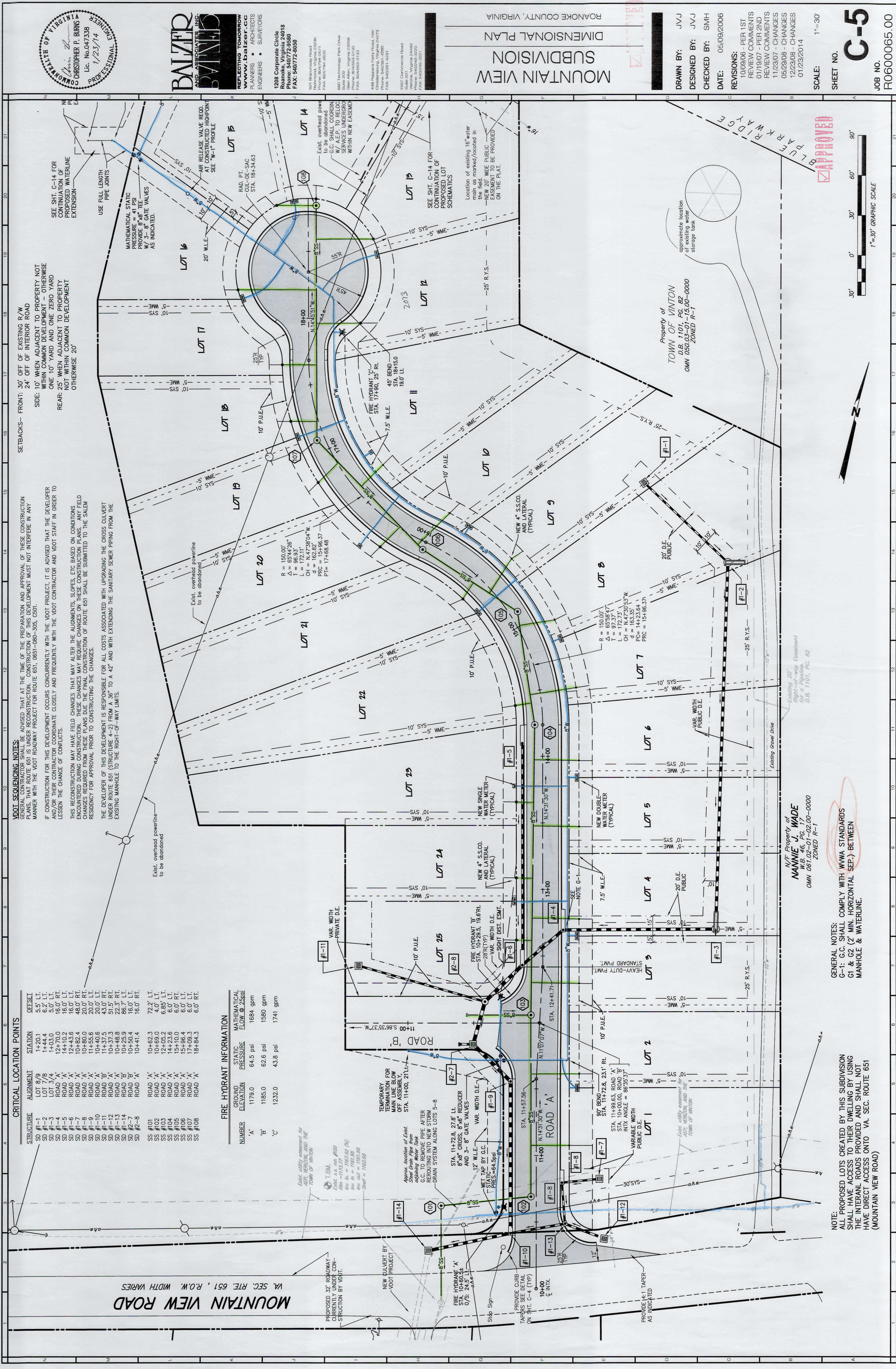




CRITICAL LOCATION POINTS		
STRUCTURE	ALIGNMENT	OFFSET
SD #1-1	LOT 8/9	5.5' LT.
SD #1-2	LOT 7/8	6.2' LT.
SD #1-3	LOT 7/8	6.2' LT.
SD #1-4	LOT 7/8	6.2' LT.
SD #1-5	LOT 7/8	6.2' LT.
SD #1-6	LOT 7/8	6.2' LT.
SD #1-7	LOT 7/8	6.2' LT.
SD #1-8	LOT 7/8	6.2' LT.
SD #1-9	LOT 7/8	6.2' LT.
SD #1-10	LOT 7/8	6.2' LT.
SD #1-11	LOT 7/8	6.2' LT.
SD #1-12	LOT 7/8	6.2' LT.
SD #1-13	LOT 7/8	6.2' LT.
SD #1-14	LOT 7/8	6.2' LT.
SD #1-15	LOT 7/8	6.2' LT.
SD #1-16	LOT 7/8	6.2' LT.
SD #1-17	LOT 7/8	6.2' LT.
SD #1-18	LOT 7/8	6.2' LT.
SD #1-19	LOT 7/8	6.2' LT.
SD #1-20	LOT 7/8	6.2' LT.
SD #1-21	LOT 7/8	6.2' LT.
SD #1-22	LOT 7/8	6.2' LT.
SD #1-23	LOT 7/8	6.2' LT.
SD #1-24	LOT 7/8	6.2' LT.
SD #1-25	LOT 7/8	6.2' LT.
SD #1-26	LOT 7/8	6.2' LT.
SD #1-27	LOT 7/8	6.2' LT.
SD #1-28	LOT 7/8	6.2' LT.
SD #1-29	LOT 7/8	6.2' LT.
SD #1-30	LOT 7/8	6.2' LT.
SD #1-31	LOT 7/8	6.2' LT.
SD #1-32	LOT 7/8	6.2' LT.
SD #1-33	LOT 7/8	6.2' LT.
SD #1-34	LOT 7/8	6.2' LT.
SD #1-35	LOT 7/8	6.2' LT.
SD #1-36	LOT 7/8	6.2' LT.
SD #1-37	LOT 7/8	6.2' LT.
SD #1-38	LOT 7/8	6.2' LT.
SD #1-39	LOT 7/8	6.2' LT.
SD #1-40	LOT 7/8	6.2' LT.
SD #1-41	LOT 7/8	6.2' LT.
SD #1-42	LOT 7/8	6.2' LT.
SD #1-43	LOT 7/8	6.2' LT.
SD #1-44	LOT 7/8	6.2' LT.
SD #1-45	LOT 7/8	6.2' LT.
SD #1-46	LOT 7/8	6.2' LT.
SD #1-47	LOT 7/8	6.2' LT.
SD #1-48	LOT 7/8	6.2' LT.
SD #1-49	LOT 7/8	6.2' LT.
SD #1-50	LOT 7/8	6.2' LT.
SD #1-51	LOT 7/8	6.2' LT.
SD #1-52	LOT 7/8	6.2' LT.
SD #1-53	LOT 7/8	6.2' LT.
SD #1-54	LOT 7/8	6.2' LT.
SD #1-55	LOT 7/8	6.2' LT.
SD #1-56	LOT 7/8	6.2' LT.
SD #1-57	LOT 7/8	6.2' LT.
SD #1-58	LOT 7/8	6.2' LT.
SD #1-59	LOT 7/8	6.2' LT.
SD #1-60	LOT 7/8	6.2' LT.
SD #1-61	LOT 7/8	6.2' LT.
SD #1-62	LOT 7/8	6.2' LT.
SD #1-63	LOT 7/8	6.2' LT.
SD #1-64	LOT 7/8	6.2' LT.
SD #1-65	LOT 7/8	6.2' LT.
SD #1-66	LOT 7/8	6.2' LT.
SD #1-67	LOT 7/8	6.2' LT.
SD #1-68	LOT 7/8	6.2' LT.
SD #1-69	LOT 7/8	6.2' LT.
SD #1-70	LOT 7/8	6.2' LT.
SD #1-71	LOT 7/8	6.2' LT.
SD #1-72	LOT 7/8	6.2' LT.
SD #1-73	LOT 7/8	6.2' LT.
SD #1-74	LOT 7/8	6.2' LT.
SD #1-75	LOT 7/8	6.2' LT.
SD #1-76	LOT 7/8	6.2' LT.
SD #1-77	LOT 7/8	6.2' LT.
SD #1-78	LOT 7/8	6.2' LT.
SD #1-79	LOT 7/8	6.2' LT.
SD #1-80	LOT 7/8	6.2' LT.
SD #1-81	LOT 7/8	6.2' LT.
SD #1-82	LOT 7/8	6.2' LT.
SD #1-83	LOT 7/8	6.2' LT.
SD #1-84	LOT 7/8	6.2' LT.
SD #1-85	LOT 7/8	6.2' LT.
SD #1-86	LOT 7/8	6.2' LT.
SD #1-87	LOT 7/8	6.2' LT.
SD #1-88	LOT 7/8	6.2' LT.
SD #1-89	LOT 7/8	6.2' LT.
SD #1-90	LOT 7/8	6.2' LT.
SD #1-91	LOT 7/8	6.2' LT.
SD #1-92	LOT 7/8	6.2' LT.
SD #1-93	LOT 7/8	6.2' LT.
SD #1-94	LOT 7/8	6.2' LT.
SD #1-95	LOT 7/8	6.2' LT.
SD #1-96	LOT 7/8	6.2' LT.
SD #1-97	LOT 7/8	6.2' LT.
SD #1-98	LOT 7/8	6.2' LT.
SD #1-99	LOT 7/8	6.2' LT.
SD #1-100	LOT 7/8	6.2' LT.

FIRE HYDRANT INFORMATION		
NUMBER	GROUND ELEVATION	MATHEMATICAL FLOW @ 250 PSI
'A'	1179.0	64.5 psi
'B'	1185.0	62.6 psi
'C'	1232.0	43.8 psi

Seal of Christopher P. Burns, Professional Engineer, License No. 047338, dated 1/23/14.

BAITZER AND ASSOCIATES, INC. REFLECTING SURVEYORS. 1208 Corporate Circle, Roanoke, Virginia 24018. Phone: 540/772-9580, Fax: 540/772-8050.

MOUNTAIN VIEW SUBDIVISION DIMENSIONAL PLAN. DRAWN BY: JVV, DESIGNED BY: JVV, CHECKED BY: SMH, DATE: 05/09/2006. SCALE: 1"=30'. SHEET NO. C-5. JOB NO. R0600065.00.

SETBACKS- FRONT: 30' OFF OF EXISTING R/W, 24' OFF OF INTERIOR ROAD. SIDE: 10' WHEN ADJACENT TO PROPERTY NOT WITHIN COMMON DEVELOPMENT - OTHERWISE ONE 10' YARD AND ONE ZERO YARD. REAR: 25' WHEN ADJACENT TO PROPERTY NOT WITHIN COMMON DEVELOPMENT OTHERWISE 20'.

VOOT SEQUENCING NOTES: GENERAL CONTRACTOR SHALL BE ADVISED THAT AT THE TIME OF THE PREPARATION AND APPROVAL OF THESE CONSTRUCTION PLANS, THAT ROUTE 651 IS UNDER RECONSTRUCTION. CONSTRUCTION OF THIS DEVELOPMENT MUST NOT INTERFERE IN ANY MANNER WITH THE VDOT ROADWAY PROJECT FOR ROUTE 651, 0551-000-305, C501. IF CONSTRUCTION FOR THIS DEVELOPMENT OCCURS CONCURRENTLY WITH THE VDOT PROJECT, IT IS ADVISED THAT THE DEVELOPER AND/OR THEIR CONTRACTOR COORDINATE CLOSELY AND FREQUENTLY WITH THE VDOT CONTRACTOR AND VDOT STAFF IN ORDER TO LESSEN THE CHANCE OF CONFLICTS. THIS RECONSTRUCTION MAY HAVE FIELD CHANGES THAT MAY ALTER THE ALIGNMENTS, SLOPES, ETC. BASED ON CONDITIONS ENCOUNTERED DURING CONSTRUCTION. THESE CHANGES MAY REQUIRE CHANGES ON THESE CONSTRUCTION PLANS. ANY FIELD CHANGES REQUIRED FROM THESE PLANS DUE TO THE FINAL CONSTRUCTION OF ROUTE 651 SHALL BE SUBMITTED TO THE SALEM RESIDENCY FOR APPROVAL PRIOR TO CONSTRUCTING THE CHANGES. THE DEVELOPER OF THIS DEVELOPMENT IS RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH UPGRADING THE GROSS CULVERT UNDER ROUTE 651 STRUCTURE 4-2) FROM 36" TO A 42" AND WITH EXTENDING THE SANITARY SEWER PIPING FROM THE EXISTING MANHOLE TO THE RIGHT-OF-WAY LIMITS.

GENERAL NOTES: G-1: G.C. SHALL COMPLY WITH WMA STANDARDS G1 & C2 (2' MIN. HORIZONTAL SEP.) BETWEEN MANHOLE & WATERLINE. ALL PROPOSED LOTS CREATED BY THIS SUBDIVISION SHALL HAVE ACCESS TO THEIR DWELLING BY USING THE INTERNAL ROADS PROVIDED AND SHALL NOT HAVE DIRECT ACCESS ONTO VA. SEC. ROUTE 651 (MOUNTAIN VIEW ROAD).

N/F Property of NANNIE J. WADE W.B. 46, PG. 17 OMN 061.02-01-02.00-0000 ZONED R-1

Existing 20' Right-of-way Easement for a Pipeline, D.B. 1101, PG. 82

Property of TOWN OF VINTON D.B. 1101, PG. 82 OMN 050.03-01-15.00-0000 ZONED R-1