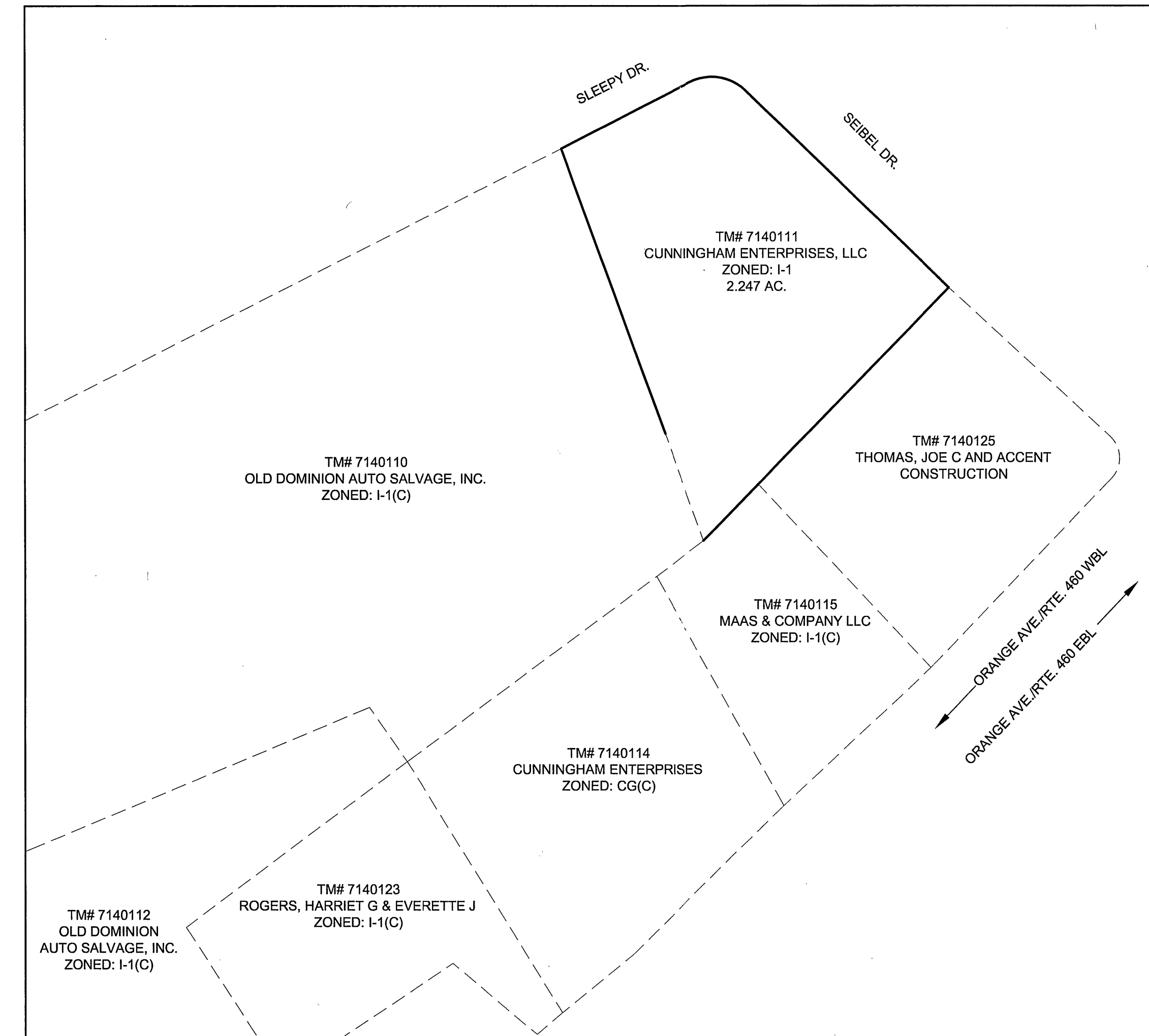


SITE NOTES:

- 1.) OWNER:
OLD DOMINION AUTO SALVAGE
1534 SEIBEL DRIVE NE
ROANOKE, VA 24012
PHONE# (540) 344-9000
- 2.) DEVELOPER:
W.A. STRATTON CONSTRUCTION
11553 RICHMOND HWY.
APPOMATTOX, VA. 24522
PHONE# (434) 352-5259
- 3.) SITE INFORMATION:
TAX MAP #9: ADDRESS ZONING
7140110 & 7140111 1534 SEIBEL DRIVE, ROANOKE VA I-1
- 4.) TOTAL DEVELOPED AREA: 1.50 AC
- 5.) TOTAL AREA OF LAND DISTURBANCE: 2.78 AC
- 6.) PROPOSED USE: PARKING LOT AND SALVAGE YARD
- 7.) SETBACKS:
FRONT MIN: 10'
FRONT MAX: 30'
SIDE: 5'
REAR: 0'
- 8.) CONTRACTOR TO FIELD VERIFY ALL INVERTS AND CONNECTION POINTS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. IF POTENTIAL CONFLICTS ARE DETECTED, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY.
- 9.) A FIELD SURVEY WAS PERFORMED BY PERKINS & ORRISON ON JANUARY 18, 2011.
- 10.) THE EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK AND FOR ANY DAMAGES THAT OCCUR BY HIS/HER FAILURE TO LOCATE OR PRESERVE THESE UTILITIES. IF, DURING CONSTRUCTION, THE CONTRACTOR SHOULD ENCOUNTER UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS HE/SHE SHOULD NOTIFY THE ENGINEER AND TAKE NECESSARY AND PROPER STEPS TO PROTECT THE FACILITY AND ASSURE THE CONTINUANCE OF SERVICE.
- 11.) DISPOSE OF TREES, STUMPS AND OTHER DEBRIS OFF SITE.
- 12.) ANY DISCREPANCIES FOUND BETWEEN THE DRAWINGS AND SITE CONDITIONS OR ANY DISCREPANCIES OR AMBIGUITIES IN THE DRAWINGS SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER. WORK DONE BY THE CONTRACTOR WITHOUT DIRECTION AFTER THE DISCOVERY OF SUCH INCONSISTENCIES SHALL BE DONE AT THE CONTRACTOR'S RISK.
- 13.) THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS BEFORE THE START OF CONSTRUCTION.
- 14.) CONTACT CITY ENVIRONMENTAL REVIEWER, CITY CONSTRUCTION COORDINATOR AND MISS UTILITY (1-800-552-7001) 72 HOURS IN ADVANCE OF ANY CONSTRUCTION ACTIVITY.
- 15.) THE PROPERTY SHOWN HEREON IS NOT WITHIN A FEMA 100 YEAR FLOOD PLAIN. SEE PANEL# 51161C01676, ZONE "X", DATED SEPTEMBER 28, 2007.
- 16.) ALL PAVING AND CONCRETE FLATWORK SHALL BE AS PER APPLICABLE SECTIONS OF THE VDOT ROAD AND BRIDGE STANDARDS AND SPECIFICATIONS AND THE CITY OF ROANOKE STANDARDS AND SPECIFICATIONS.
- 17.) ALL FILLS TO BE COMPACTED IN 6" LOOSE LIFTS TO 98% STD. PROCTOR.
- 18.) ALL DISTURBED AREAS TO RECEIVE TEMPORARY SEEDING, PERMANENT SEEDING AND MULCH.
- 19.) HOPE PIPE SHALL BE DOUBLE WALL TYPE "6" WITH SMOOTH INTERIOR AND MEET MSHTO REQUIREMENTS M294. PVC PIPE SHALL BE SDR-35.
- 20.) NO SITE, LOGGING, GRUBBING OR GRADING IS PERMITTED PRIOR TO ISSUANCE OF A LAND DISTURBING PERMIT. NO BURNING OF ANY DEBRIS WITHOUT PRIOR APPROVAL FROM THE FIRE MARSHALL'S OFFICE.
- 21.) STORM SEWER SHALL BE INSTALLED PER VDOT STD PB-1.
- 22.) ALL NEW UTILITY LINES (INCLUDING ELECTRICAL) SHALL BE UNDERGROUND.
- 23.) THE WRECKER YARD OPERATION SHALL BE LIMITED TO THE FOLLOWING:
A. EMPLOYEE AND CUSTOMER PARKING
B. PARTS AND VEHICLE STORAGE AND SALES
C. EQUIPMENT PARKING (E.G., APPLICANT'S TOW TRUCKS, FORK TRUCKS, ETC.)
D. EQUIPMENT MAINTENANCE (E.G., APPLICANT'S TOW TRUCKS, FORK TRUCKS, ETC.) WHICH SHALL OCCUR INDOORS ONLY.
- 24.) PARCEL 7140110 IMPERVIOUS AREA IS 90%
PARCEL 7140111 PRE-DEVELOPMENT IMPERVIOUS AREA IS 59%
PARCEL 7140111 POST-DEVELOPMENT IMPERVIOUS AREA IS 42%

LEGEND

EXISTING	NEW	DESCRIPTION
		BUILDING WALL
		CONC. WALKS
		CONTOURS
		SPOT ELEVATION
		STORM SEWER
		SANITARY SEWER & MANHOLES
		WATER LINE, VALVE & FIRE HYDRANT
		WATER METER
		UNDERGROUND ELECTRIC LINE
		OVERHEAD ELECTRIC LINE
		GAS LINE
		EDGE OF PAVEMENT
		CURB AND GUTTER CG-6
		FENCE
		EDGE OF GRAVEL
		PROPERTY LINE
		ADJACENT PROPERTY LINE
		CONCRETE
		CENTERLINE
		POWER POLE
		FENCE
		RIP RAP
		GRAVEL PILE



BOUNDARY INSERT

SCALE: 1" = 100'

INDEX OF SHEETS:

SHEET	SHEET #	SHEET TITLE
C-100	1 of 8	COVER SHEET
C-101	2 of 8	EXISTING CONDITIONS & SITE DEMO
C-102	3 of 8	SITE LAYOUT & DIMENSION PLAN
C-103	4 of 8	GRADING AND E & S PLAN
C-104	5 of 8	LANDSCAPE PLAN
C-105	6 of 8	SITE AND EROSION & SEDIMENT CONTROL DETAILS
C-106	7 of 8	UTILITY DETAILS
C-107	8 of 8	EROSION & SEDIMENT CONTROL NOTES

ABBREVIATIONS

AB	ANCHOR BLOCK	HOR	HORIZONTAL
BLDG	BUILDING	IN	INVERT
BC	BOTTOM FACE OF CURB	IN	INVERT IN
BM	BENCHMARK	IO	INVERT OUT
CL	CENTERLINE	MAX	MAXIMUM
CL	CLASS	MECH	MECHANICAL
CMP	CORRUGATED METAL PIPE	MH	MANHOLE
CO	CLEANOUT	MIN	MINIMUM
CONC	CONCRETE	PVC	BEGN VERTICAL CURVE
DI	DROP INLET	PVC	POLYVINYL CHLORIDE
DIA	DIAMETER	FVT	END VERTICAL CURVE
DIP	DUCTILE IRON PIPE	RCP	REINFORCED CONCRETE PIPE
EA	EACH	SHT	SHEET
EC	EROSION CONTROL	STR	STRUCTURE
ELEV	ELEVATION	SW	SIDEWALK
EP	EDGE OF PAVEMENT	T	TOP
ES	END SECTION	TBR	TO BE REMOVED
EX	EXISTING	TC	TOP BACK OF CURB
FB	FACE OF BUILDING	TYP	TYPICAL
FF	FINISHED FLOOR	VB	VERTICAL BEND
ELEV	ELEVATION	VDOT	VIRGINIA DEPARTMENT OF TRANSPORTATION
FH	FIRE HYDRANT	WWM	WELDED WIRE MESH
GV	GATE VALVE	W/	WITH
HB	HORIZONTAL BEND	WV	WATER VALVE

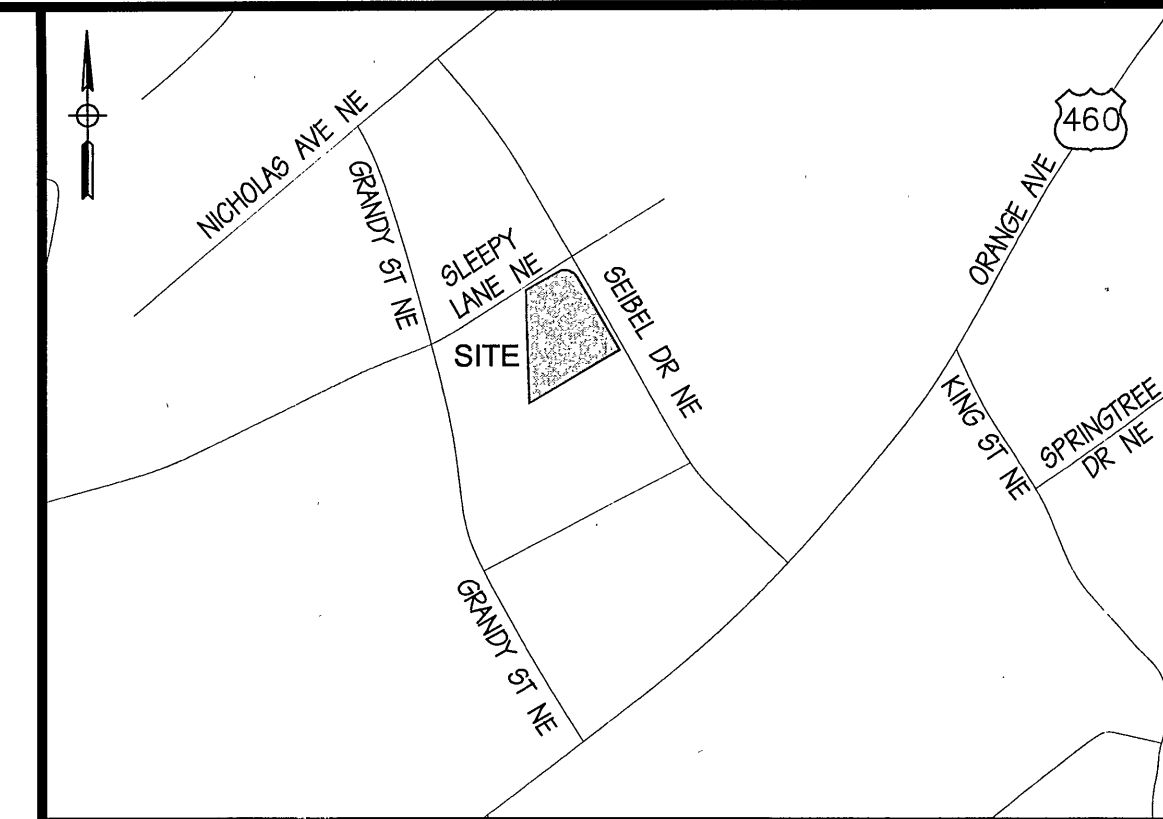
PARKING CALCULATIONS (INDUSTRIAL):

PER SECTION 38.2-652, TABLE 652.2 REQUIRED OFF-STREET PARKING SPACES - INDUSTRIAL

REQUIRED: 1 SPACE PER EMPLOYEE
NUMBER OF EMPLOYEES (10) = 10 SPACES REQUIRED

REQUIRED HANDICAPPED PARKING - (4.1.2-ACCESSIBLE SITES AND EXTERIOR FACILITIES)
76 TO 100 SPACES = 4 H.C. SPACES

83 SPACES PROVIDED (PLUS 4 HANDICAPPED SPACES) = 87 TOTAL SPACES



VICINITY MAP

SCALE: 1" = 800'

CONSTRUCTION PROCEDURE REQUIREMENTS

1. RIGHT-OF-WAY EXCAVATION PERMIT - PRIOR TO THE COMMENCEMENT OF ANY DIGGING, ALTERATION OR CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY (STREETS, ALLEYS, PUBLIC EASEMENTS), A RIGHT-OF-WAY EXCAVATION PERMIT SHALL BE APPLIED FOR AND OBTAINED BY THE CONTRACTOR FROM THE CITY OF ROANOKE.
2. LAND DISTURBANCE PERMIT - AN APPROVED EROSION AND SEDIMENT CONTROL PLAN FOR ANY BORROW/FILL SITES ASSOCIATED WITH THE PROJECT MUST BE OBTAINED PRIOR TO THE ISSUANCE OF A LAND DISTURBANCE PERMIT.
3. PLANS AND PERMITS - A COPY OF THE PLANS AS APPROVED BY THE CITY (SIGNED BY THE PROPER CITY OFFICIALS) AND ALL PERMITS ISSUED BY THE CITY SHALL BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES OF ONGOING CONSTRUCTION.
4. LOCATION OF UTILITIES - THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.
5. CONSTRUCTION ENTRANCE - THE CONTRACTOR SHALL INSTALL AN ADEQUATE CONSTRUCTION ENTRANCE FOR ALL CONSTRUCTION RELATED EGRESS FROM THE SITE. SIZE AND COMPOSITION OF CONSTRUCTION ENTRANCE SHALL BE AS SHOWN ON THE PLANS.
6. STREETS TO REMAIN CLEAN - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT THE PUBLIC STREET ADJACENT TO THE CONSTRUCTION ENTRANCE REMAINS FREE OF MUD, DIRT, DUST, AND/OR ANY TYPE OF CONSTRUCTION MATERIALS OR LITTER AT ALL TIMES.
7. BARRICADES/DITCHES - THE CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF ALL EXCAVATED DITCHES AND SHALL FURNISH AND ENSURE THAT ALL BARRICADES PROPER AND NECESSARY FOR THE SAFETY OF THE PUBLIC ARE IN PLACE.
8. SEWER AND PAVEMENT REPLACEMENT - CONSTRUCTION OF SANITARY SEWERS AND THE REPLACEMENT OF PAVEMENT SHALL BE IN ACCORDANCE WITH APPROVED STANDARDS AND SPECIFICATIONS OF THE CITY OF ROANOKE AND THE WESTERN VIRGINIA WATER AUTHORITY.
9. APPROVED PLANS/CONSTRUCTION CHANGES - ANY CHANGE OR VARIATION FROM CONSTRUCTION DESIGN AS SHOWN ON THE OFFICIALLY APPROVED PLANS SHALL BE APPROVED BY THE EROSION AND SEDIMENT CONTROL AGENT PRIOR TO SAID CHANGES OR VARIATION IN CONSTRUCTION BEING MADE.
10. FINAL ACCEPTANCE/CITY - THE OWNER OR DEVELOPER SHALL FURNISH THE CITY OF ROANOKE'S PLANNING BUILDING AND DEVELOPMENT DEPARTMENT WITH A FIELD SURVEYED FINAL CORRECT SET OF AS-BUILT PLANS OF THE NEWLY CONSTRUCTED STORM DRAIN AND/OR STORMWATER MANAGEMENT FACILITIES PRIOR TO FINAL ACCEPTANCE AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE CITY. AS-BUILT PLANS SHALL BE PROVIDED IN THE VIRGINIA STATE PLANE VIRGINIA SOUTH COORDINATE SYSTEM, NAD 1983, HFS 4502 FEET, US SURVEY FEET, DATUM NA 83, IN THE FORM OF ONE (1) PAPER COPY AND ONE (1) DIGITAL AUTOCAD FILE.

City of Roanoke
Planning Building and Development

DEVELOPMENT PLAN APPROVED

Agent, Planning Commission
Development Engineer
Zoning Administrator
Any changes to this approved plan must be coordinated with the Agent to the Planning Commission and revisions approved prior to construction.

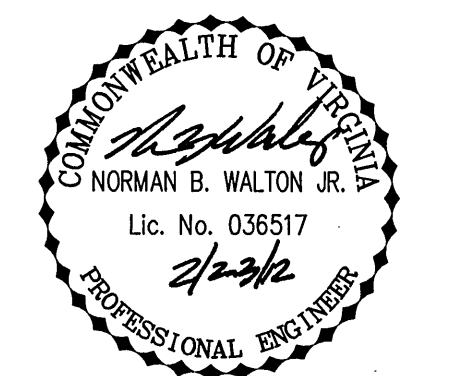
As-Built 04/30/2012

PERKINS & ORRISON
ENGINEERS ■ PLANNERS ■ SURVEYORS

27 GREEN HILL DRIVE, FOREST, VIRGINIA 24551
PHONE: 434-525-5885 FAX: 434-525-5886
EMAIL: pro@perkins-orrison.com

PO BOX 1567 17 W. NELSON STREET LEXINGTON, VIRGINIA 24450
PHONE: 540-464-9001 FAX: 540-464-5009
EMAIL: PNO@PERKINS-ORRISON.COM

CONSULTANTS



JOB:

OLD DOMINION AUTO SALVAGE
SITE PLAN
CITY OF ROANOKE, VIRGINIA

RECEIVED

FEB 23 2012

CITY OF ROANOKE
PLANNING BUILDING AND DEVELOPMENT

CLIENT:

W.A. STRATTON
JEFF MOTLEY

MARK	DATE	DESCRIPTION
6	2/23/12	PER ROANOKE CITY COMMENTS
5	1/31/12	PER ROANOKE CITY COMMENTS
4	12/06/11	PER ROANOKE CITY COMMENTS
3	09/28/11	PER ROANOKE CITY COMMENTS
2	08/31/11	PER ROANOKE CITY COMMENTS
1	07/29/11	PER ROANOKE CITY COMMENTS

ISSUE:	DESCRIPTION
CONTOUR INTERVAL:	2'
DESIGNED BY:	NBW
DRAWN BY:	MJD
CHECKED BY:	NBW

SHEET TITLE
COVER SHEET
APPROVED APR 25 2012
PERMIT # CP110009
C-100
JOB NO: 10397 SHEET NO: 1 OF 8