

LEGEND

- STANDARD ASPHALT PAVEMENT
- HEAVY-DUTY ASPHALT PAVEMENT
- CONCRETE SIDEWALK/PATIO
- HEAVY-DUTY CONCRETE (FIRE ACCESS ROAD)
- PAVERS
- NEW BUILDING ADDITIONS
- RUBBER MULCH PLAY AREAS
- BERMUDA GRASS/ARTIFICIAL TURF PLAY AREA

G.C. TO CONFIRM DEPTH OF EXISTING SANITARY SEWER LINE BY POTHOLE PRIOR TO CONSTRUCTION AND ADJUST DEPTH OF PROPOSED WATER LINE AS REQUIRED

EXTEND EX. W.L. PROVIDE 6" G.V. & 6"x8" ENLARGER

OLD GYM
(NEW SLACK HALL)
2-STORY BRICK BLDG.
F.F. 1156.35'

PROP. CONCRETE/PAVER PLAZA
FINAL DESIGN AND MATERIALS TO
BE COORDINATED WITH OWNER
AND ARCHITECT

EX. ATHLETIC COURT TO REMAIN

PROP. CONC. PATIO AREA

12" WIDE RECESSED
CONCRETE CURB TO
PROVIDE EDGE FOR
MULCH AREA

RUBBER MULCH
PLAY AREA

EX. SWING SET TO BE
REMOVED AND REINSTALLED
(OWNER TO PROVIDE EXACT
LOCATION AND ORIENTATION)

PROP. 8' SIDEWALK

PROP. 10' SIDEWALK

12" WIDE RECESSED
CONCRETE CURB TO
PROVIDE EDGE FOR
MULCH AREA

RUBBER MULCH
PLAY AREAS

PROP. SIDEWALK
(TYP.)

BERMUDA GRASS
PLAY AREA
(ARTIFICIAL FIELD
TURF TO BE PRICED
AS ALTERNATE)

PROP. 6' SIDEWALK

PEDESTRIAN
GATE IN FENCE

RUBBER MULCH
BETWEEN CONCRETE
AND BUILDING

PROP. PAVEMENT
VDOT STD. CG-2

12" WIDE RECESSED
CONCRETE CURB TO PROVIDE
EDGE FOR TURF AREA (3'
TALL BLACK POWDERCOATED
CHAIN LINK FENCE TO BE
INSTALLED IN CONCRETE)

PROP. CONCRETE/PAVER PLAZA
FINAL DESIGN AND MATERIALS TO
BE COORDINATED WITH OWNER
AND ARCHITECT

ROOF LEADERS SHALL BE
TIED TO PROP. U.G. STORM
SYSTEM AT STR. #21 (TYP)

DECORATIVE COLUMNS (TYP.)
(SEE ARCHITECTURAL PLANS
FOR DETAILS)

PROP. 6' SIDEWALK

PROP. 10' SIDEWALK

PROP. 6' SIDEWALK

PROP. 10' SIDEWALK

PROP. 6' SIDEWALK

PROP. 10' SIDEWALK

LOWER SCHOOL
1-STORY BRICK BLDG.
F.F. 1157.54'

PROP. BUILDING
ADDITION
APPROX. 5,100 S.F.
F.F. 1157.54'

PROP. CONCRETE/PAVER PLAZA
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BE COORDINATED WITH OWNER
AND ARCHITECT

ROOF LEADERS SHALL BE
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SYSTEM AT STR. #21 (TYP)

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FINAL DESIGN AND MATERIALS TO
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AND ARCHITECT

PROP. BUILDING
ADDITION
APPROX. 18,000 S.F.
F.F. 1157.94'

PROP. CONCRETE/PAVER PLAZA
FINAL DESIGN AND MATERIALS TO
BE COORDINATED WITH OWNER
AND ARCHITECT

ROOF LEADERS SHALL BE
TIED TO PROP. U.G. STORM
SYSTEM AT STR. #21 (TYP)

PROP. CONCRETE/PAVER PLAZA
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CARTER ATHLETIC
CENTER
1-STORY CONCRETE BLDG.

PROP. FIRE HYDRANT
"B" & 6" G.V.
STATIC = 81 PSI
ANTICIPATED FLOW @ 20' PSI
RESIDUAL = 1,350 GPM

PROP. 8" PVC W.L.
MIN. 3' COVER

YELLOW FIRE LANE STRIPING
AND SIGNAGE (TYP)

3" W.L. REMOTE F.D.C. WITH
LOCKING CAPS

PROP. 9' SIDEWALK

H.C. PARKING AREA
W/SIGNAGE, STRIPING,
AND BUMPER BLOCKS

H.C. PARKING AREA
FLUSH W/SIDEWALK

PROP. 4.5' SIDEWALK

CONNECT EX. 3" W.L.
TO PROP. 3" W.L.

H.C. PARKING AREA
FLUSH W/SIDEWALK

H.C. PARKING AREA W/SIGNAGE,
STRIPING, AND BUMPER BLOCKS

PROP. FIRE HYDRANT
"B" & 6" G.V.
STATIC = 81 PSI
ANTICIPATED FLOW @ 20' PSI
RESIDUAL = 1,350 GPM

PROP. 5.5' SIDEWALK

VDOT STD. CG-6
CURB AND GUTTER

PROP. SEGMENTAL
BLOCK RETAINING WALL
WITH HANDRAIL
DESIGN BY OTHERS

G.C. TO VERIFY EXACT SIZES AND
LOCATIONS OF EX. W.L. PRIOR TO
NEW W.L. CONSTRUCTION

EX. SIDEWALK TO BE REMOVED
AND REPLACED AS NECESSARY
FOR W.L. CONSTRUCTION

PROP. CONCRETE SIDEWALK
(TYP.)

STEPS WITH HANDRAILS TYP.

YIELD SIGN TYP.

PROP. CONC. ISLAND W/
CG-3 CURB

PROP. STRIPING
(2 COATS MIN. OF
TRAFFIC PAINT TYP.)

PROP. CURB ISLAND
WITH VDOT STD.
CG-2 CURB

PROP. CURB ISLAND
WITH VDOT STD.
CG-2 CURB

PROP. CURB ISLAND
WITH VDOT STD.
CG-2 CURB

PROP. CURB ISLAND
WITH VDOT STD.
CG-2 CURB

PROP. CURB ISLAND
WITH VDOT STD.
CG-2 CURB

PROP. CURB ISLAND
WITH VDOT STD.
CG-2 CURB

PROP. CURB ISLAND
WITH VDOT STD.
CG-2 CURB

LAYOUT PLAN NOTES:

- NO CONSTRUCTION/FIELD CHANGES WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER, VDOT, WWA, AND ROANOKE COUNTY.
- CONTRACTOR TO ENSURE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.
- EXISTING PAVEMENT TO BE SAWCUT AT LEAST 1' FROM THE EX. EP OR THE DISTANCE REQUIRED TO REACH THE FULL DEPTH OF PAVEMENT.
- A SIGN PERMIT MUST BE OBTAINED FOR ANY PROPOSED SIGNAGE FROM ROANOKE COUNTY PRIOR TO THE INSTALLATION OF ANY SIGNAGE ONSITE.
- ALL ROOF LEADERS SHALL BE CONVEYED TO THE UNDERGROUND STORMWATER SYSTEM.
- G.C. SHALL PROVIDE SAFETY FENCING AROUND THE AREA OF CONSTRUCTION AT ALL TIMES.
- G.C. SHALL CONFIRM THE EXACT LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY CONFLICTS.
- G.C. SHALL COORDINATE UTILITY SERVICES WITH LOCAL UTILITY COMPANIES AND SHALL BE RESPONSIBLE FOR ALL CONDUIT ASSOCIATED WITH NEW/RELOCATED UTILITIES. ALL UTILITY OUTAGES SHALL BE CLOSELY COORDINATED WITH THE SCHOOL.
- ALL GROUND LEVEL EQUIPMENT SHALL BE SCREENED IN ACCORDANCE WITH ROANOKE COUNTY ZONING ORDINANCE, SECTION 30-92-6(E).
- ANY EXTERIOR LIGHTING FIXTURES SHALL BE DESIGNED, LOCATED, AND ARRANGED SO AS NOT TO DIRECT GLARE ON ADJOINING STREETS OR RESIDENTIAL PROPERTIES. THE LIGHTING INTENSITY AT ADJOINING RESIDENTIAL PROPERTIES SHALL NOT EXCEED 0.5 FOOT CANDLES. A PHOTOMETRIC PLAN SHALL BE SUBMITTED TO ROANOKE COUNTY FOR REVIEW AND APPROVAL BY THE LIGHTING CONTRACTOR AS REQUIRED FOR ANY PROPOSED EXTERIOR SITE LIGHTING.



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Roanoke
New River Valley
Richmond
Staunton
Harrisonburg

RESIDENTIAL LAND DEVELOPMENT ENGINEERING
SITE DEVELOPMENT ENGINEERING
LAND USE PLANNING & ZONING
LANDSCAPE ARCHITECTURE
LAND SURVEYING
ARCHITECTURE
STRUCTURAL ENGINEERING
TRANSPORTATION ENGINEERING
ENVIRONMENTAL & SOIL SCIENCE
WETLAND DELINEATIONS & STREAM EVALUATIONS

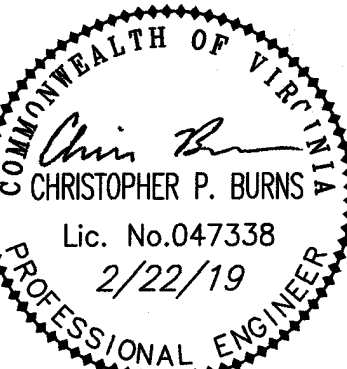
Balzer and Associates, Inc.

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Roanoke, VA 24018

540-772-9580

FAX 540-772-8050



NORTH CROSS SCHOOL
4254 COLONIAL AVENUE SW
LAYOUT & UTILITY PLAN
CAVE SPRING DISTRICT
ROANOKE COUNTY, VIRGINIA

DRAWN BY EJP
DESIGNED BY CPB
CHECKED BY CPB
DATE 12/20/2018
SCALE 1"=30'
REVISIONS:
2/6/2019
2/22/2019

SHEET NO.

C3

JOB NO. 03170003.01