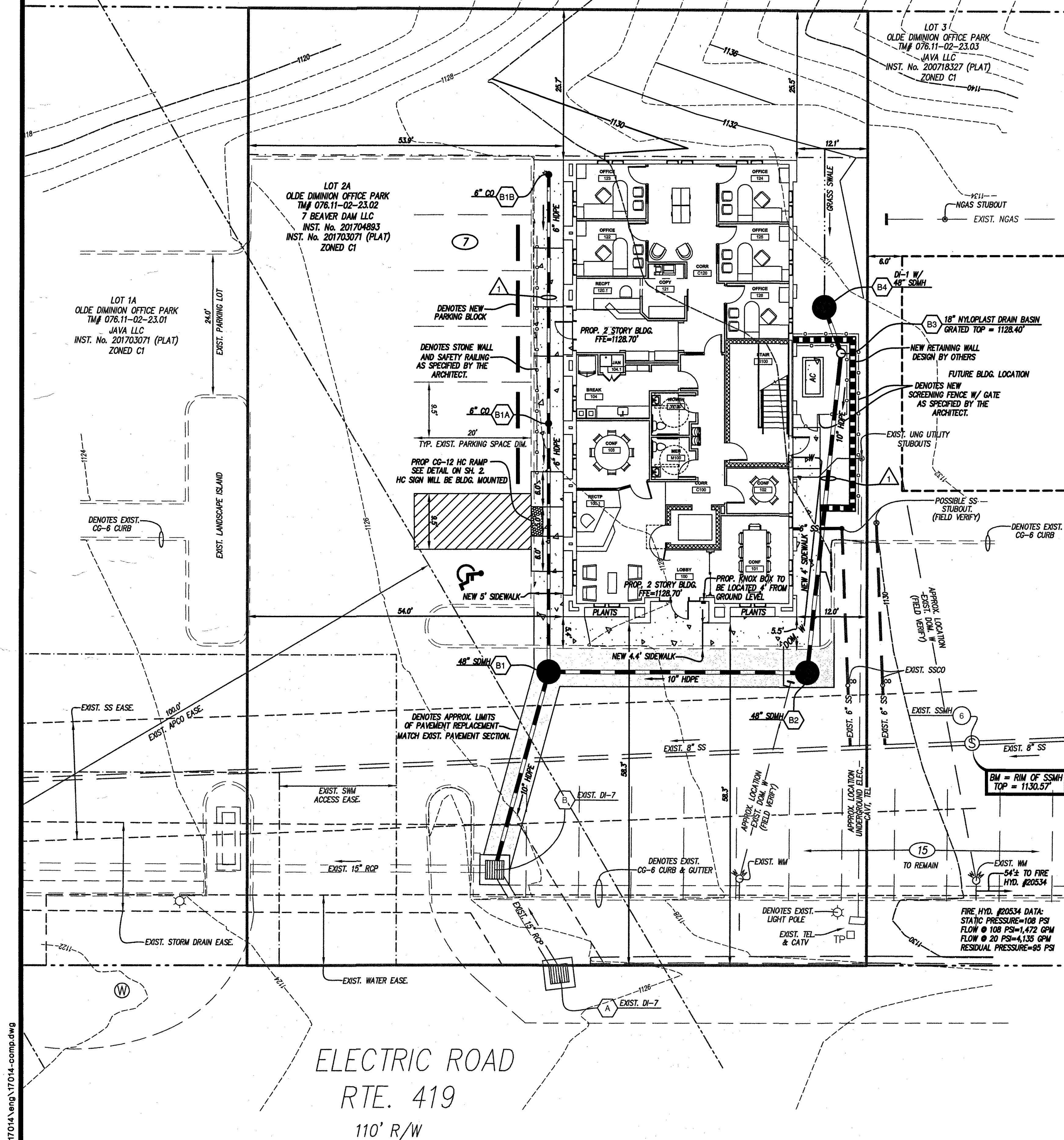
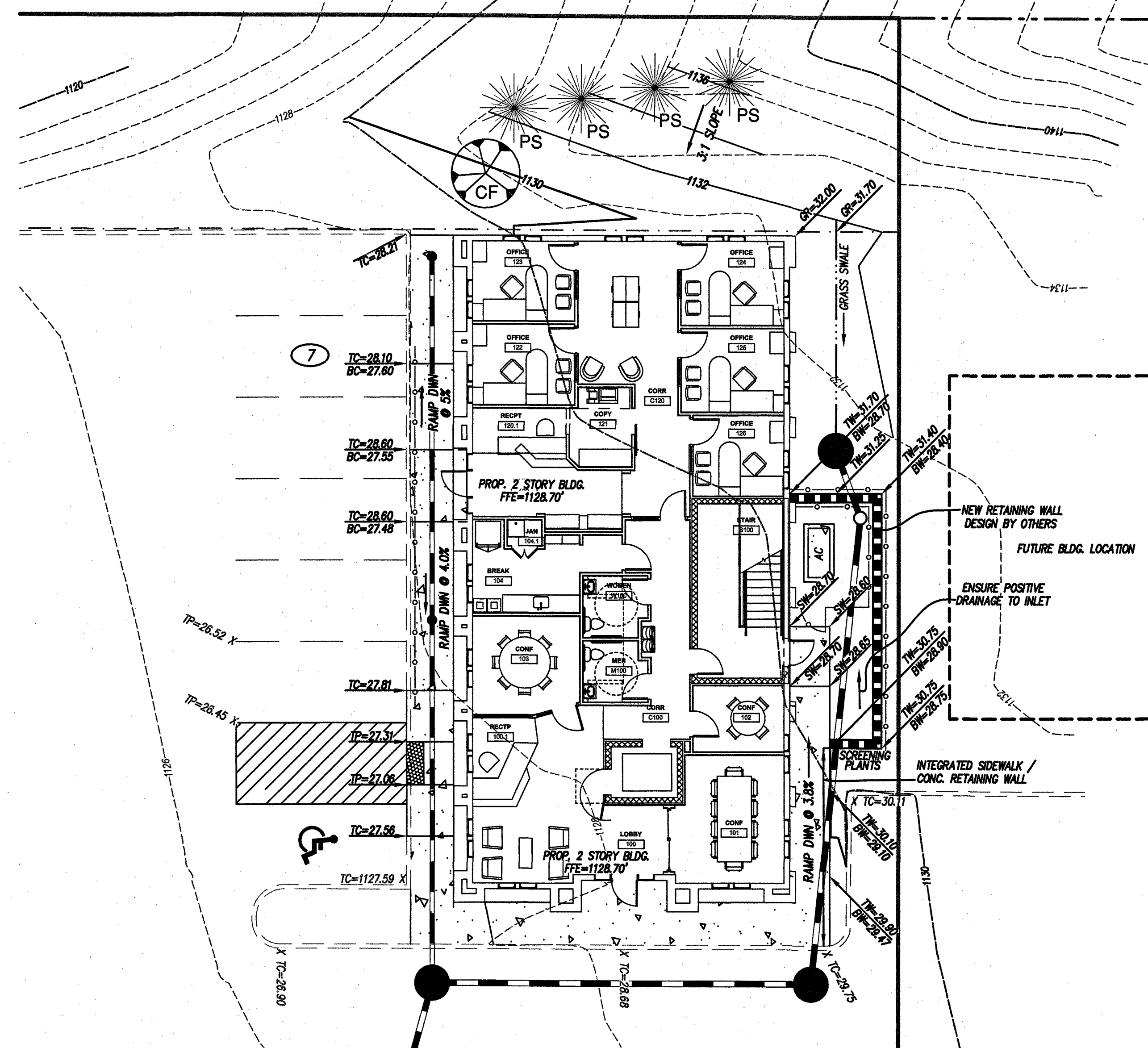


TM# 076.11-02-24.00
DAYNA RENEE PATRICK
DB. 1651 PG. 1717
ZONED R1



SITE PLAN



DETAILED GRADING & LANDSCAPING PLAN

LANDSCAPE MATERIALS

SYMBOL & KEY		SCIENTIFIC NAME	COMMON NAME	SIZE (MIN.)	CONTAINER	QUANTITY	CANOPY	CANOPY SUB-TOTAL
TREES								
	CF	<i>Cornus florida rubra</i> 'Comco fl'	'CHEROKEE BRAVE' DOGWOOD	5'	B&B	1	500	500
	PS	<i>Pinus strobus</i>	WHITE PINE	5'	B&B	4	500	2,000
THE QUANTITIES LISTED IN THIS TABLE MATCH THE QUANTITIES SHOWN ON THE PLAN. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCY OR QUESTION.								TOTAL CANOPY 2,500

THE QUANTITIES LISTED IN THIS TABLE MATCH THE QUANTITIES SHOWN ON THE PLAN. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCY OR QUESTION.

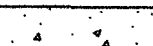
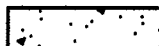
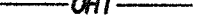
LANDSCAPE NOTES:

1. ALL TREE MATERIALS SHALL MEET THE MINIMUM REQUIREMENTS AS DESCRIBED IN THE MOST RECENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z600.1, AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
2. ALL SHRUB MATERIALS SHALL MEET THE MINIMUM REQUIREMENTS AS DESCRIBED IN THE MOST RECENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z600.1, AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION. SHRUB MATERIALS SHALL BE WELL-ROOTED AND A MINIMUM OF 3-GALLON CONTAINER SIZE.
3. AT THE TIME OF DELIVERY, ALL PLANT MATERIALS NOT IMMEDIATELY PLANTED IN THEIR FINAL PLANTING LOCATION MUST BE STORED IN A SHADED LOCATION WITH ADEQUATE AIR CIRCULATION, AND BE KEPT MOIST.
4. PROPOSED PLANTINGS SHOWN HEREON ARE INTENDED TO REPLACE EXISTING TREES, AS IDENTIFIED ON "LANDSCAPE PLAN FILE REVISION" DATED JULY 25, 2014, TO BE REMOVED BY GRADING WITHIN BUFFER YARD.
5. CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO AVOID DAMAGE TO TREES WITHIN THE BUFFER YARD OTHER THAN THOSE REQUIRED TO BE REMOVED.

ABBREVIATIONS

M.B.L.	MINIMUM BUILDING LINE
R/W	RIGHT OF WAY
HDCP	HANDICAP
VAR.	VARIABLE
EXIST.	EXISTING
D.B.	DEED BOOK
P.B.	PLAT BOOK
PG.	PAGE
INST. #	INSTRUMENT NUMBER
TYP.	TYPICAL
RCP	REINFORCED CONCRETE PIPE
HDCP	HIGH DENSITY POLYETHYLENE
SD	STORM DRAIN
SDCO	STORM DRAIN CLEANOUT
SDMH	STORM DRAIN MANHOLE
SSW	SANITARY SEWER
SSMH	SANITARY SEWER MANHOLE
W	WATER LINE
TC	TOP OF CURB
EPS	EDGE OF PAVEMENT
BW	BOTTOM OF WALL
TC	TOP OF WALL
SD	SANITARY SEWER CLEANOUT
CONC.	CONCRETE

LEGEND

ITEM	EXISTING	PROPOSED
PAVEMENT (STANDARD)		
CONCRETE		
CONCRETE CURB (CG-2)		
CONCRETE CURB & GUTTER (CG-6)		
STORM DRAIN LINE		
STORM DRAIN MANHOLE		
SANITARY SEWER LINE		
WATERLINE		
UTILITY POLE		
OVERHEAD ELECTRIC LINE		
OVERHEAD TELEPHONE LINE		
INDEX CONTOURS		
INTERMEDIATE CONTOURS		
UNDERGROUND GAS		
OVERHEAD ELECTRIC		
SPOT ELEVATION		

☒ APPROVED

DEVELOPMENT PLAN FOR

LOT 2A
OLDE DOMINION
OFFICE PARK

**2630 ELECTRIC ROAD
ROANOKE COUNTY, VIRGINIA**

LUMSDEN ASSOCIATES, P.C.
ENGINEERS-SURVEYORS-PLANNERS
ROANOKE, VIRGINIA

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COMMONWEALTH OF VIRGINIA
ANDREW P. LUMSDEN
Lic. No. 052216
6/19/17
PROFESSIONAL ENGINEER

SITE PLAN

REVISIONS	
NO.	DATE DESCRIPTION
1	
2	
3	
4	
5	

DATE: June 19, 2017

SCALE: 1" = 10'

COMMISSION NO: 17-014

SHEET 3 OF 5