

WATER

WATERLINE *NOTES*		
HYDRANT AT 0+35	FROM 7507 "A"	FROM 7507 "B"
TAPPING VALUE	141.0'	163.0'
HYDRANT "T"	113.5"	143.5"
HYDRANT "90"	112.5"	142.5"
HYDRANT VALVE	111.5"	141.0"
HYDRANT	110.5"	140.5"
END OF LINE	FROM 7537 "A"	FROM 7537 "B"
HYDRANT	62.0'	89.0'
HYDRANT VALVE	61.5'	88.7'
7"	61.2'	88.0'
22"	60.0'	86.5'
AIR RELEASE	57.5'	84.5'
45"	52.0'	72.0'
TEMP BLOW OFF	47.1'	66.0'

WATER SERVICES

Double meters at the corners of lot 1-2, 3-4, 5-6, 7-8, 9-10, 12-13, 14-15, 16-17.

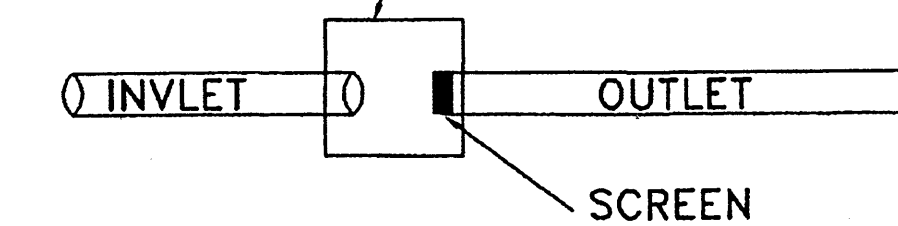
Single meter for Lot 11, 12' to right of SSMH "C"

SEWER

SEWER MANHOLE			DEPTH
MANHOLE	FROM 7507 "A"	FROM 7507 "C"	
A"	137.5'	153.5'	6.0'
C"	58'	108.5'	8.9'
	FROM 7507 "A"	FROM 7507 "B"	
B"	73.5'	41.3'	6.9'

LOT	LENGTH FROM MANHOLE	DISTANCE OFF MAIN	DEPTH OF CLEANOUT
1	0+67	28'	5.0'
2	1+30	27'	6.0'
3	1+86	26.5'	7.5'
4	0+43	27'	6.6'
5	1+00	27'	7.0'
6	2+55	27'	7.7'
7	2+15	27'	7.5'
8	2+65	27'	8.5'
9	3+23	55.6'	6.5'
10	3+31	54'	8.0'
11	OUT MANHOLE "C"	0	8.9'
12	2+71	14'	9.1'
13	1+84	13.5'	8.4'
14	1+32	13.5'	7.4'
15	0+72	13'	7.0'
16	0+15	13'	7.0'
17	1+55	13'	6.4'

Min. 18" Square Plastic Box
For Filtering Drainage.
Outlet Pipe to Covered
with Wire Screen to prevent
trash and debris from clogging
storm watermanagement area.



FILTER BOX
DETAIL
N.T.S.

DATE: 05-05-03

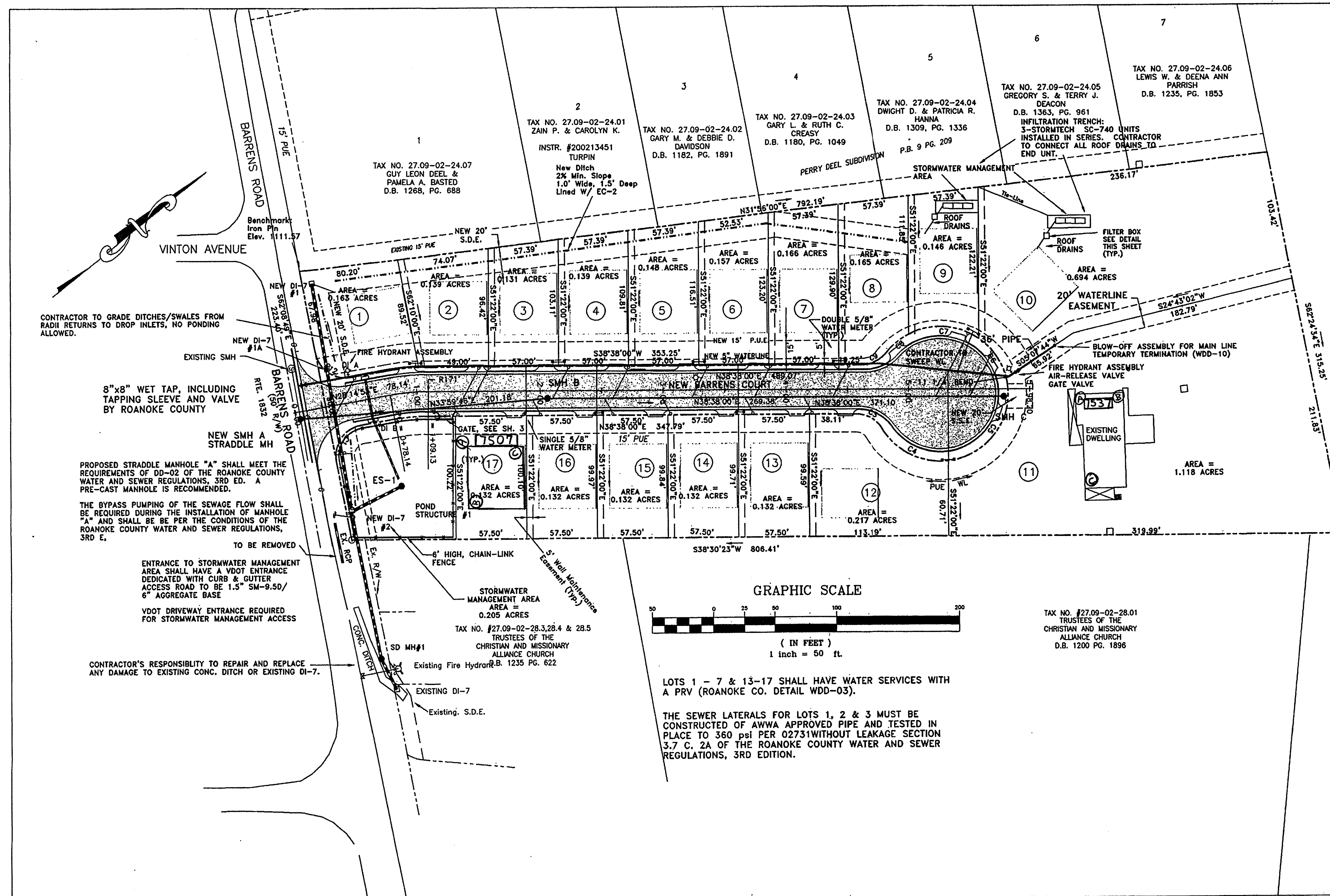
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REVISIONS
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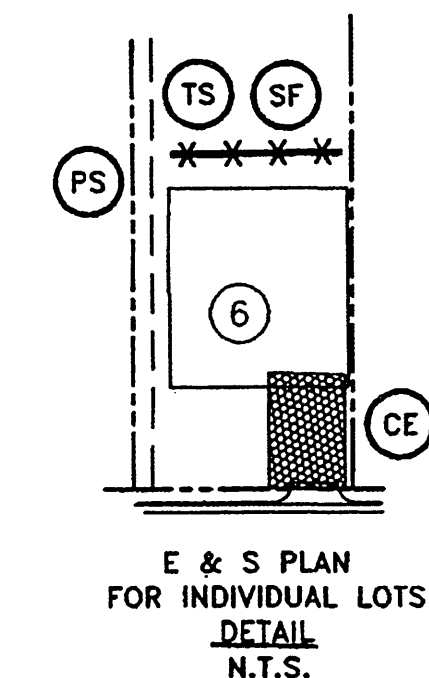
PIERSON
ENGINEERING
&
SURVEYING

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CURVE	RADIUS	TANGENT	LENGTH	DELTA	CHORD	CH.BEARING
C-1	25.00'	25.18'	39.45'	90°24'53"	35.48'	N16°57'34"W
C-2	151.00'	13.72'	27.37'	10°23'07"	27.33'	N33°26'26"E
C-3	25.00'	14.19'	25.82'	59°10'02"	24.68'	N68°13'01"E
C-4	55.00'	35.59'	63.18'	65°49'04"	59.76'	N64°53'30"E
C-5	55.00'	62.16'	93.11'	96°59'42"	82.38'	N16°30'53"W
C-6	55.00'	20.78'	39.74'	44°23'56"	38.88'	N85°42'42"W
C-7	55.00'	33.42'	60.06'	62°33'50"	57.12'	S42°18'25"W
C-8	55.00'	12.00'	23.64'	24°37'36"	23.46'	S01°17'12"E
C-9	25.00'	12.26'	22.79'	52°13'55"	22.01'	S12°31'02"W
C-10	191.00'	3.90'	7.80'	02°20'21"	7.80'	S37°27'50"W
C-11	191.00'	13.43'	26.82'	08°02'46"	26.80'	S32°16'16"W
C-12	25.00'	24.82'	39.09'	89°35'07"	35.23'	S73°02'26"W



NOTES:

A STREET SEPARATION WAIVER WAS APPROVED BY THE ROANOKE COUNTY PLANNING COMMISSION ON JUNE 3, 2003.

THIS SUBDIVISION SHALL BE A ZERO LOT LINE SUBDIVISION.

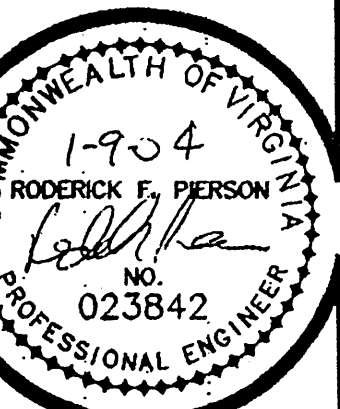
A 5' WALL MAINTENANCE EASEMENT TO BE CREATED ALONG EACH PROPERTY LINE.

MAXIMUM BUILD HEIGHT 45 FEET.
MAXIMUM BUILDING COVERAGE 40%
MAXIMUM LOT COVERAGE 50%.

A SEPARATE SIGN PERMIT WILL BE REQUIRED FOR A SUBDIVISION SIGN.

ALLOWABLE SIGNAGE IS UP TO 30 SQUARE FEET FOR A SUBDIVISION IDENTIFICATION SIGN.

PLAN SHEET



COMMISSION
R200350
SHEET
SH1

C/BARRENS ROAD/SH3