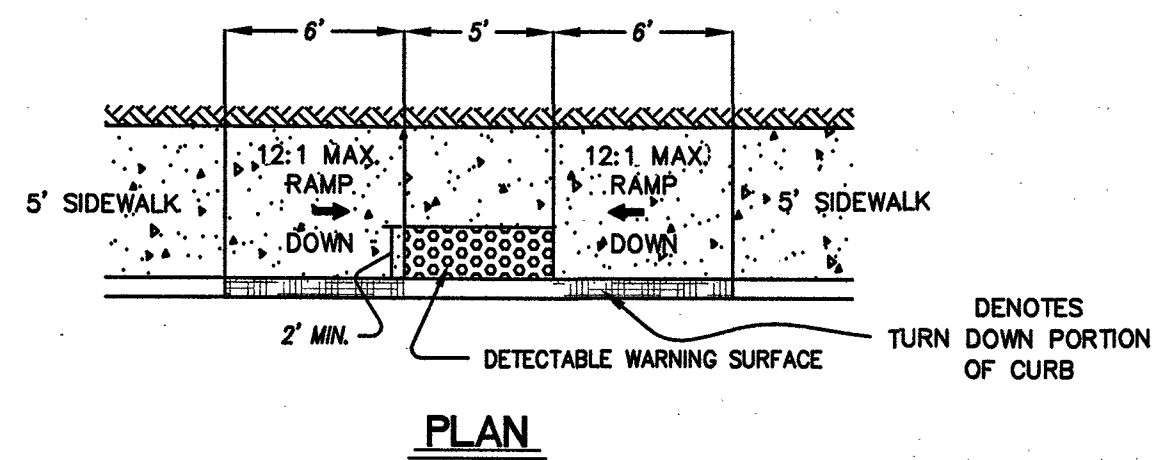
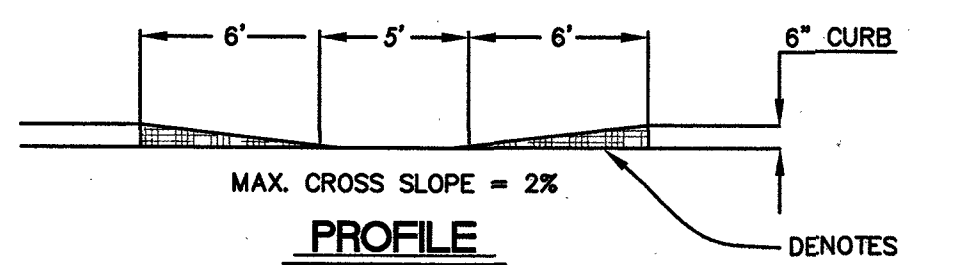


17014-comp-02-no01.plt
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PLAN

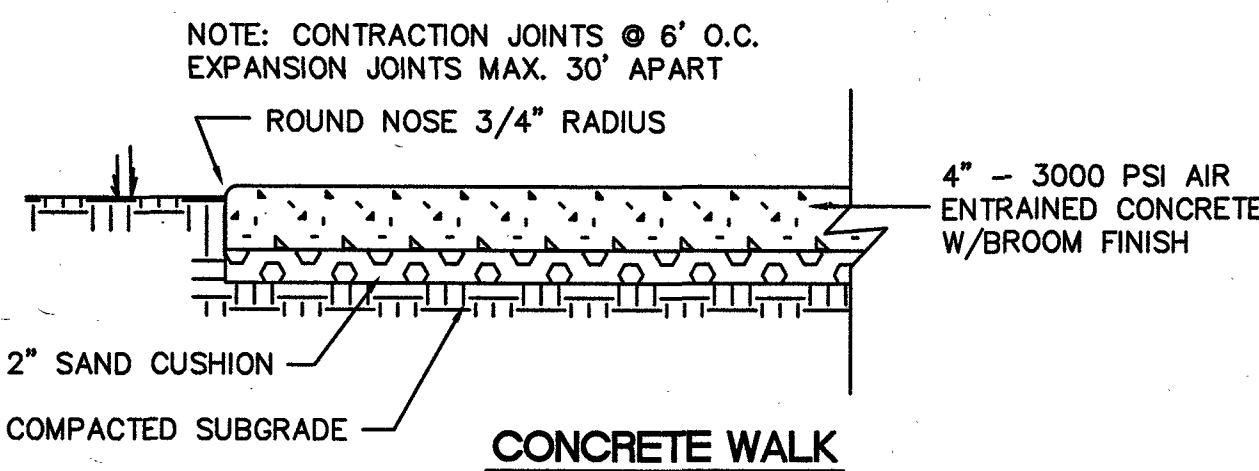


PROFILE

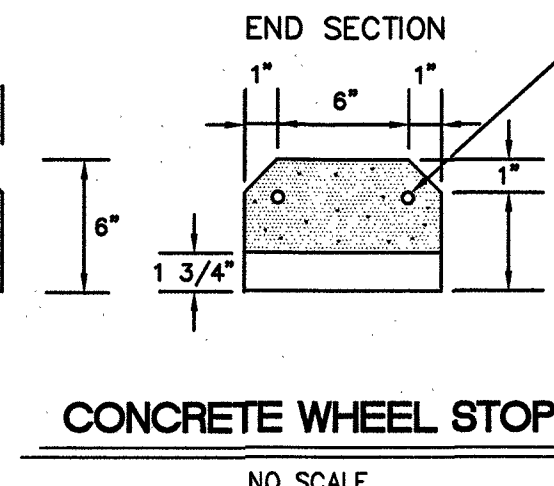
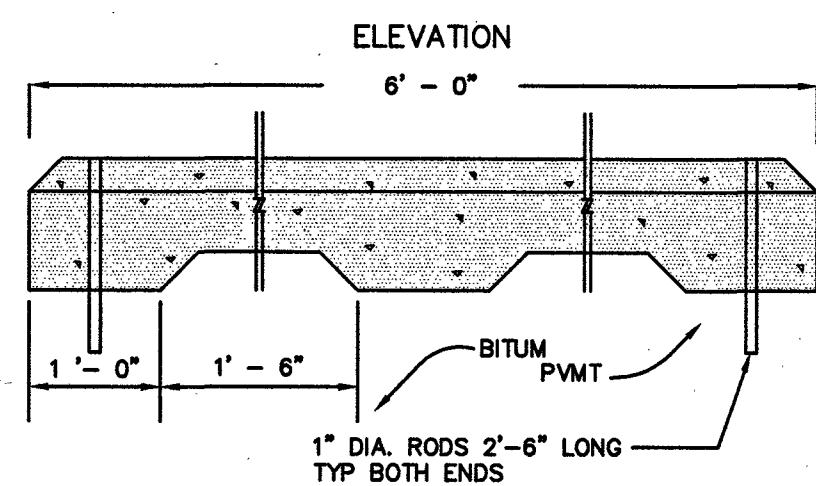
FOR ADDITIONAL NOTES AND DETAILS, SEE VDOT STD. CG-12

HANDICAP RAMP DETAIL

NO SCALE

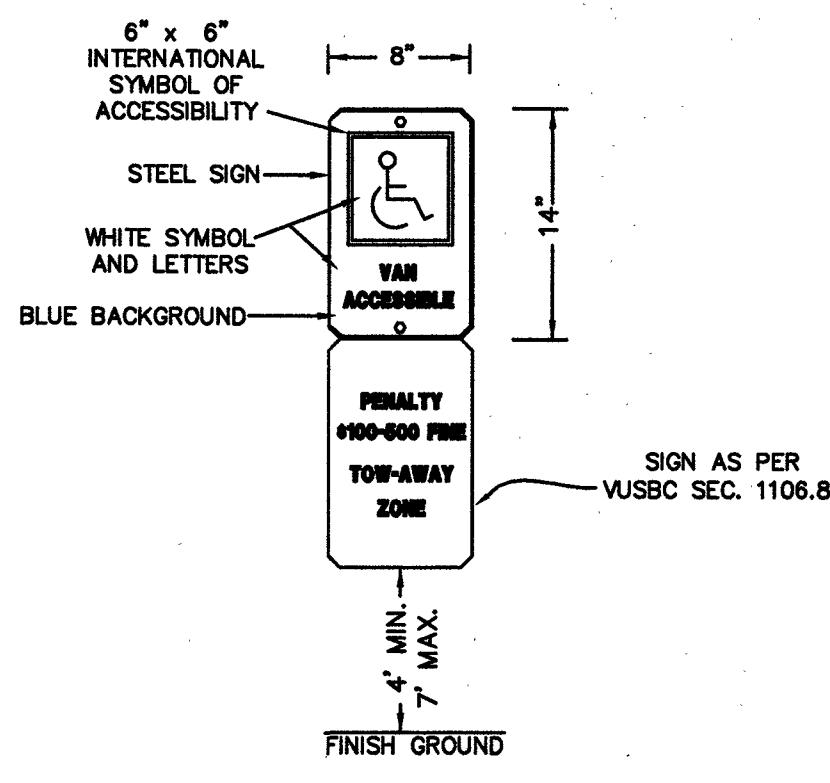


CONCRETE WALK



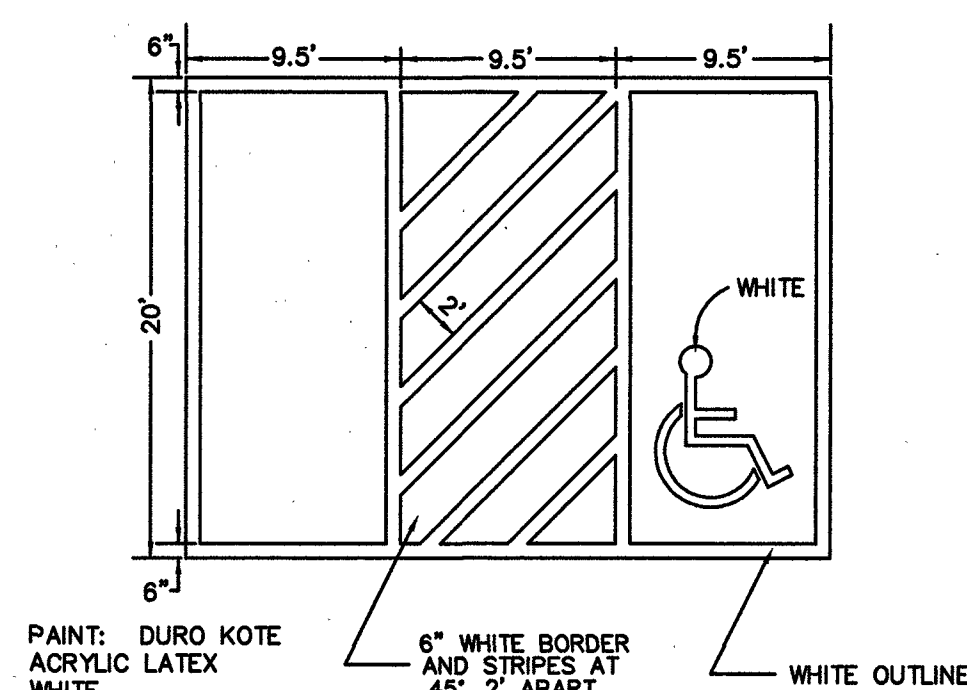
CONCRETE WHEEL STOP

NO SCALE



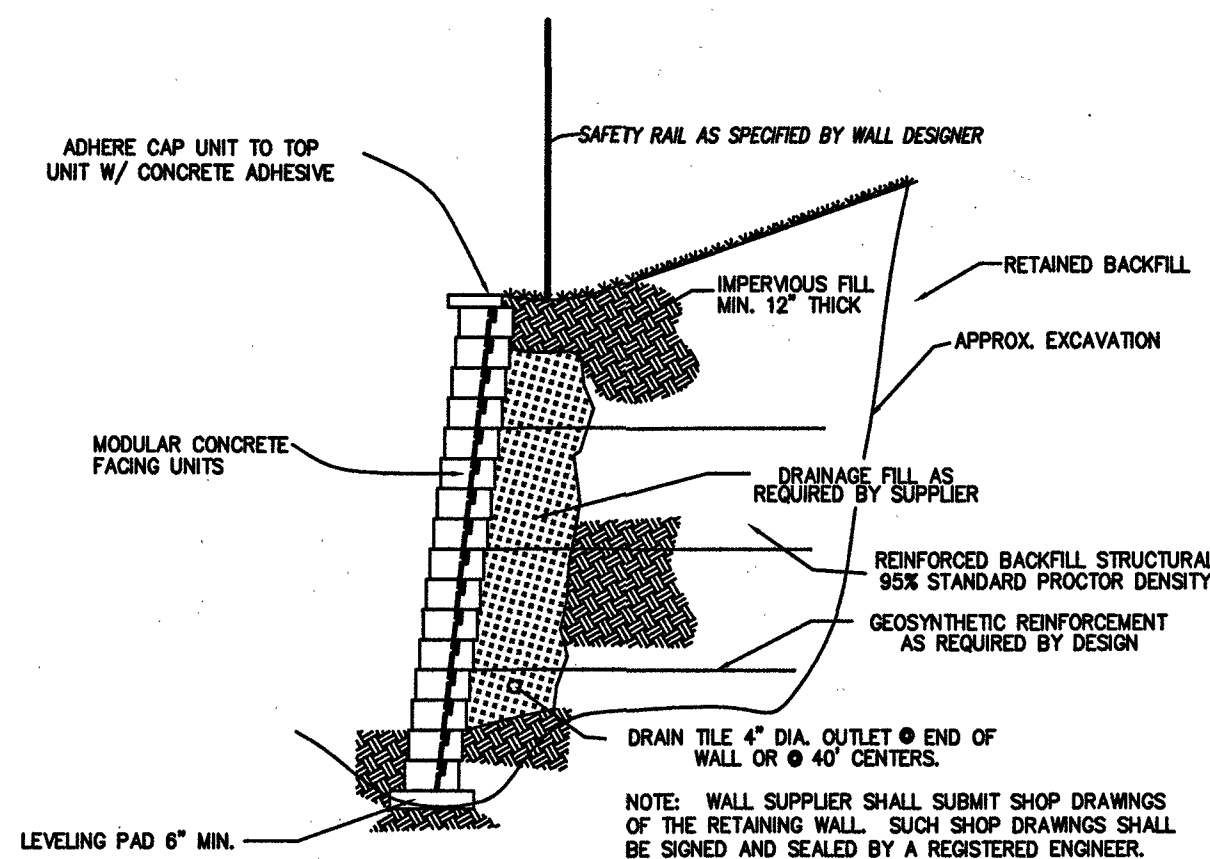
BUILDING MOUNTED
VAN ACCESSIBLE
HANDICAP PARKING SIGN

NO SCALE



HANDICAP PARKING SPACE

NO SCALE



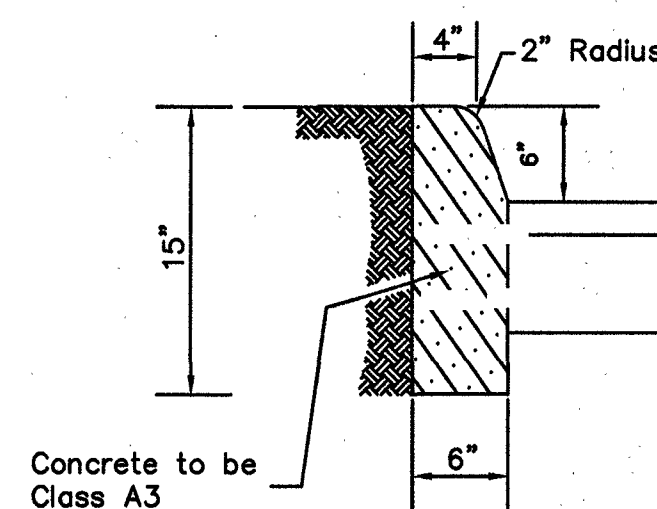
WALL SECTION

NOT TO SCALE

WWVA NOTES:

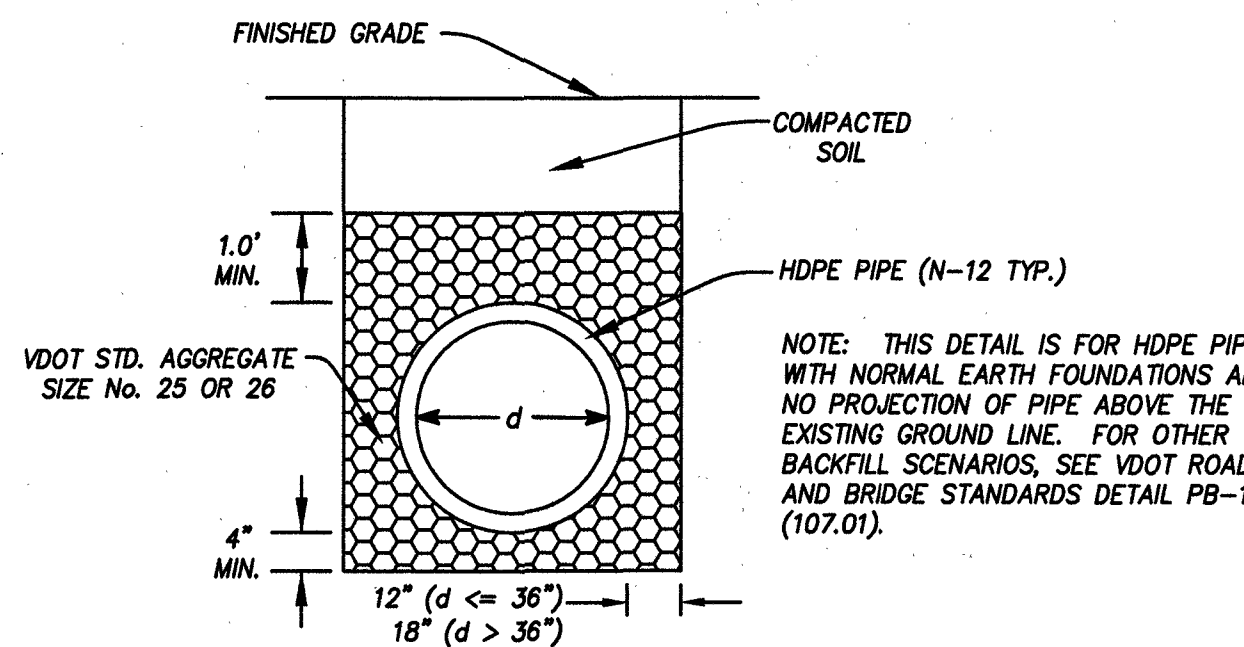
1. THE CONTRACTOR OR DEVELOPER IS REQUIRED TO NOTIFY THE WESTERN VIRGINIA WATER AUTHORITY IN WRITING AT LEAST THREE (3) DAYS PRIOR TO ANY CONSTRUCTION. PLEASE CONTACT MARK SINK AT (540) 537-3460.
2. ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE WESTERN VIRGINIA WATER AUTHORITY.
3. FIELD CORRECTIONS SHALL BE APPROVED BY THE WESTERN VIRGINIA WATER AUTHORITY PRIOR TO SUCH CONSTRUCTION.
4. THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 18' CLEARANCE VERTICALLY AND 2' MINIMUM HORIZONTALLY FROM OUTSIDE OF PIPE TO OUTSIDE OF PIPE AT ALL WATER, SANITARY SEWER CROSSINGS OF ANY OTHER UTILITIES, WHERE THIS CANNOT BE ACHIEVED ADDITIONAL MEASURES IN ACCORDANCE WITH WWVA STANDARDS SHALL BE ENFORCED.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO HAVE ALL EXISTING UTILITIES LOCATED AND POTHOLED TO VERIFY LOCATIONS. THIS PLAN REVIEW DOES NOT REMOVE THE CONTRACTOR'S RESPONSIBILITY TO RELOCATE ANY EXISTING UTILITIES FOUND DURING CONSTRUCTION.
6. ALL SANITARY SEWER CONNECTIONS TO EXISTING LINES SHALL BE COORDINATED WITH AND PERFORMED BY THE WESTERN VIRGINIA WATER AUTHORITY.
7. ALL WATER AND SANITARY SEWER FACILITIES ARE TO BE INSTALLED ACCORDING TO THE WESTERN VIRGINIA WATER AUTHORITY DESIGN AND CONSTRUCTION STANDARDS.
8. ALL WATER CONNECTIONS TO EXISTING LINES SHALL BE COORDINATED WITH AND PERFORMED BY THE WESTERN VIRGINIA WATER AUTHORITY.
9. ALL WATER AND SANITARY SEWER FACILITIES ARE TO BE INSTALLED ACCORDING TO THE WESTERN VIRGINIA WATER AUTHORITY DESIGN AND CONSTRUCTION STANDARDS.

SEE VDOT ROAD AND BRIDGE STANDARDS FOR
ADDITIONAL NOTES AND DETAILS FOR CG-2 AND CG-6



CONCRETE CURB (CG-2)

NO SCALE



NOT TO SCALE

SITE AND ZONING TABULATIONS

SUBJECT TAX PARCEL ID: 078-11-02-23.02-0000
LOT AREA = 0.396 AC. (17,265 SF.)
CURRENT ZONING: C1
PROPOSED USE: GENERAL OFFICE

MINIMUM LOT AREA (SERVED BY PUBLIC WATER & SEWER): 15,000 SF
MINIMUM FRONTAGE (SERVED BY PUBLIC WATER & SEWER): 75'
MINIMUM YARDS:
FRONT - PRINCIPAL STRUCTURE, 30', OR 20' WHEN ALL PARKING IS LOCATED BEHIND THE FRONT BUILDING LINE
FRONT - ACCESSORY STRUCTURES, BEHIND FRONT BUILDING LINE
SIDE - NONE
REAR - PRINCIPAL STRUCTURE, 15'
REAR - ACCESSORY STRUCTURES, 3'
MAXIMUM HEIGHT: UNLIMITED UNLESS ADJACENT TO R-1 OR R-2 DISTRICT
MAXIMUM BUILDING COVERAGE: 50% OF THE TOTAL LOT AREA (8,633 SF.)
PROPOSED BUILDING COVERAGE: 17% (2,948 SF.)
MAXIMUM LOT COVERAGE: 80% OF THE TOTAL LOT AREA (13,812 SF.)
PROPOSED LOT COVERAGE: 74% (12,632 SF.)

MINIMUM PARKING REQUIREMENT:
GENERAL OFFICE: 3 PER 1,000 SF
2,211 SF (NET) / 1,000 X 3 = 7 SPACES
TOTAL REQUIRED PARKING SPACES: 7 SPACES
PARKING SPACES PROVIDED: 7 SPACES

GENERAL NOTES

1. THE PROPERTY IS LOCATED AT 2630 ELECTRIC ROAD
2. OWNER/DEVELOPER: FOCUSONE
3. THE BOUNDARY IS THE DIRECT RESULT OF A FIELD SURVEY BY LUMSDEN ASSOCIATES, P.C.
4. TOPOGRAPHY DATA BASED ON A FIELD SURVEY BY LUMSDEN ASSOCIATES, P.C. IN 2017.
5. NO CURRENT TITLE REPORT HAS BEEN FURNISHED FOR THE SUBJECT PROPERTIES.
6. A PORTION OF THE PROPERTY IS LOCATED WITHIN THE LIMITS OF A SPECIAL FLOOD HAZARD AREA AS DESIGNATED BY FEMA. THIS OPINION IS BASED ON AN INSPECTION OF THE FLOOD INSURANCE RATE MAPS AND HAS BEEN VERIFIED BY ACTUAL FIELD ELEVATIONS. SEE MAP NUMBER 5161C0232G, DATED SEPTEMBER 28, 2007, ZONES AE & X.
7. NO CONSTRUCTION/FIELD REVISIONS ARE ALLOWED WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER, ROANOKE COUNTY, AND/OR THE VIRGINIA DEPARTMENT OF TRANSPORTATION.
8. ANY NEW ALIGNMENTS, CHANGES IN GRADES, ALTERNATE PIPE SIZES, MANHOLES, OR ESC MEASURES WILL REQUIRE A NEW SET OF PLANS STAMPED BY THE CONSULTING ENGINEER. PLAN SHEETS CAN BE 8.5 X 11 IF THE INFORMATION IS LEGIBLE AND WITHIN THE LIMITS OF THE APPROVED PLANS.
9. ANY TOPOGRAPHIC CHANGES FROM THE APPROVED PLANS MAY REQUIRE ADDITIONAL DRAINAGE STRUCTURES AND EASEMENTS AS DEEMED NECESSARY BY THE VIRGINIA DEPARTMENT OF TRANSPORTATION AND ROANOKE COUNTY.
10. ALL EXTERIOR LIGHTS SHALL BE DESIGNED, ARRANGED, AND LOCATED SO AS NOT TO DIRECT GLARE ON ADJACENT RESIDENTIAL PROPERTIES OR RIGHTS OF WAY. THE MAXIMUM LIGHTING DENSITY AT ADJOINING PROPERTIES OR RIGHTS OF WAY SHALL NOT EXCEED 0.5 FOOT CANDLES.
11. A SIGN PERMIT MUST BE OBTAINED PRIOR TO INSTALLATION OF SIGNAGE ON SITE PER SECTION 30-93.
12. PER SECTION 30-92-8(F), THE REFUSE STORAGE AREA SHALL BE SCREENED FROM SURROUNDING VIEWS TO A MINIMUM HEIGHT OF 6' IN ACCORDANCE WITH THE REQUIREMENTS OF SEC. 30-92-5 AND AS SHOWN IN THE ROANOKE COUNTY DESIGN HANDBOOK. ALL GROUND LEVEL AND ROOF TOP MECHANICAL EQUIPMENT SHALL BE SCREENED IN ACCORDANCE WITH SEC. 30-92-5.

CONSTRUCTION NOTES

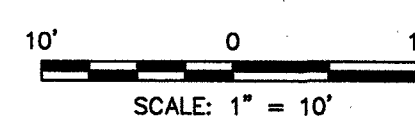
1. ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT COUNTY OF ROANOKE STANDARDS AND SPECIFICATIONS AND THE CURRENT EDITION OF VDOT'S ROAD AND BRIDGE STANDARDS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND THE ENGINEER OF ANY CHANGES OR CONDITIONS ATTACHED TO PERMITS OBTAINED FROM ANY AUTHORITY ISSUING PERMITS.
3. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION.
4. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION.
5. SEE VDOT ROAD AND BRIDGE STANDARDS FOR STORM DRAIN DETAILS.
6. THE CONTRACTOR AND OR OWNER SHALL PROVIDE A STORAGE CONTAINER FOR TEMPORARY STORAGE AND DISPOSAL OF LAND CLEARANCE DEBRIS AND BUILDING MATERIALS. ON-SITE BURIAL OF MATERIAL SHALL NOT BE PERMITTED.
7. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES SHOWN ON THE PLANS IN AREAS OF CONSTRUCTION PRIOR TO STARTING WORK BY CONTACTING MISS UTILITY. CONTACT SITE ENGINEER IMMEDIATELY IF LOCATION OR ELEVATION IS DIFFERENT FROM THAT SHOWN ON THE PLANS. IF THERE APPEARS TO BE A CONFLICT, AND UPON DISCOVERY OF ANY UTILITY NOT SHOWN ON THIS PLAN, CALL "MISS UTILITY" OF CENTRAL VIRGINIA AT 1-800-552-7001.
8. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO CLEAN OUT ANY EXISTING STORM SEWER SYSTEM IN THE EVENT THEY BECOME SILTED OR BLOCKED IN ANY WAY DUE TO THE PROPOSED DEVELOPMENT.
9. ALL HDPE PIPE SHALL BE N-12.

GRADING NOTES

1. AREAS TO BE GRADED SHALL BE CLEARED OF ALL VEGETATION, STRUCTURES, AND OTHER PHYSICAL FEATURES IN PREPARATION OF GRADING OR AS SPECIFIED BY GEOTECHNICAL ENGINEER/REPORT.
2. TOPSOIL SHALL BE REMOVED FROM THE CLEARED AREA AND STOCKPILED FOR FUTURE USE OR AS SPECIFIED BY GEOTECHNICAL ENGINEER/REPORT.
3. FILL MATERIAL SHALL BE FREE FROM ORGANIC MATTER OR AS SPECIFIED BY GEOTECHNICAL ENGINEER/REPORT AND ROCKS LARGER THAN 6 INCHES IN DIAMETER OR AS SPECIFIED BY GEOTECHNICAL ENGINEER/REPORT.
4. FILL MATERIAL SHALL BE PLACED AND COMPACTED IN EIGHT (8) INCH LOOSE LIFTS AND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF THE MATERIAL'S MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698, STANDARD PROCTOR OR AS SPECIFIED BY GEOTECHNICAL ENGINEER/REPORT. MAINTAIN MOISTURE CONTENT OF FILL MATERIAL WITHIN THREE (3) PERCENT OF OPTIMUM TO ATTAIN REQUIRED COMPACTION DENSITY OR AS SPECIFIED BY GEOTECHNICAL ENGINEER/REPORT.
5. A QUALIFIED GEOTECHNICAL ENGINEER, LICENSED IN THE STATE OF VIRGINIA, SHOULD BE CONSULTED CONCERNING SOIL STABILITY, SLOPE STABILIZATION, SOIL COMPACTION, TESTING, AND OTHER SOIL CHARACTERISTICS. LUMSDEN ASSOCIATES ASSUMES NO RESPONSIBILITY OR LIABILITY RELATING TO FAILURES RESULTING FROM SAME.

RETAINING WALL NOTES:

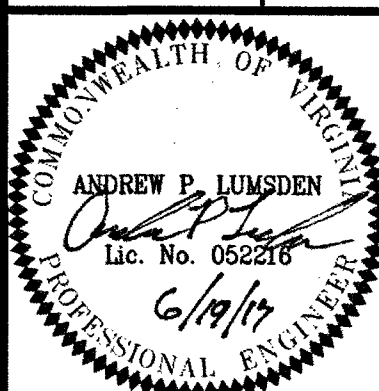
1. WALL DETAILS AND PROFILES SHOWN IN THESE PLANS ARE FOR SCHEMATIC DETAIL ONLY.
2. WALL DESIGNER SHALL PROVIDE TO THE OWNER DESIGN DRAWINGS FOR THE RETAINING WALL. RETAINING WALL DESIGN DRAWINGS SHALL INCLUDE TYPE AND STYLE OF WALLS AND INCLUDE HANDRAIL/GUARDRAIL REQUIREMENTS AND DESIGN. DRAWINGS SHALL BE SIGNED AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF VIRGINIA. WALL INFORMATION SHOWN IN THESE PLANS ARE FOR SCHEMATIC DETAIL ONLY. LUMSDEN ASSOCIATES ASSUMES NO RESPONSIBILITY OR LIABILITY RELATING TO FAILURES RESULTING FROM SAME.
3. A QUALIFIED GEOTECHNICAL ENGINEER SHOULD MONITOR THE INSTALLATION OF THE RETAINING WALL AND THE CONSTRUCTION OF THE CUT AND FILL SLOPES TO INSURE ADEQUATE SOIL COMPACTION, TESTING, STABILIZATION, SLOPE STABILITY, AND STRUCTURAL INTEGRITY, ETC. GEOTECHNICAL ENGINEER SHALL BE LICENSED AS A PROFESSIONAL ENGINEER IN THE STATE OF VIRGINIA.



APPROVED

LUMSDEN ASSOCIATES, P.C.
ENGINEERS-SURVEYORS-PLANNERS
ROANOKE, VIRGINIA

466 BRAMBLETON AVENUE
ROANOKE, VIRGINIA 24018
PHONE: (540) 774-4411
FAX: (540) 772-5445
EMAIL: MAIL@LUMSDENPC.COM



NOTES, DETAILS &
PROFILES

DEVELOPMENT PLAN FOR
LOT 2A
OLDE DOMINION
OFFICE PARK
2630 ELECTRIC ROAD
ROANOKE COUNTY, VIRGINIA

NO.	DATE	DESCRIPTION	REVISIONS
1			
2			
3			
4			
5			

DATE: June 19, 2017
SCALE: AS SHOWN
COMMISSION NO: 17-014
SHEET 2 OF 5