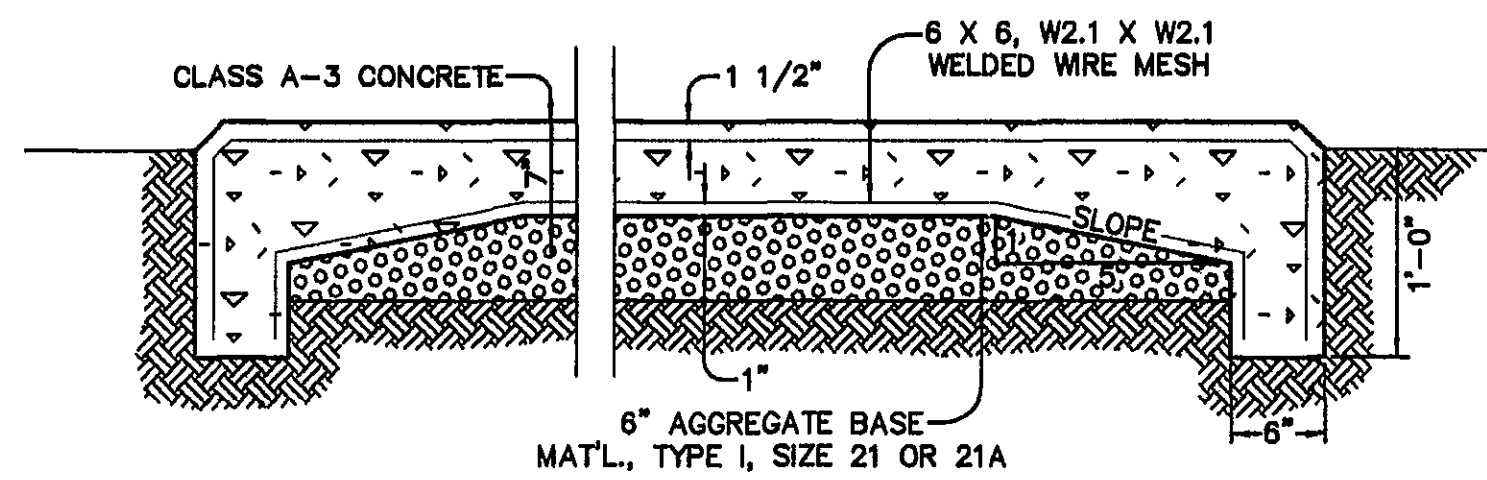
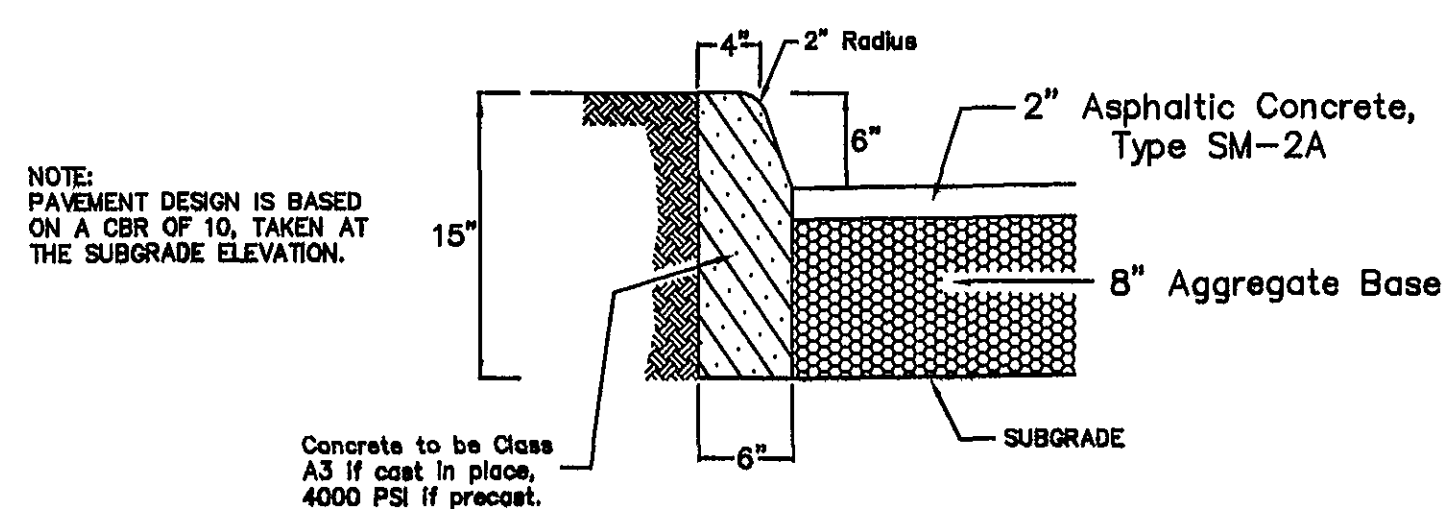
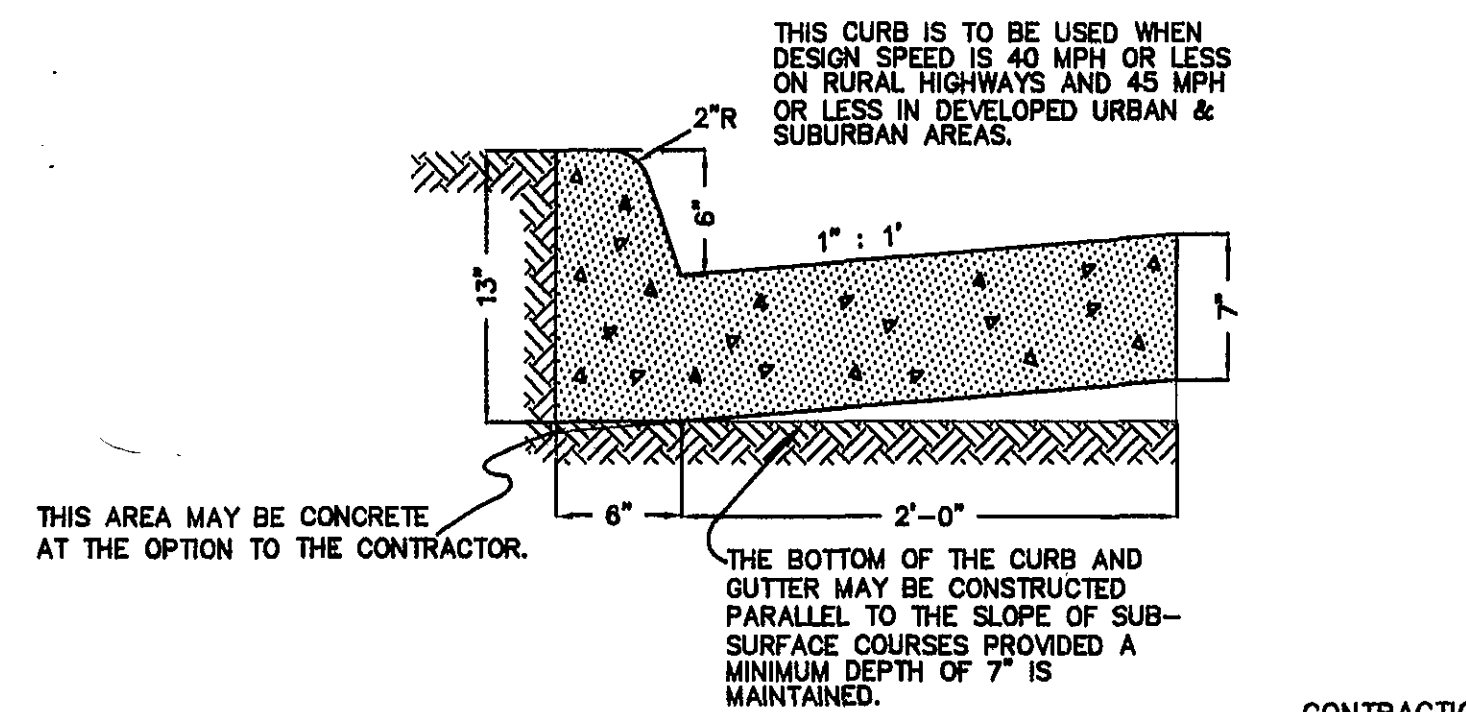




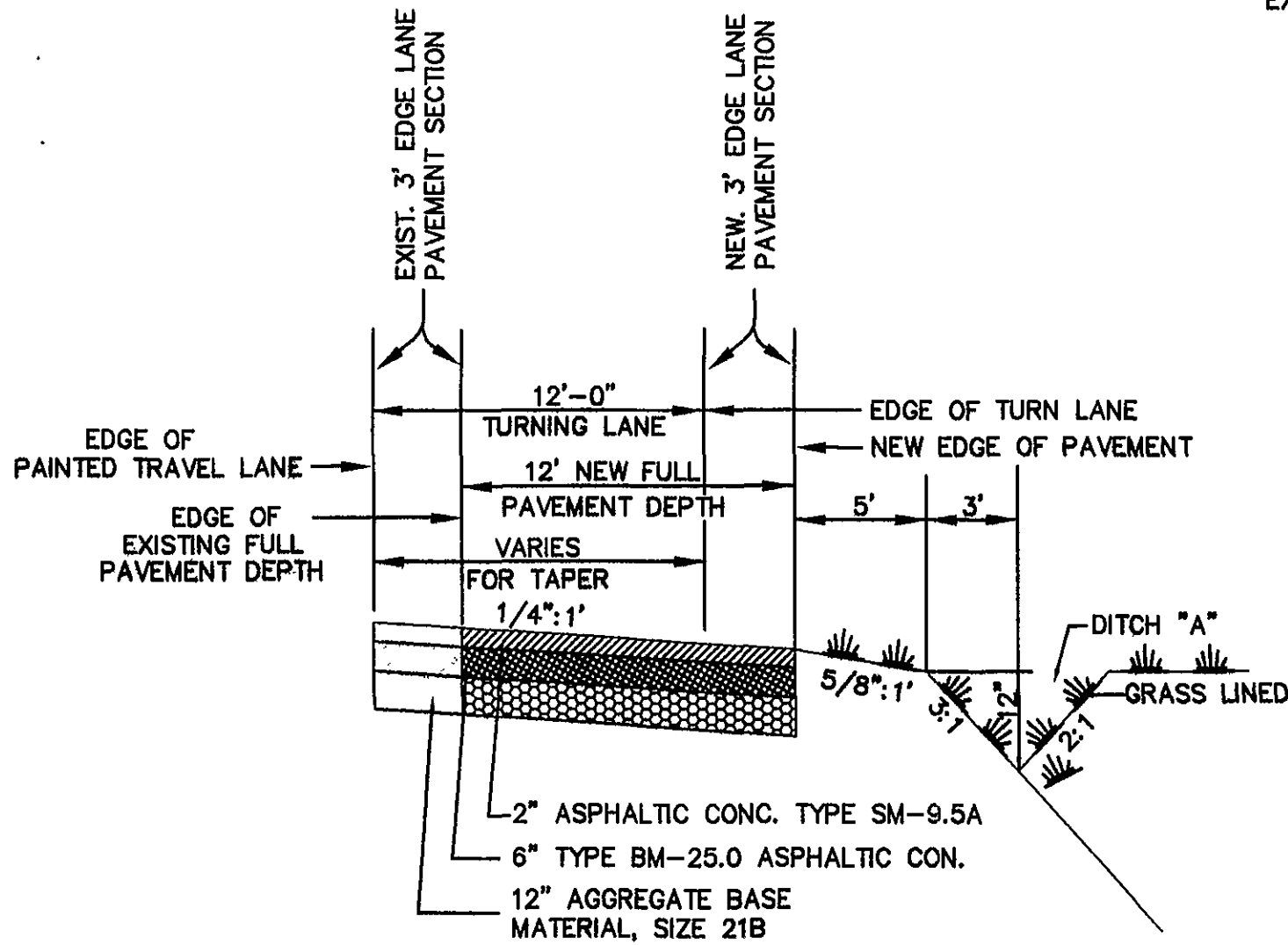
TYPICAL DUMPSTER PAD SECTION



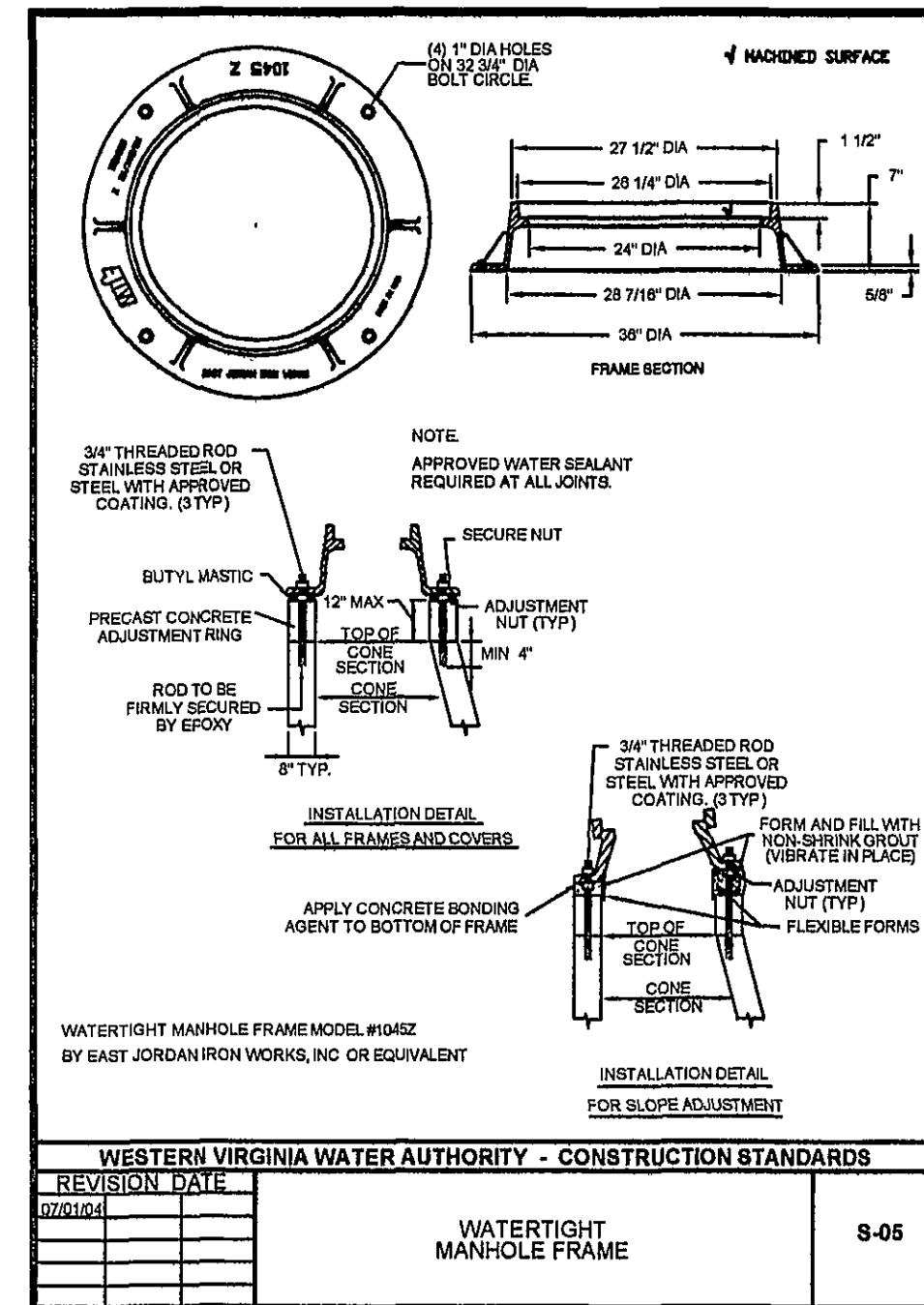
CONCRETE AND PAVEMENT DETAIL



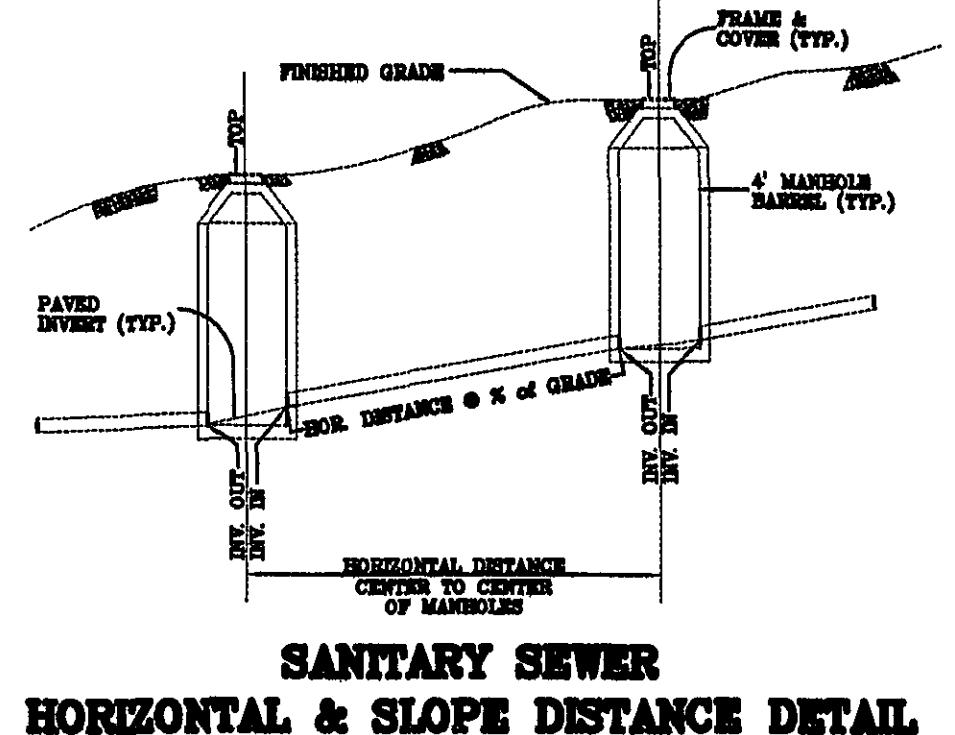
CONCRETE CURB & GUTTER (CG-6)



TAPER AND TURNING LANE

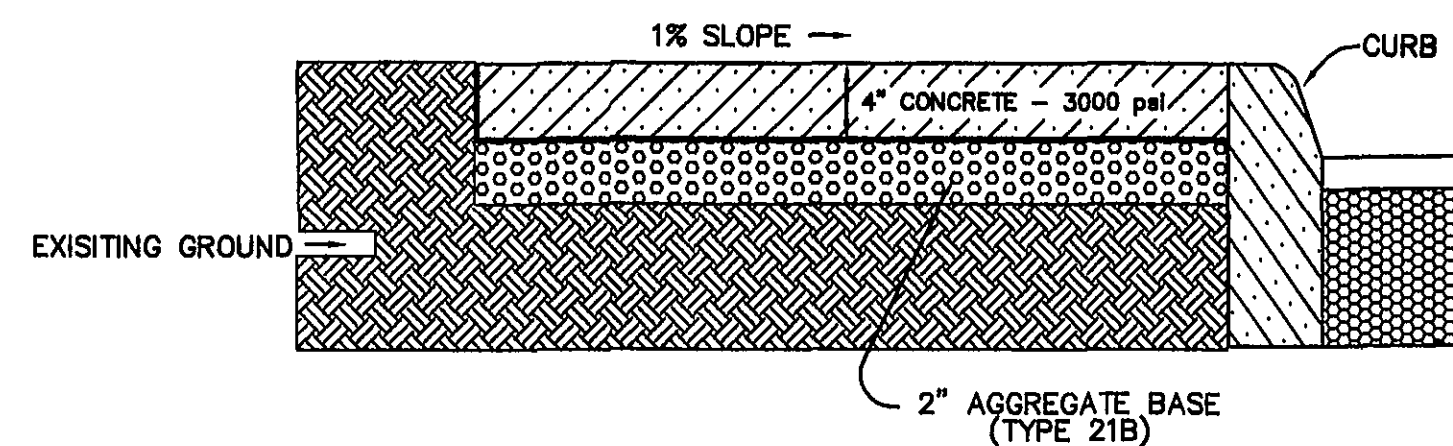


WATERTIGHT MANHOLE FRAME

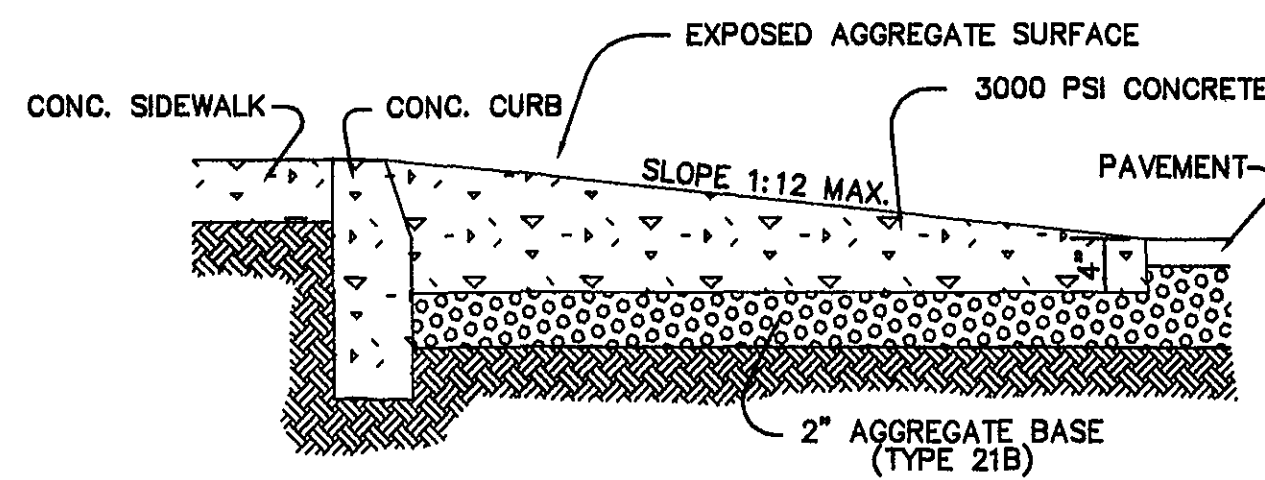


SANITARY SEWER HORIZONTAL & SLOPE DISTANCE DETAIL

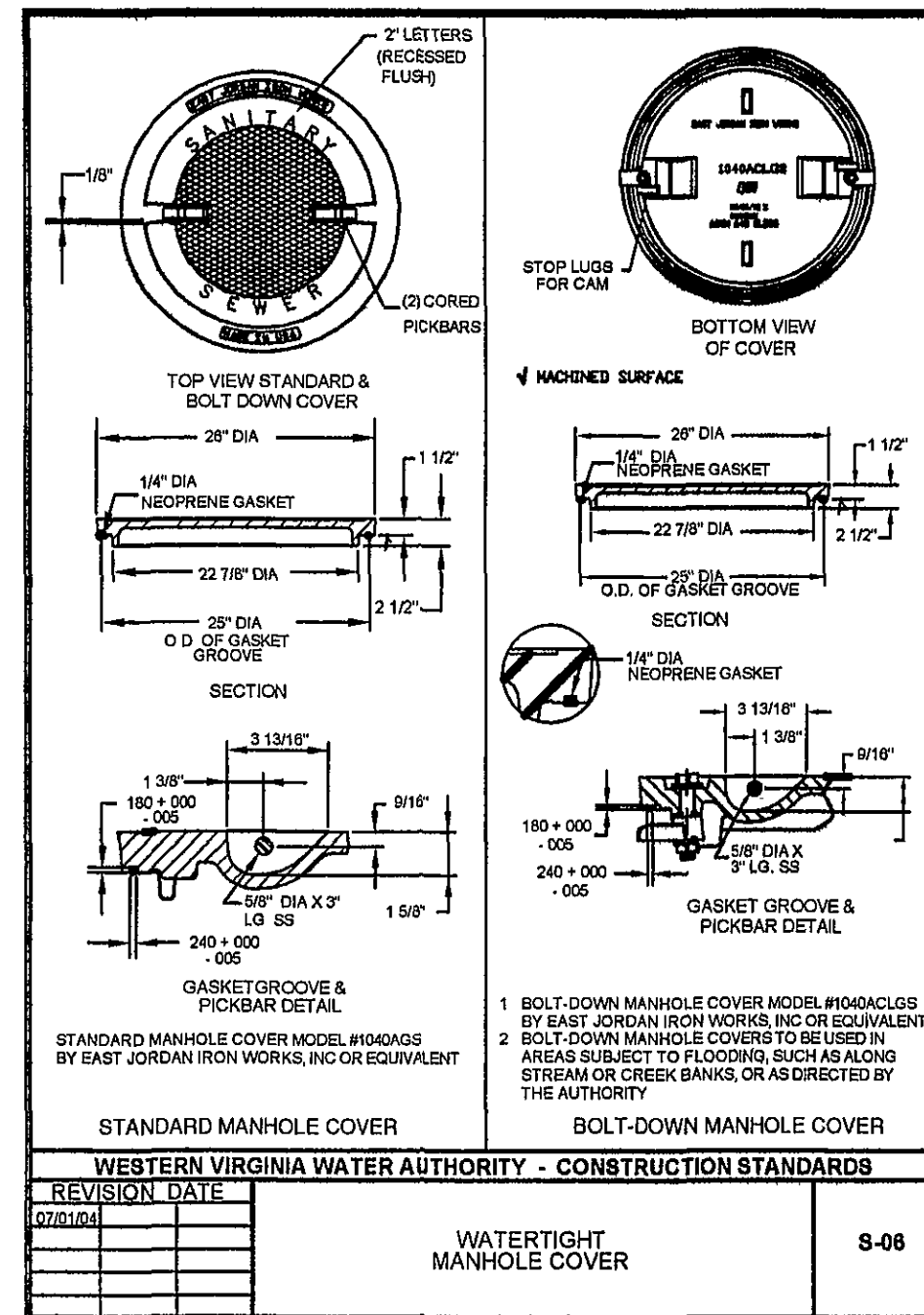
CONTRACTION JOINTS AT 8' TYPICAL



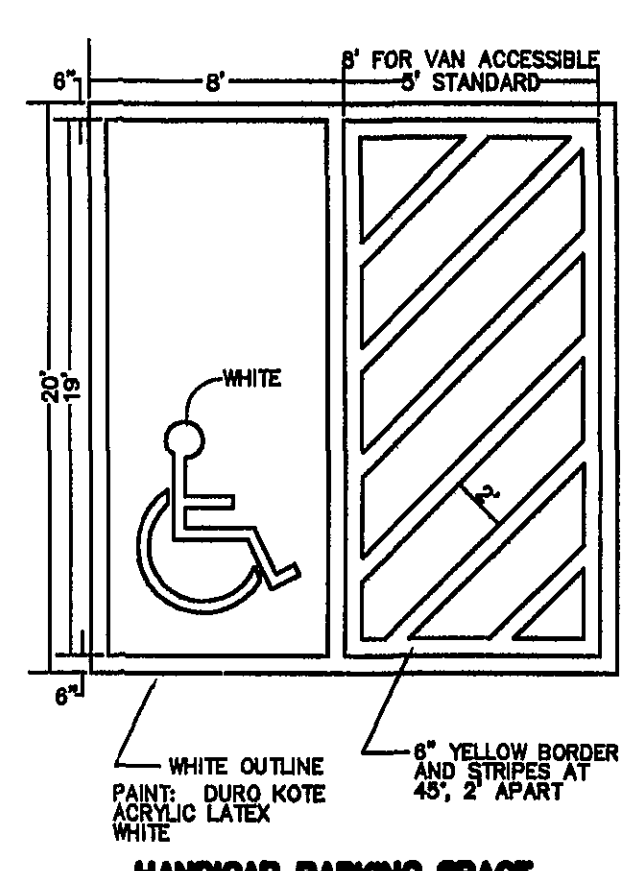
TYPICAL SIDEWALK DETAIL



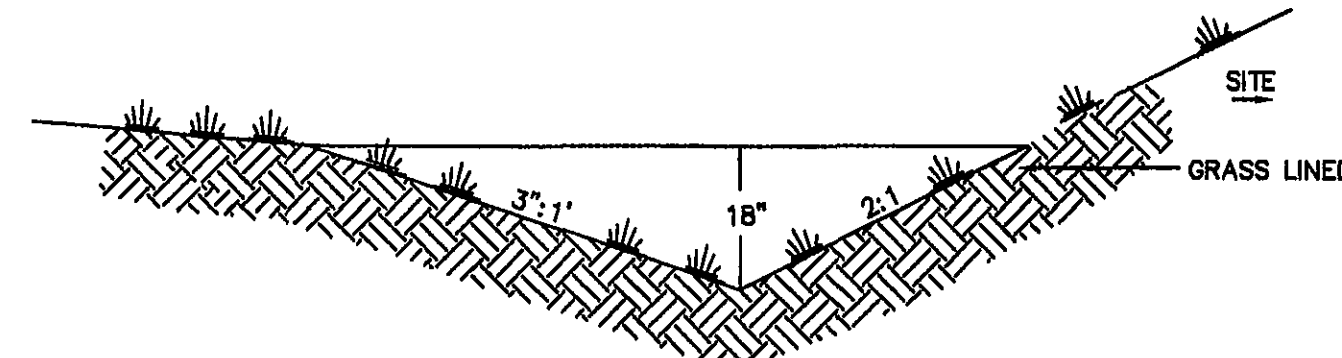
HANDICAP RAMP DETAIL



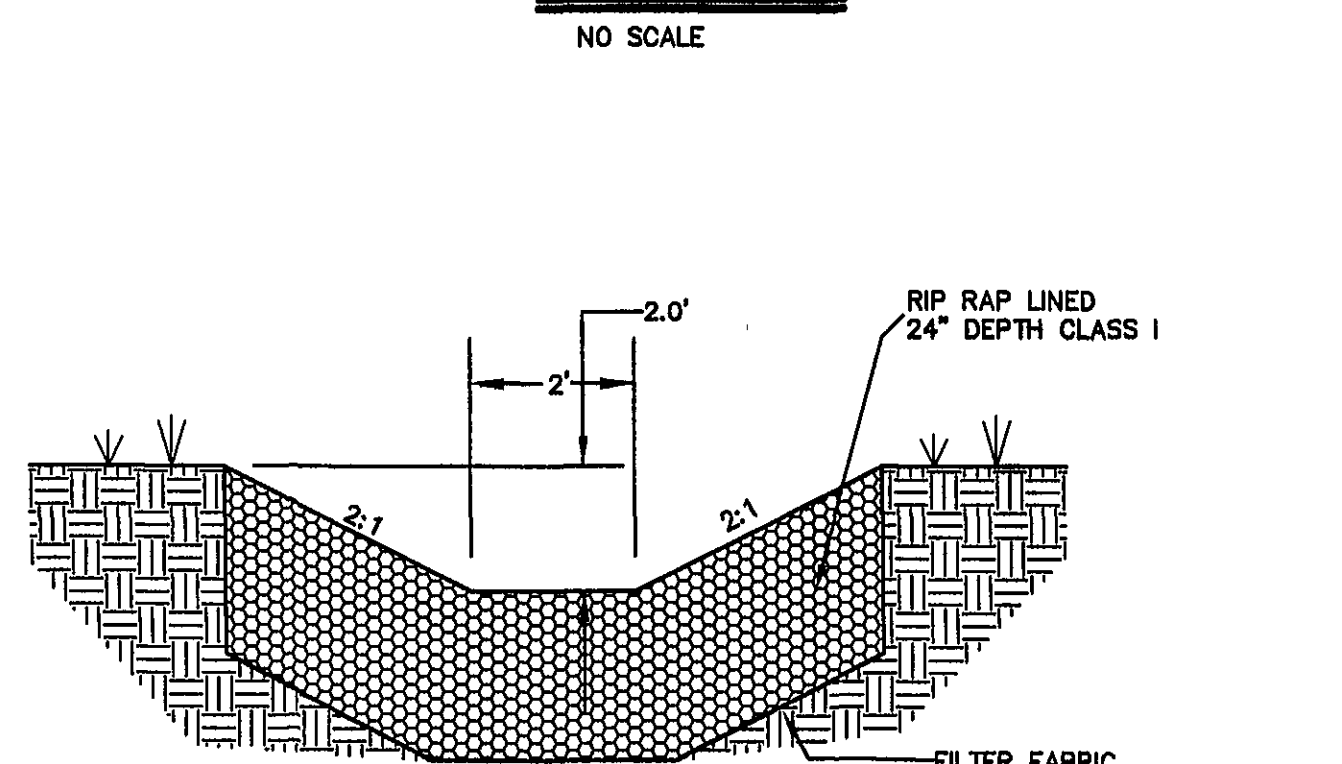
WATERTIGHT MANHOLE COVER



HANDICAP PARKING SPACE

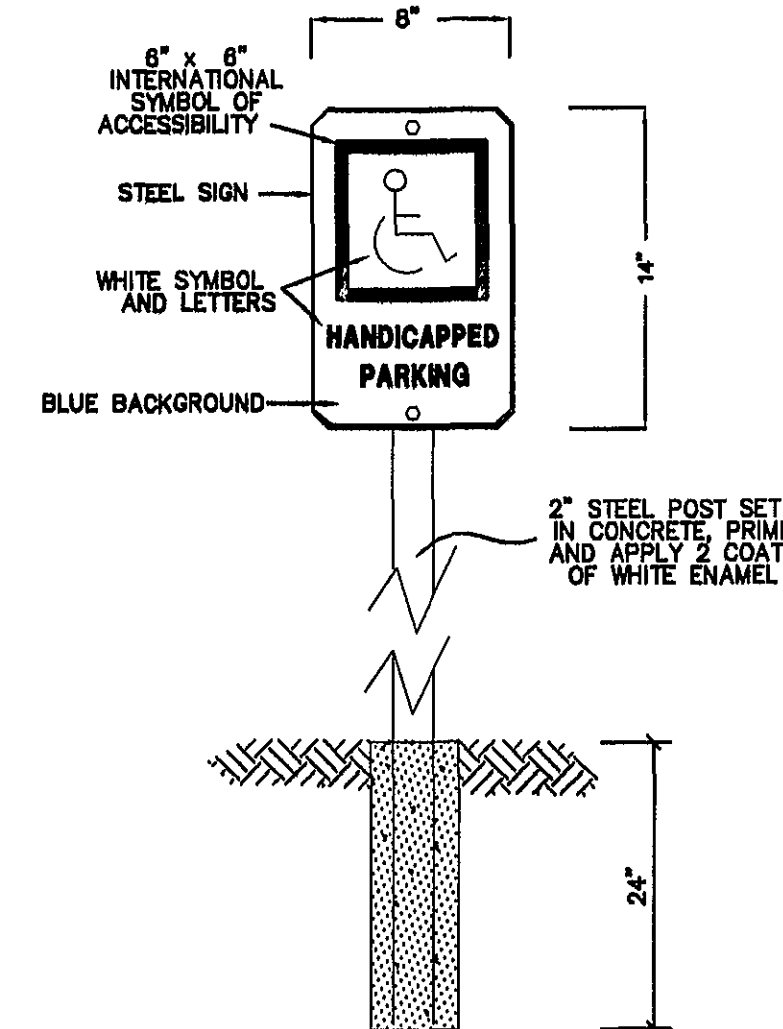


DITCH 'C'

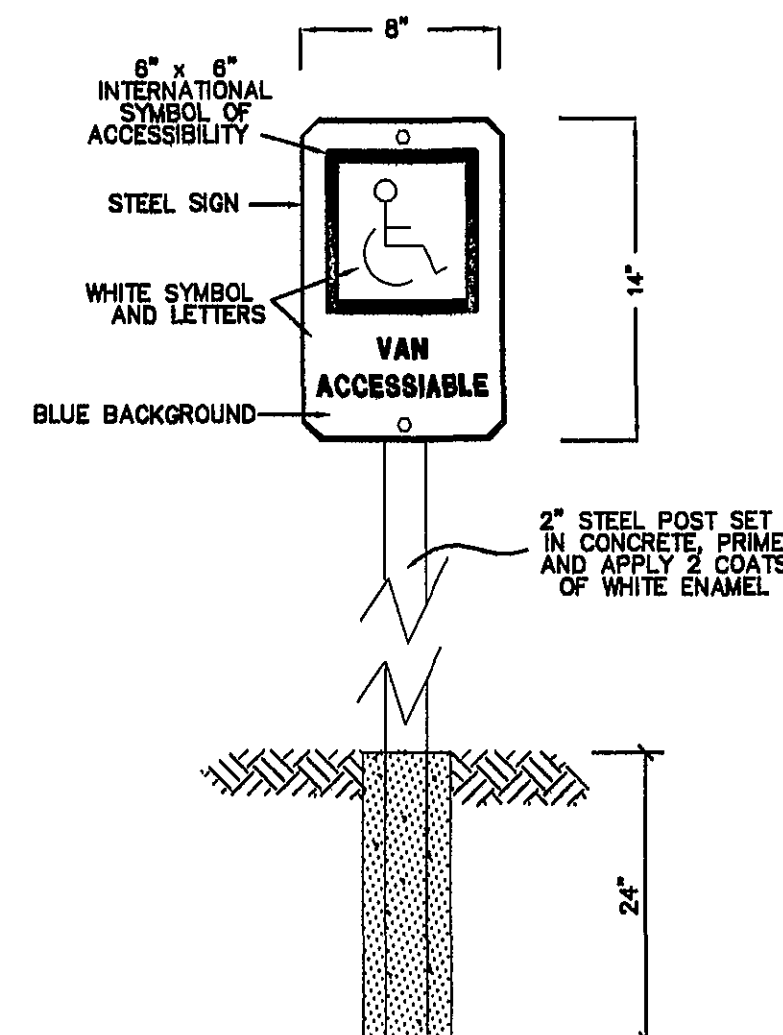


2' WIDE TRAPEZOIDAL DITCH 'B'

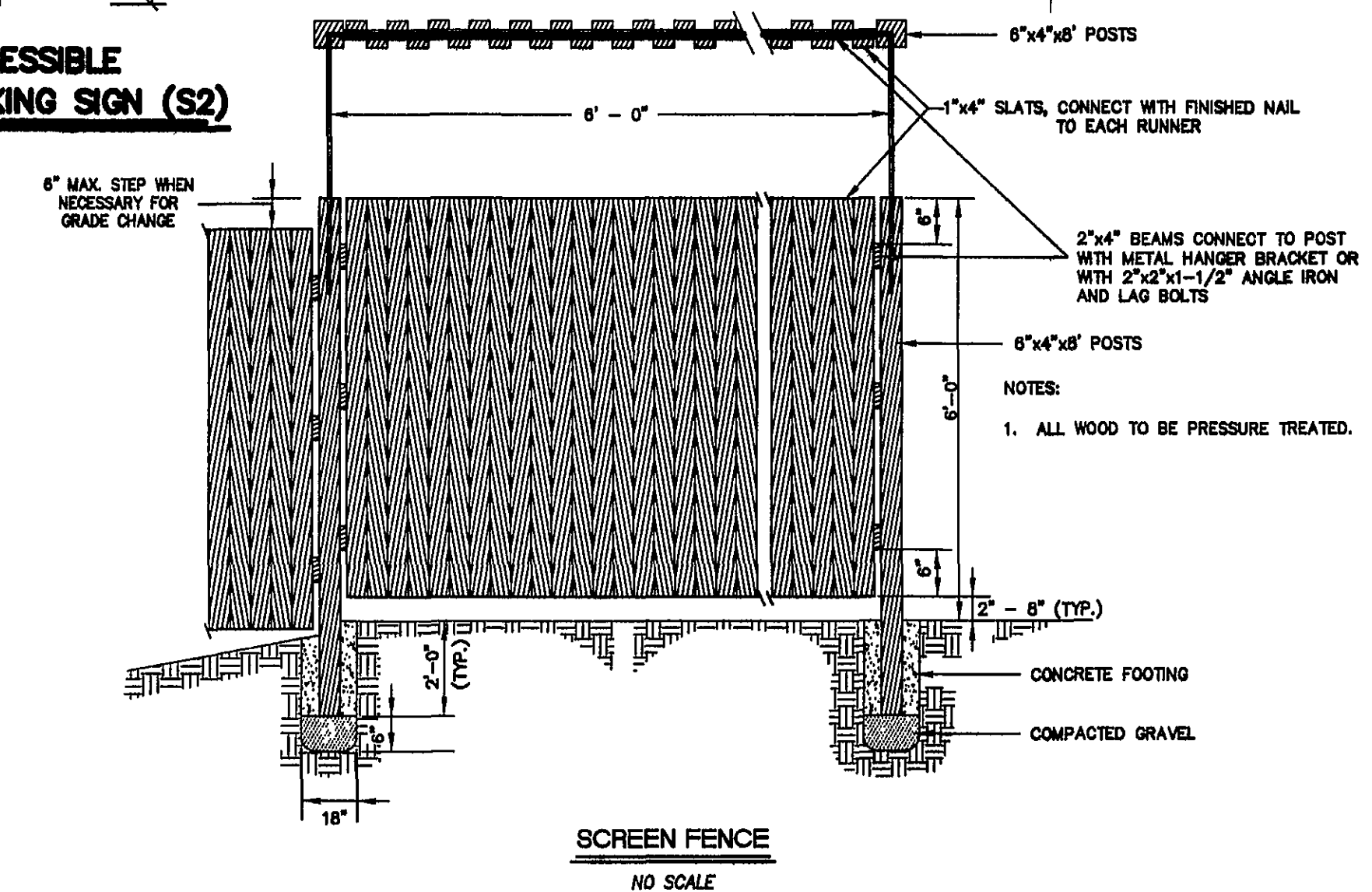
FOR DITCH 'A', SEE TURN LANE SECTION (THIS SHEET)



HANDICAP PARKING SIGN (S1)



VAN ACCESSIBLE HANDICAP PARKING SIGN (S2)



SCREEN FENCE

SITE AND ZONING TABULATIONS:

PROPOSED ZONING - C-1
PROPOSED USE - OFFICE
SITE ACREAGE - 3.14 ACRES

MINIMUM REQUIRED SETBACKS:

FRONT - 30'
REAR - 15'
SIDE YARD - 10 FEET ON ONE SIDE, 25 FEET COMBINED TOTAL
MAXIMUM HEIGHT ALLOWED - 45'
MAXIMUM BUILDING COVERAGE - 50% OF TOTAL LOT AREA
PROPOSED - 29%

MAXIMUM LOT COVERAGE - 80% OF TOTAL LOT AREA
PROPOSED - 58%

PARKING:

OFFICE 3.5/1000 SQ. FT. 37,600 SQ. FT.
REQUIRED = 133 (132 + 1 FOR STORAGE BASEMENT NORTH BUILDING)
PROPOSED = 127
7 HANDICAP SPACES
134 TOTAL PROVIDED

LANDSCAPING REQUIREMENTS:

RIGHT-OF-WAY BUFFER (714 LF)
LARGE TREES - 24
SCRUBS - 286

CANOPY COVERAGE (35% OF TOTAL DEVELOPED AREA)
AREA EQUALS 41,164 SF
45,930 SF PROVIDED

AREA ADJOINING RESIDENTIAL ZONING
SHALL PROVIDE TYPE "B" BUFFER

GENERAL NOTES:

1. THE PROPERTY SHOWN ON THESE PLANS IS LOCATED AT ROANOKE COUNTY TAX ASSESSMENT MAP #78.11-2-23
2. DEVELOPER: JAVA, LLC (LEW JAMISON)
1804 NORTHWOODS LANE
SALEM, VIRGINIA 24153
3. THE ASSESSED AREA IS APPROXIMATELY 3.14 ACRES
4. THE BOUNDARY IS THE DIRECT RESULT OF A FIELD SURVEY AND IS CERTIFIED CORRECT.
5. NO TITLE REPORT FURNISHED FOR THIS PROPERTY.
6. THE PROPERTY SHOWN ON THESE PLANS IS TO BE SERVED BY COUNTY WATER AND SEWER.
7. A PORTION OF THIS PROPERTY FALLS WITHIN THE LIMITS OF A 100 YEAR BOUNDARY AS DESIGNATED BY F.E.M.A. THIS IS BASED ON THE INSPECTION OF THE FLOOD INSURANCE RATE MAP AND HAS NOT BEEN VERIFIED BY ACTUAL FIELD ELEVATIONS. SEE MAP NUMBER 51161C0061 D DATED 10/15/93.

CONSTRUCTION NOTES:

1. ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT COUNTY OF ROANOKE STANDARDS AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND THE ENGINEER OF ANY CHANGES OR CONDITIONS ATTACHED TO PERMITS OBTAINED FROM ANY AUTHORITY ISSUING PERMITS.
3. NO SUBSOIL INVESTIGATIONS HAVE BEEN MADE BY THE DESIGNING ENGINEER.
4. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION.
5. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.

REVISION	DATE	DESCRIPTION
DESIGNED		NOTES AND DETAILS FOR
DRAWN		"OLDE DOMINION OFFICE PARK"
CHECKED		PREPARED FOR
		JAVA, LLC
		WINDSOR HILLS MAGISTERIAL DISTRICT
		ROANOKE COUNTY, VIRGINIA
		LUMSDEN ASSOCIATES, P.C.
		ENGINEERS-SURVEYORS-PLANNERS
		ROANOKE, VIRGINIA
		SCALE: NONE
		DATE: JAN 4, 05
		COMM: 95-283
		SHEET 3 of 9

