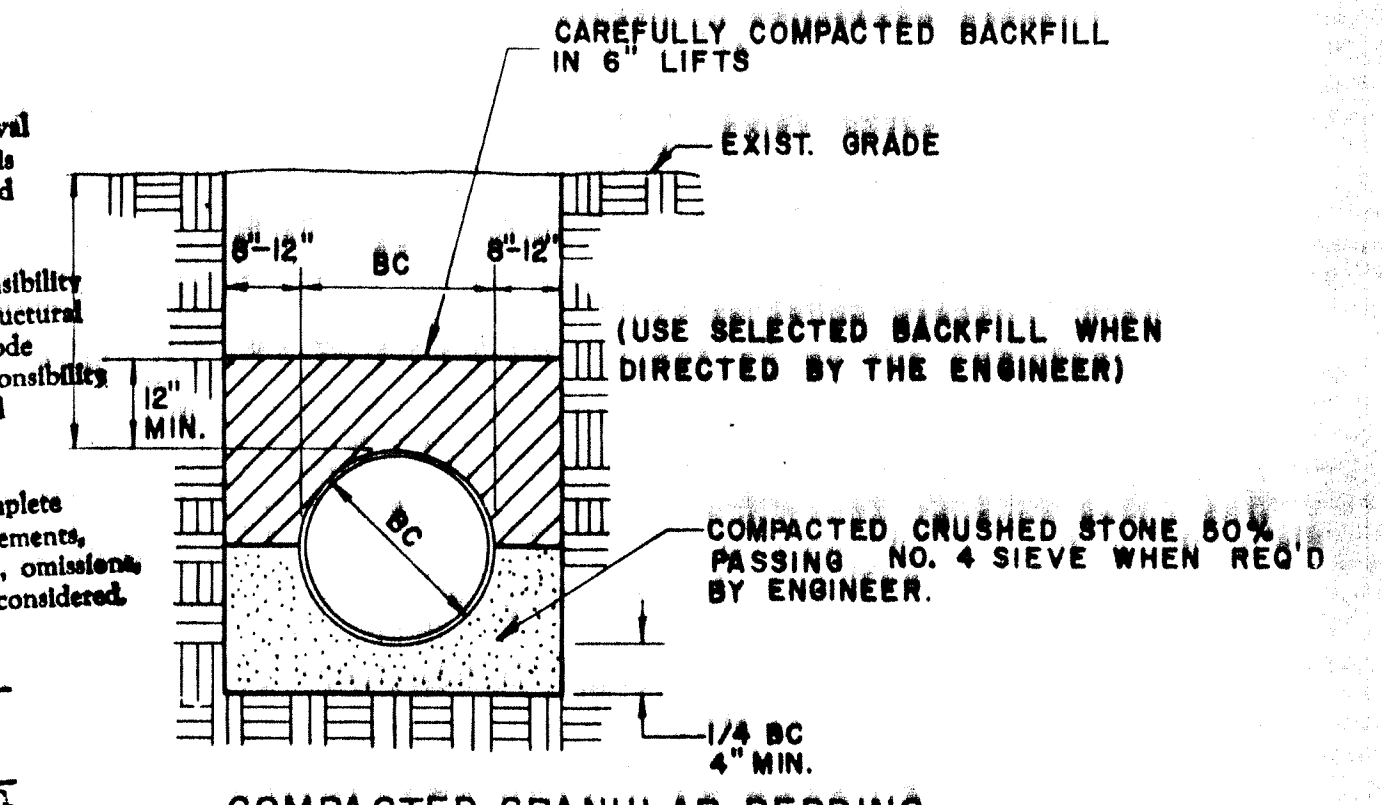


PRECAST ECCENTRIC MANHOLE INLET BASE UNIT

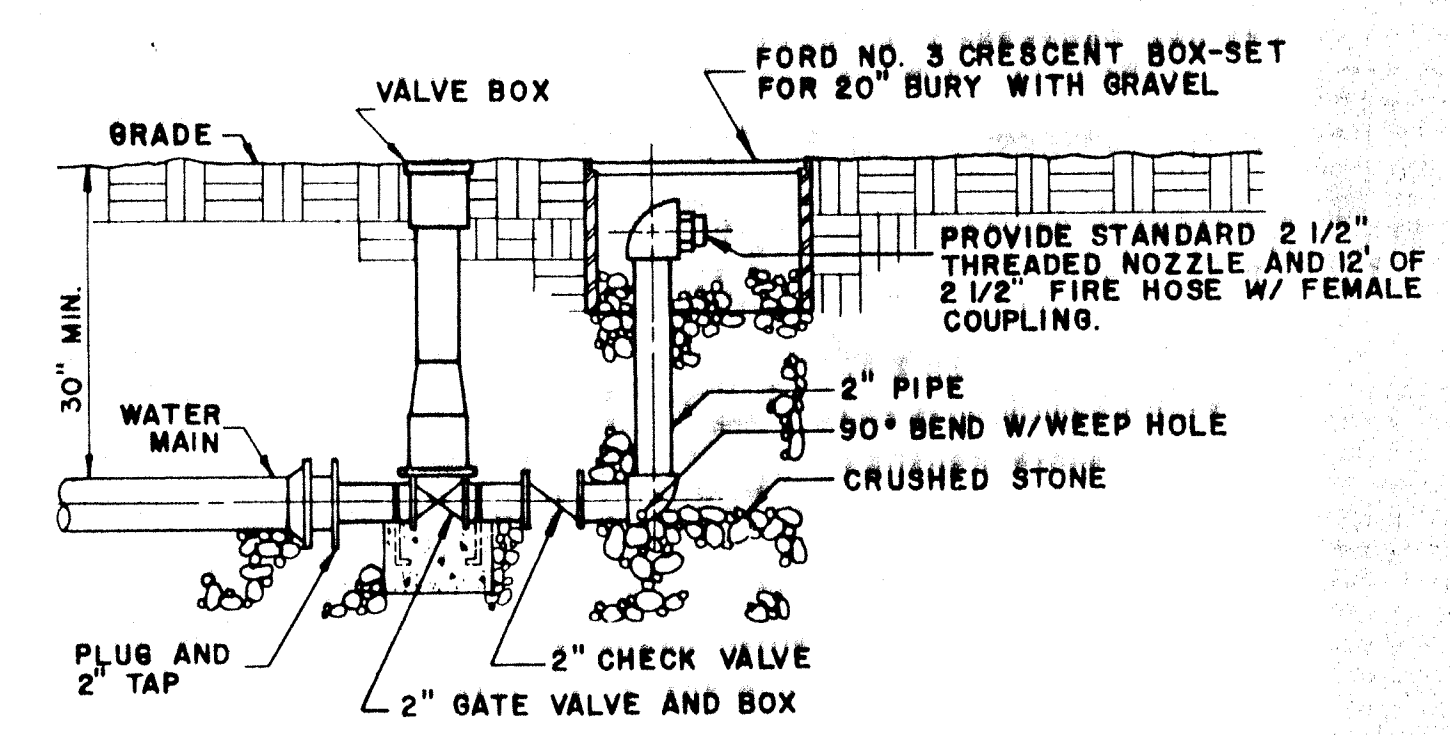


SECTION

CLEANOUT



BEDDING DETAIL
(WATER PIPE)



BLOW-OFF ASSEMBLY

DETAILS

Clean Water Engineers, Inc.

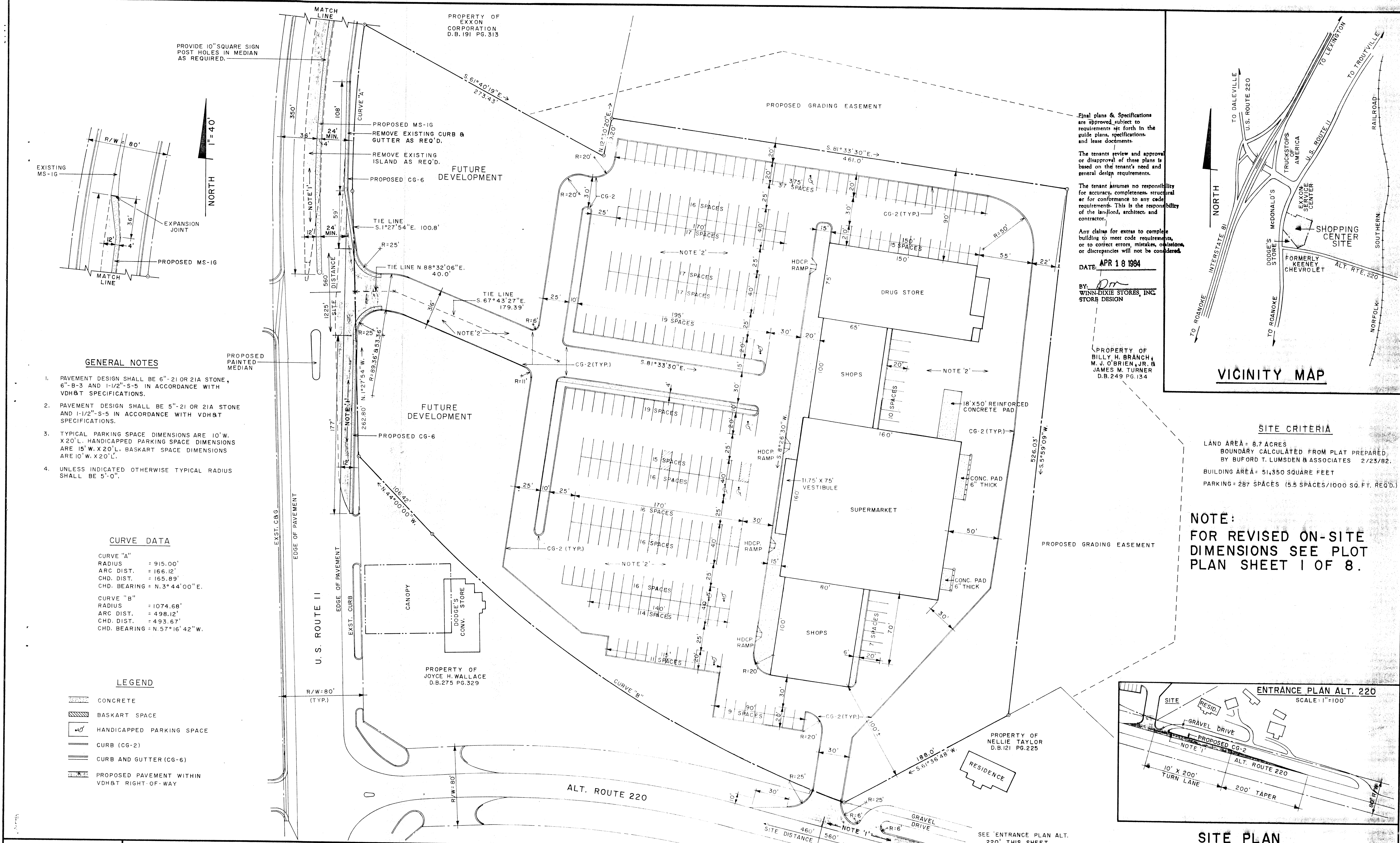
Fincastle, Virginia

PLANS OF SITE FOR
MOUNTAIN VIEW SHOPPING PLAZA
BOTETOURT COUNTY, VIRGINIA

REV. 1 : 1-24-83 LBN
REV. 2 : 3-31-83 LBN
REV. 3 : 5-10-83 LBN
REV. 4 : 7-25-83 CFA
REV. 5 : 10-6-83 DJR

DAVID F. REJZBY
David F. Rejzby
 6109
 PROFESSIONAL ENGINEER

Sheet: 7 of 8
Scale: 1" = 40'
Date: JAN. 7, 1983
Project: 8243



BORE DATA

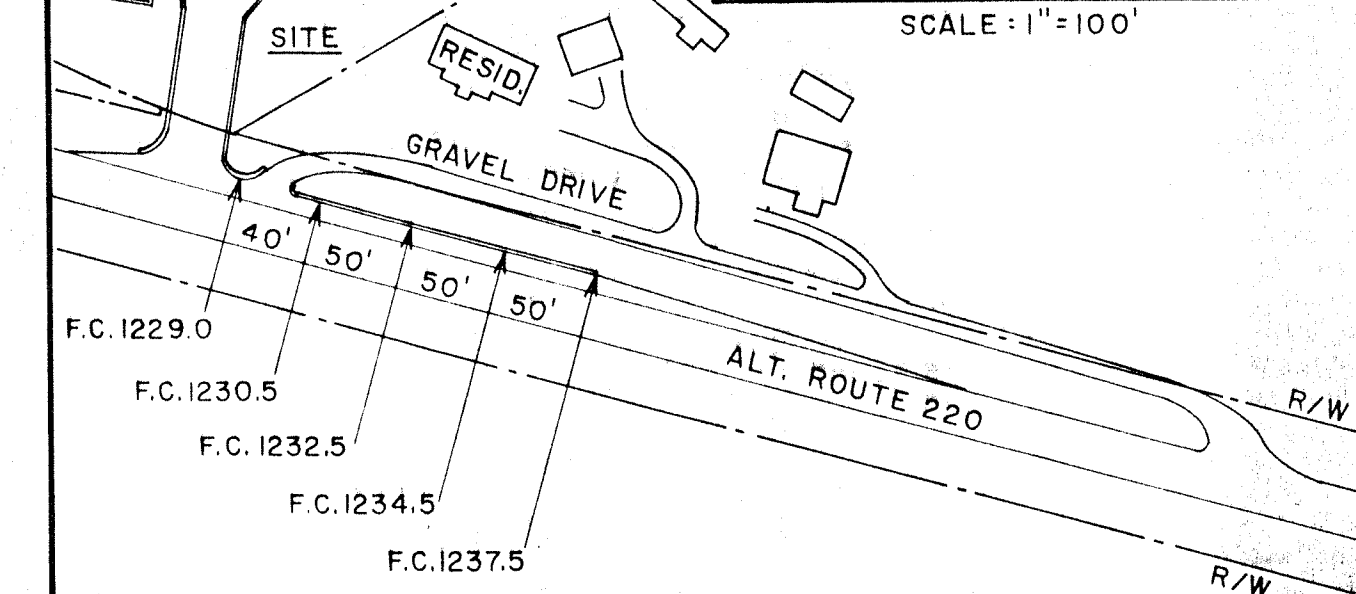
NO.	EXISTING GRADE ELEVAT'N	BORE DEPTH	PROPOSED GRADE ELEVAT'N - 2.0 FT.	ROCK ELEVAT'N IF ENCOUNTERED	DEPTH TO ROCK
1	1238	4.0'	1234	—	—
2	1236	5.0'	1231	—	—
3	1268	27.0'	1241	1257.5	10.5'
4	1248	17.0'	1231	—	—
5	1243	7.0'	1236	—	—
6	1263	15.0'	1248	1253.5	9.5'
7	1254	13.0'	1241	1246.0	8.0'
8	1270	25.0'	1245	1259.5	10.5'
9	1264	22.0'	1242	1253.0	11.0'
10	1281	14.0'	1267	—	—
11	1288	36.0'	1252	1264.5	23.5'
12	1261	13.0'	1248	—	—

NOTE:

FOR ON-SITE GRADING SEE
REVISED SITE, GRADING, &
DRAINAGE PLAN SHEET 2
OF 8.

LEGEND

- 1220 --- EXISTING CONTOUR
- 1220 — PROPOSED CONTOUR
- x 1220 PROPOSED SPOT ELEVATION
- B-05 BORING LOCATION & NUMBER
- F.F. - 1220 FINISH FLOOR ELEVATION
- ← 1220 FACE OF CURB (F.C.) ELEVATION

ENTRANCE PLAN ALT. 220
SCALE: 1"=100'

Final plans & Specifications
are approved subject to
requirements set forth in the
guide plans, specifications,
and lease documents.

The tenants review and approval
or disapproval of these plans is
based on the tenant's need and
general design requirements.

The tenant assumes no responsibility
for accuracy, completeness, structural
or for conformance to any code
requirements. This is the responsibility
of the landlord, architect, and
contractor.

Any claims for extras to complete
building to meet code requirements,
or to correct errors, mistakes, omissions,
or discrepancies will not be considered.

DATE: APR 18 1984

BY: *[Signature]*
WINN-DIXIE STORES, INC.
STORE DESIGN

NOTE

PLAN OF EXISTING CONTOURS WERE PREPARED FROM
A 1979 AERIAL SURVEY BY UNIVERSAL ENGINEERING,
ROCKVILLE, MARYLAND. ALL HORIZONTAL AND VERTI-
CAL CONTROL SET BY CHARLES McMURRAY C.L.S. OF
BOTETOURT COUNTY, VIRGINIA.

GRADING PLAN

Designed: LBV
Drafted: LBV
Checked: DJR
Approved: DJR

Clean Water Engineers, Inc.
Fincastle, Virginia

PLANS OF SITE FOR
MOUNTAIN VIEW SHOPPING CENTER
BOTETOURT COUNTY, VIRGINIA

REV. 2: 3-31-83 LBV
REV. 3: 5-10-83 LBV
REV. 4: 1-25-84 CFA

Sheet: 8 of 8
Scale: 1"=40'
Project: 8243