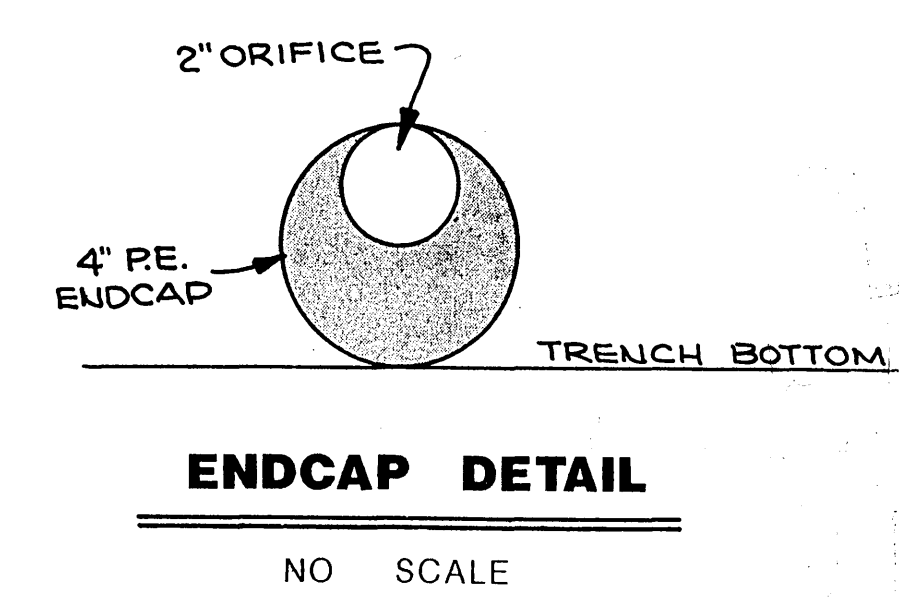
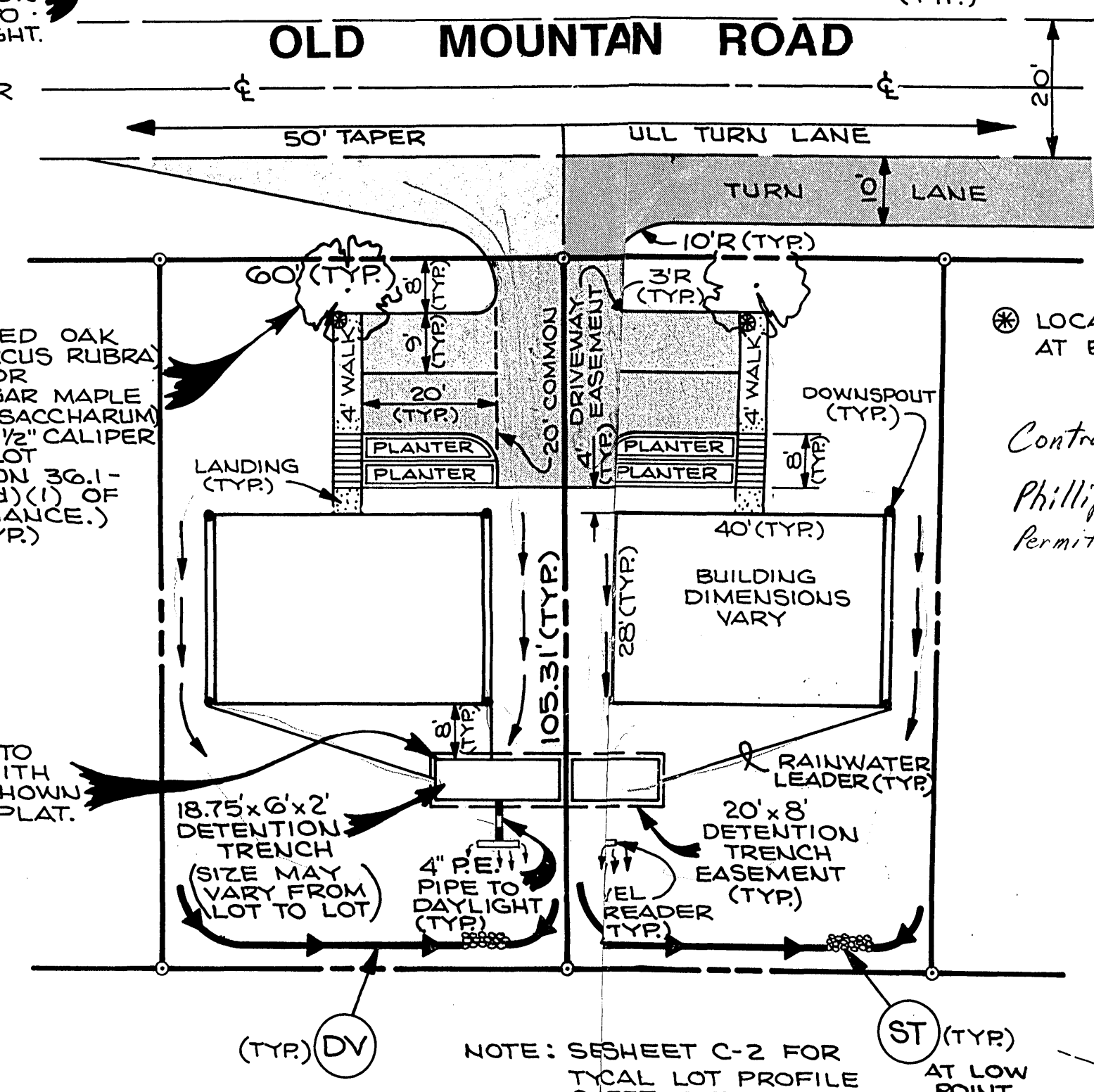
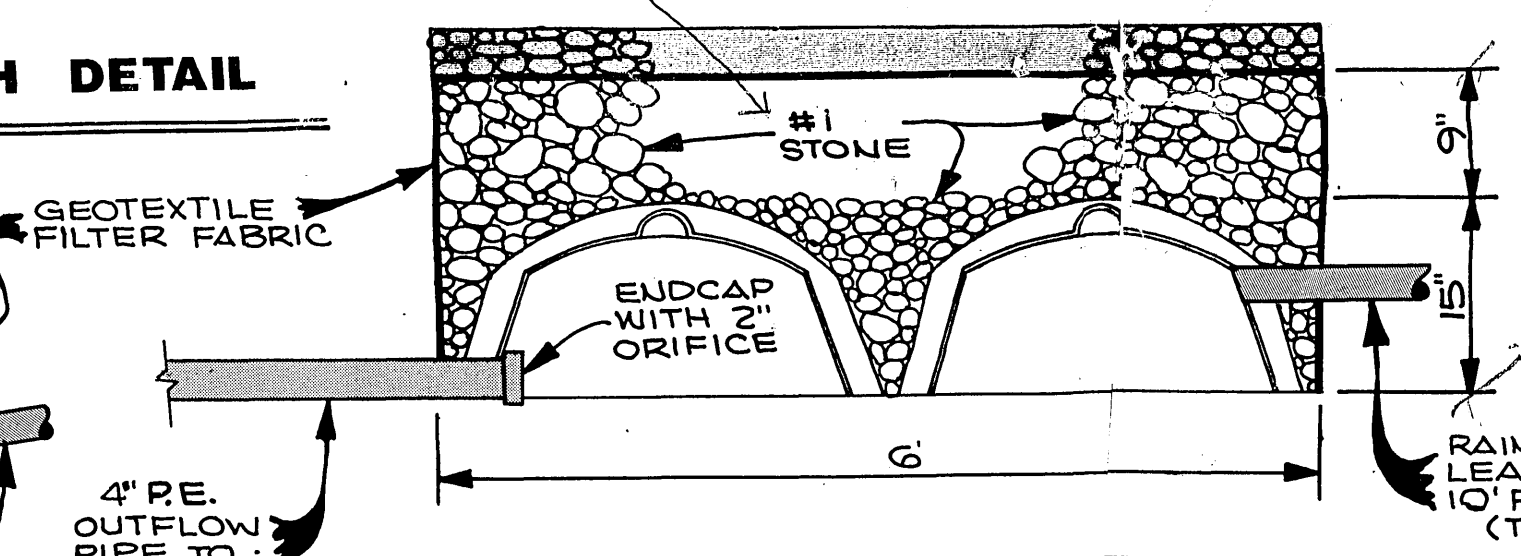
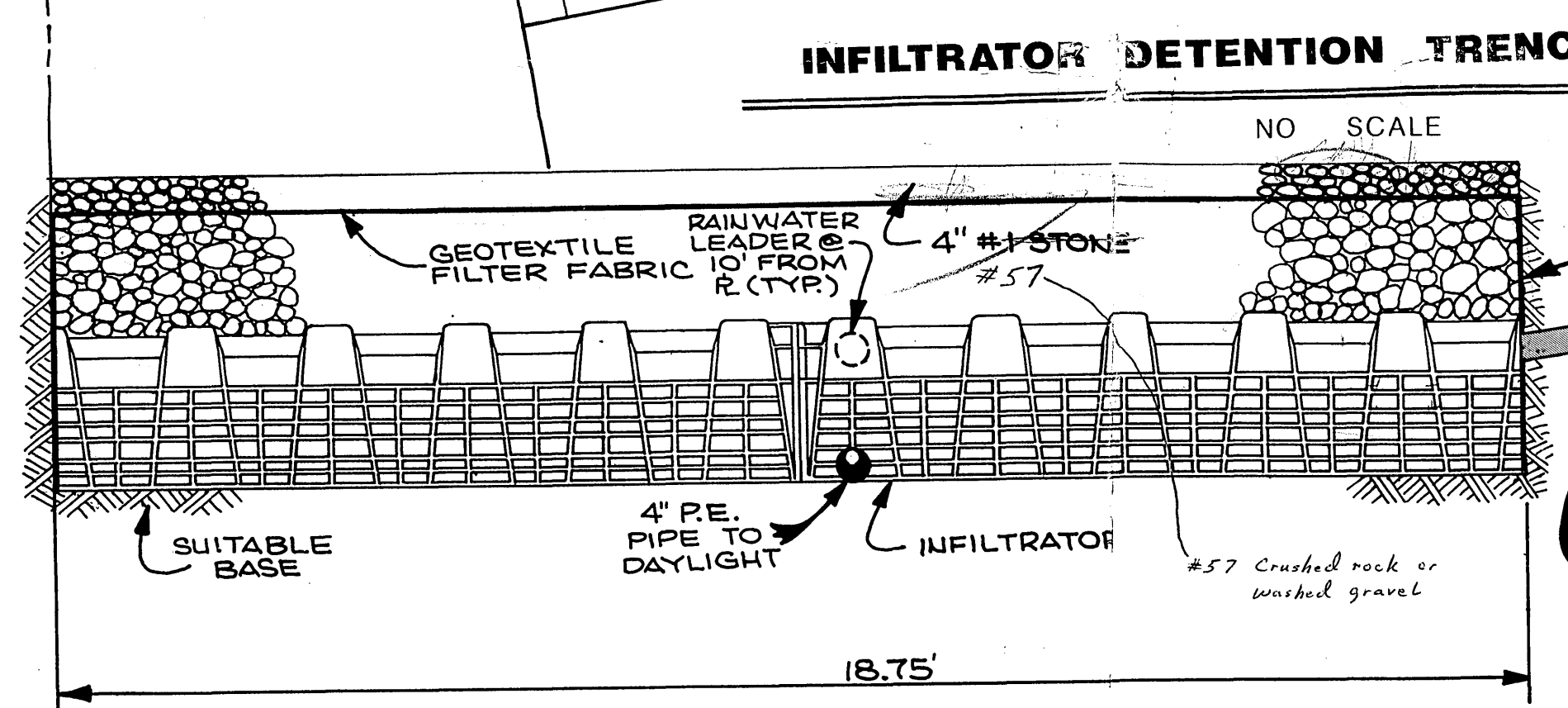
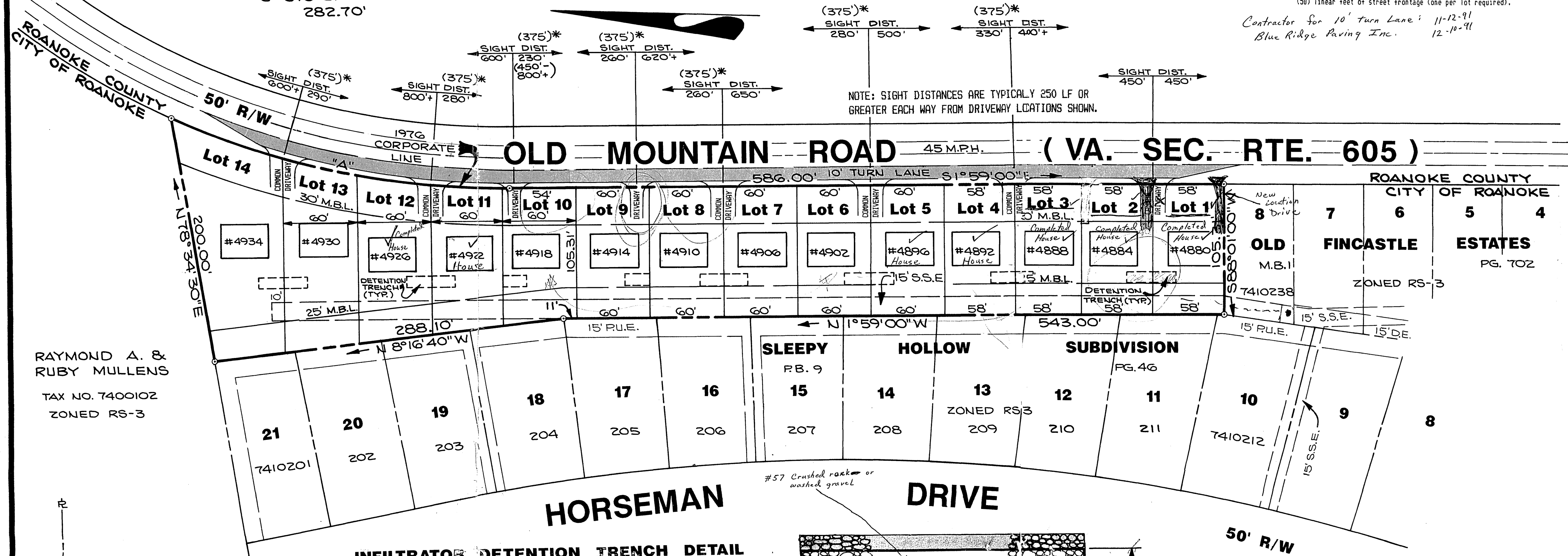


"A"
Δ = 24°40'20"
R = 661.62'
A = 284.90'
T = 144.69'
C = S10°21'10"W
282.70'

GENERAL NOTES
1. All materials and methods shall comply with the applicable standards of the American Society of Testing and Materials (ASTM), American National Standards Institute (ANSI), Virginia Department of Transportation (VDOT), Commonwealth of Virginia Department of Health (VDH) and/or the City of Roanoke, latest revisions. Recommendations of applicable materials manufacturers shall also be followed as part of this contract.

* Table IX - 10 Stopping Sight Distance for Turning Roadways (Page 801 - AASHTO Geometric Design Of Highways and Streets - 1984 Edition)

LANDSCAPING NOTES
STREET TREES: In any required yard abutting a public street, deciduous trees, having a minimum caliper of two (2) inches at planting, shall be provided at a rate of one (1) tree per fifty (50) linear feet of street frontage (one per lot required).
Contractor for 10' turn Lane: 11-12-91
Blue Ridge Paving Inc. 12-10-91



- NOTICE: ALL LANDOWNERS, DEVELOPERS, AND CONTRACTORS
- Failure to comply with the CONSTRUCTION PROCEDURE REQUIREMENTS listed below may result in the costly removal of structures, time delays, or the issuance of a Stop Work Order.
- CONSTRUCTION PROCEDURE REQUIREMENTS
- CITY INSPECTIONS: To ensure the coordination of timely and proper inspections, a preconstruction conference shall be initiated by the Contractor with the City Engineering Department. Call 703-981-2731 to arrange a conference at least three (3) days prior to anticipated construction.
 - STREET OPENING PERMIT: Prior to the commencement of any digging, alteration, or construction within the public right-of-way (streets, alleys, public easements) a street opening permit shall be applied for and obtained by the Contractor from the City of Roanoke.
 - PLANS AND PERMITS: A copy of the plans approved by the City (signed by the proper City officials) and all permits shall be available at the construction site at all times of ongoing construction.
 - LOCATION OF UTILITIES: The Contractor shall verify the location and elevation of all existing utilities prior to the commencement of any construction. The Engineer shall be contacted immediately:
 - if any location or elevation is different from that shown on the plans,
 - if there appears to be any conflict, or
 - upon discovery of any utility not shown on the plans.
 - MISS UTILITIES CALL "MISS UTIL" OF VIRGINIA (TOLL FREE) 1-800-552-7001 48 HOURS BEFORE YOU DIG. The Contractor shall minimize disturbance to existing utilities during construction and shall be responsible for damage caused to any utility as a result of this work.
 - CONSTRUCTION ENTRANCE: The Contractor shall install an adequate construction entrance for all construction-related egress from the site. Size and position of the construction entrance shall be determined by the City Site Plan Inspector.
 - STREETS TO REMAIN CLEAN: It shall be the responsibility of the Contractor to ensure that the public street adjacent to the construction entrance remains free of mud, dirt, dust, and/or any type of construction materials or litter at all times.
 - BARRICADES/DITCHES: The Contractor shall maintain the integrity of all excavated ditches and shall furnish and ensure that all barricades proper as necessary for the safety of the public are in place.
 - SEWER AND PAVEMENT REPLACEMENT: Construction of sanitary sewers and the replacement of pavement shall be in accordance with approved standards and specifications of the City of Roanoke.
 - APPROVED PLANS/CONSTRUCTION CHANGES: Any change or variation from construction design as shown on the officially approved plans shall be approved by the City Engineer prior to said changes or variations in construction being made.
 - FINAL ACCEPTANCE/CITY: The Developer/Contractor shall furnish the City of Roanoke Engineering Department with a final correct set of "as-built" plans prior to final acceptance by the City. This applies only to street improvements and utilities that are intended to be maintained by the City of Roanoke (i.e., water, sanitary sewer and/or storm drains).

APPROVED: *Edward R. Fisher* 7/13/92
AGENT FOR PLANNING COMMISSION
CITY OF ROANOKE VIRGINIA
Charles M. Puffer 7/13/92
CITY ENGINEER
CITY OF ROANOKE VIRGINIA

Placement/construction of the detention trench within its associated easement is critical for ensuring the long term maintenance and function of the trench. It is the responsibility of the general contractor, who builds on the individual lot, to understand the function and operation of the detention trench and to install it in accordance with these plans/plat (as approved) in location, elevation and function.

Land Disturbing Permit
No. 900822-0282D
4934

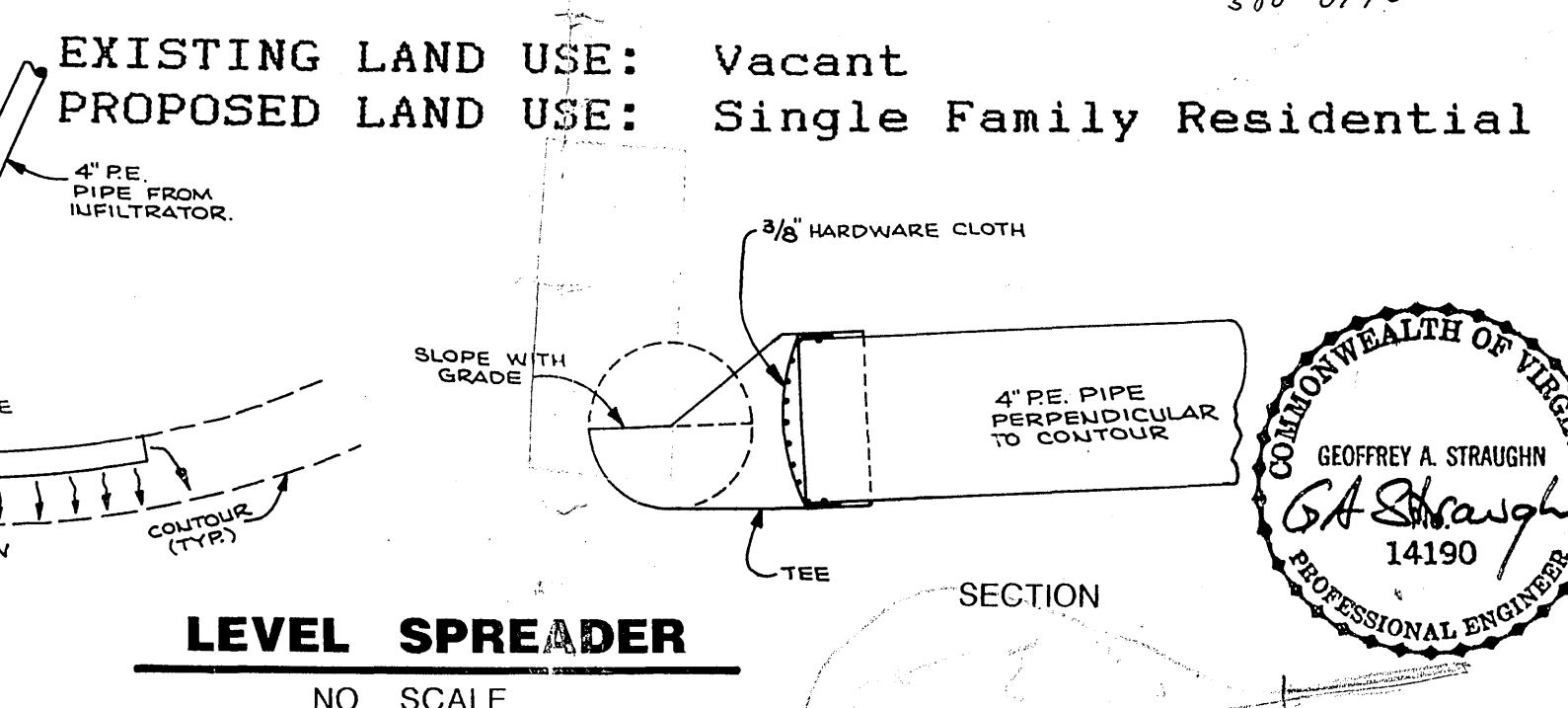
GENERAL INFORMATION

OWNER: CJR Development
ADDRESS: 419 Elm Avenue, S.W.
Roanoke, Virginia 24016
TELEPHONE: (703) 982-0585 Larry Fenzel

SITE ADDRESS: 4700+ Old Mountain Road

TAX NOS.: 7410231
ACREAGE: 2.263 Ac
ZONING: RS-3

Lot's 14, 5
A.M. Cooper Const.
7108 Mt. Chestnut Rd.
989-0920
580-0190



REVISIONS	BY
12/15/89	E.J.
1/9/90	E.J.
3/7/90	E.J.
4/30/90	E.J.

CJR ESTATES
SITUATE ON OLD MOUNTAIN ROAD
CITY OF ROANOKE, VIRGINIA
DIMENSIONAL LAYOUT PLAN

SPECTRUM
ENGINEERING, P.C.
325 Mountain Avenue, Roanoke, Virginia 24016, 703-345-8020

DRAWN
E. Joyner
CHECKED
G. Straughn
11/13/89
SCALE
1" = 50'
JOB NO.
89066
SHEET
C-1