

ABBREVIATIONS

ABAN	ABANDON, ABANDONED	MECH	MECHANICAL
ABUT	ABUTMENT	MFR	MANUFACTURER
ADJ	ADJACENT	MH	MANHOLE
AGGR	AGGREGATE	MIN	MINIMUM
ANC	ANCHOR	MJ	MECHANICAL JOINT
APPROX	APPROXIMATE	MON	MONUMENT
BIT	BITUMINOUS	MTL	METAL
BJ	BELL JOINT	N & C	NAIL AND CAP
BL	BASE LINE	NC	NOT IN CONTRACT
BEG	BEGIN, BEGINNING	NO	NUMBER
BLDG	BUILDING	NPW	NON POTABLE WATER
BM	BENCH MARK	NTS	NOT TO SCALE
BSP	BLACK STEEL PIPE	OC	ON CENTERS
BV	BUTTERFLY VALVE	OD	OUTSIDE DIAMETER
BVCE	BEGIN VERTICAL CURVE ELEVATION	PVMT	PAVEMENT
BVCS	BEGIN VERTICAL CURVE STATION	PC	POINT OF CURVE
C & G	CURB AND GUTTER	PCC	POINT OF COMPOUND CURVE
CI	CAST IRON	PER	PERIMETER
CL	CENTER LINE	PERF	PERFORATED
CONST	CONSTRUCTION	PERP	PERPENDICULAR
CMP	CORRUGATED METAL PIPE	PI	POINT OF INTERSECTION
CMU	CONCRETE MASONRY UNITS	PL	PLATE, PROPERTY LINE
CND	CONDUIT	POL	POINT ON LINE
CO	CLEANOUT	PT	POINT OF TANGENCY
COMB	COMBINATION	POT	POINT ON TANGENT
CONC	CONCRETE (PORTLAND CEMENT)	PP	POWER POLE
CONN	CONNECT, CONNECTION	PRC	POINT OF REVERSE CURVE
CONTR	CONTRACTOR	PSI	POUNDS PER SQUARE INCH
CONV	CONVEYOR	PT	POINT OF TANGENT
COR	CORNER	PVC	POLYVINYL CHLORIDE
CR STONE	CRUSHED STONE	PVI	POINT OF VERTICAL INTERSECTION
CTR	CENTER	PUE	PUBLIC UTILITY EASEMENT
CULV	CULVERT	R	RADIUS, RISER
D	DEPTH OR DEGREE OF CURVE	RR	RAILROAD
DE	DRAINAGE EASEMENT	RCP	REINFORCED CONCRETE PIPE
DI	DROP INLET, DUCTILE IRON	RD	ROAD
DIA	DIAMETER	RDCR	REDUCER
DIM	DIMENSION	REINF	REINFORCE, REINFORCEMENT
DISC	DISCONNECT	REF	REFERENCE
DMH	DROP MANHOLE	REL	RELOCATED
DN	DOWN	REQD	REQUIRED
DTL	DETAIL	REV	REVISION
DW, D/W	DRIVEWAY	RTE	ROUTE
DWL	DWELLING	RT	RIGHT
DWG	DRAWING	R/W	RIGHT OF WAY
E.B.L	EASTBOUND LANE	SS	SANITARY SEWER
EL, ELEV	ELEVATION	SAN	SANITARY
ELEC	ELECTRICAL	S/W	SIDEWALK
ENGR	ENGINEER	SD	STORM DRAIN
ENTR	ENTRANCE	SE	SLOPE EASEMENT
EOL	END OF LINE	SECT	SECTION
EP	EDGE OF PAVEMENT	SER	SERVICE
EQ	EQUAL	SH	SHEET
EQPT	EQUIPMENT	SPEC	SPECIFICATION
EVCE	END VERTICAL CURVE ELEVATION	SPECS	SPECIFICATIONS
EVCS	END VERTICAL CURVE STATION	SQ	SQUARE
EW	EACH WAY, ENDWALL	SSTL	STAINLESS STEEL
EXIST	EXISTING	STA	STATION
FES	FLARED END SECTION	STD	STANDARD
FF	FINISH FLOOR	STL	STEEL
FFE	FINISHED FLOOR ELEVATION	STRUCT	STRUCTURAL
FIG	FIGURE	SUR	SURVEY
FL	FLOOR	T & B	TOP AND BOTTOM
FLEX	FLEXIBLE	TELE	TELEPHONE
FLG	FLANGE	TEMP	TEMPORARY
FT	FOOT	THK	THICK
FTG	FOOTING	TP	TELEPHONE POLE
FUT	FUTURE	TRTD	TREATED
GAL	GALLON	TV	TELEVISION
GALV	GALVANIZED	TW	TOP OF WALL
GAR	GARAGE	TYP	TYPICAL
GND	GROUND	UG	UNDERGROUND
GR	GRAVEL	UON	UNLESS OTHERWISE NOTED
GOVT	GOVERNMENT	U.S.C.&G.S	UNITED STATES COAST AND GEODETIC SURVEY
GPM	GALLONS PER MINUTE	V.VAL	VALVE, VENT
GRTG	GRATING	VAR	VARIABLE
GV	GATE VALVE	VC	VERTICAL CURVE
H&T	HUB AND TAC	VERT	VERTICAL
HORIZ	HORIZONTAL	VESCR	VIRGINIA EROSION AND SEDIMENT CONTROL REGULATIONS
HPT	HIGH POINT	VOL	VOLUME
HYD	HYDRANT	VDOT	VIRGINIA DEPARTMENT OF TRANSPORTATION
ID	INSIDE DIAMETER	V.S.D.	VERTICAL SIGHT DISTANCE
IN	INCH	W.B.L.	WESTBOUND LANE
INSUL	INSULATION	W	WIDE FLANGE, WIDE, WASTE, WATER
INV	INVERT	W/	WITH
IP	IRON PIN (FOUND OR SET NOTED)	WL	WATER LINE
L	LENGTH, LONG	W/O	WITHOUT
LF	LINEAL FOOT	WS	WATER SURFACE
LG	LONG	WT	WATERTIGHT, WEIGHT
LP	LIGHT POLE	WV	WEST VIRGINIA DEPARTMENT OF HIGHWAYS
LR	LONG RADIUS	WVDH	WEST VIRGINIA DEPARTMENT OF HIGHWAYS
MAS	MASONRY OF HIGHWAYS MATL MATERIAL	WVWA	WESTERN VIRGINIA WATER AUTHORITY
MAX	MAXIMUM		
MB	MAIL BOX		
MBL	MINIMUM BUILDING LINE		

LEGEND / SYMBOLS

EXISTING	NEW	DESCRIPTION
		BUILDING WITH PORCH OR STOOP
		FOUNDATION ONLY
		CONTOUR, CONTOUR WITH ELEVATION
		SPOT ELEVATION
		CONCRETE CURB
		CONCRETE CURB & GUTTER
		CONCRETE WALK OR SLAB
		PAVEMENT
		UNPAVED OR GRAVEL ROAD
		CONSTRUCTION EASEMENT
		PERMANENT EASEMENT
		TREE LINE
		TREE OR SHRUB
		FENCE (EXISTING OR PROPOSED NOTED)
		CENTERLINE CREEK, SWALE, DITCH
		PROPERTY LINE
		CENTERLINE OR BASELINE
		FIELD SURVEY TRAVERSE POINT
		P.C. OR P.T.
		GEOLOGIC BORE HOLE
		BENCH MARK (EXISTING OR SET NOTED)
		STORM DRAIN AND ENDWALL
		SANITARY SEWER
		FORCE MAIN
		GAS MAIN OR SERVICE LINE
		WATER MAIN OR SERVICE LINE
		OVERHEAD ELECTRICAL LINE
		OVERHEAD TELEPHONE LINE
		UNDERGROUND ELECTRICAL LINE
		UNDERGROUND TELEPHONE LINE
		PIPE FITTINGS
		FIRE HYDRANT
		GATE VALVE
		CLEANOUT
		MANHOLE
		DROP INLET (CURB AND GRATING TYPES)
		WM - WATER METER
		DWM - DOUBLE WATER METER
		TELEPHONE POLE, GUY AND ANCHOR
		POWER POLE, GUY AND ANCHOR
		LIGHT POLE
		TELEPHONE PEDESTAL
		BURIED TELEPHONE VAULT
		ABANDON OR REMOVE
		LIMITS OF CONSTRUCTION

GENERAL NOTES

The location of existing utilities, including underground utilities, is indicated on the drawings in so far as their existence and location were known at the time of preparation of these drawings, however, nothing in these contract documents shall be construed as a guarantee that such utilities are in the location indicated or that they actually exist or that other utilities are not within at area of operations. The contractor shall make all necessary investigations to determine the existence and locations of such utilities. The contractor shall pay for any damage to and for maintenance and protection of existing utilities and structures.

Existing water line locations both horizontal and vertical are approximate. the location is not the result of a current field survey.

The contractor is directed to dig and locate all utilities in advance of pipelaying to allow for adjustments due to conflicts with existing utilities. Should a conflict arise the engineer is to be notified immediately.

The contractor is required to notify "Miss Utility" at 1-800-552-7001 at least two, but not more than ten, working days in advance of construction.

All work done in the proposed, or existing right of way, including but not limited to street grading, street paving and all construction of all structural components, shall be done in accordance with current Virginia Department of Transportation Road and Bridge Standards and Specifications. All materials used shall be tested in accordance with VDOT standard policies. The developer shall contract the office of the Salem VDOT Residency Office, prior to beginning any construction within the proposed or existing right of way. At that time, the Residency Office shall prepare an inspection and testing schedule. The developer shall produce test reports from approved independent laboratories at the developer's expense.

All grading operations and procedures within the right-of-way must conform to all applicable standards and specification in the VDOT 2002 Road and Bridge Specifications. All required compactions tests shall be submitted to the Salem VDOT Residency Office prior to street acceptance.

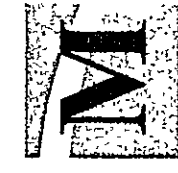
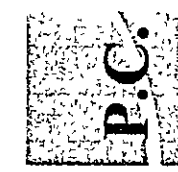
Design changes, specified material changes and/or field changes from the approved plans must be submitted to the Salem VDOT Residency Office prior to proceeding with the work. A letter of explanation shall accompany the revised design plans and/or engineering calculations, which must be submitted to VDOT for review and approval by the Salem VDOT Residency Office or Permit Office.

No signage is proposed for this development at this time. If a sign is proposed, it shall comply with all provisions of the Roanoke County Zoning Ordinance(Section 30-93), all applicable provisions of the Uniform Statewide Building Code and all amendments thereto, and all State and Federal Regulations pertaining to the display of signage.

All exterior lighting fixtures within residential zoning districts shall be designed, located and arranged so as not to direct glare on adjoining streets or residential properties. The lighting intensity at adjoining residential properties shall not exceed 0.5 foot candles. no lighting plan is proposed at this time.

Any work that may affect traffic along Route 11 should be done in accordance with the 2005 Virginia Work Area Protection Manual.

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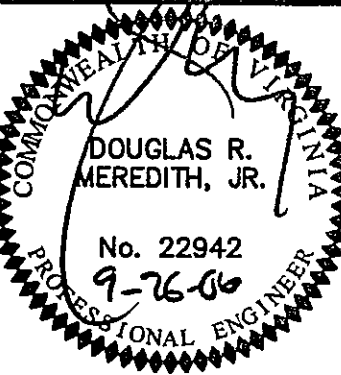


Engineering
Architecture
Surveying
Landscape Design

NORTHWEST
TRUE VALUE HARDWARE
ROANOKE COUNTY, VIRGINIA

9/26/06	7/3/06	DATE	NO	BY	DESCRIPTION

ABBREVIATIONS, LEGEND
& GENERAL NOTES



Designed By	DRM
Drawn By	MCP
Checked By	RCW
Approved By	DRM
Submitted By	DRM
Drawing	3192A
Date	03/20/06
Scale	NONE
Commission No.	3192A