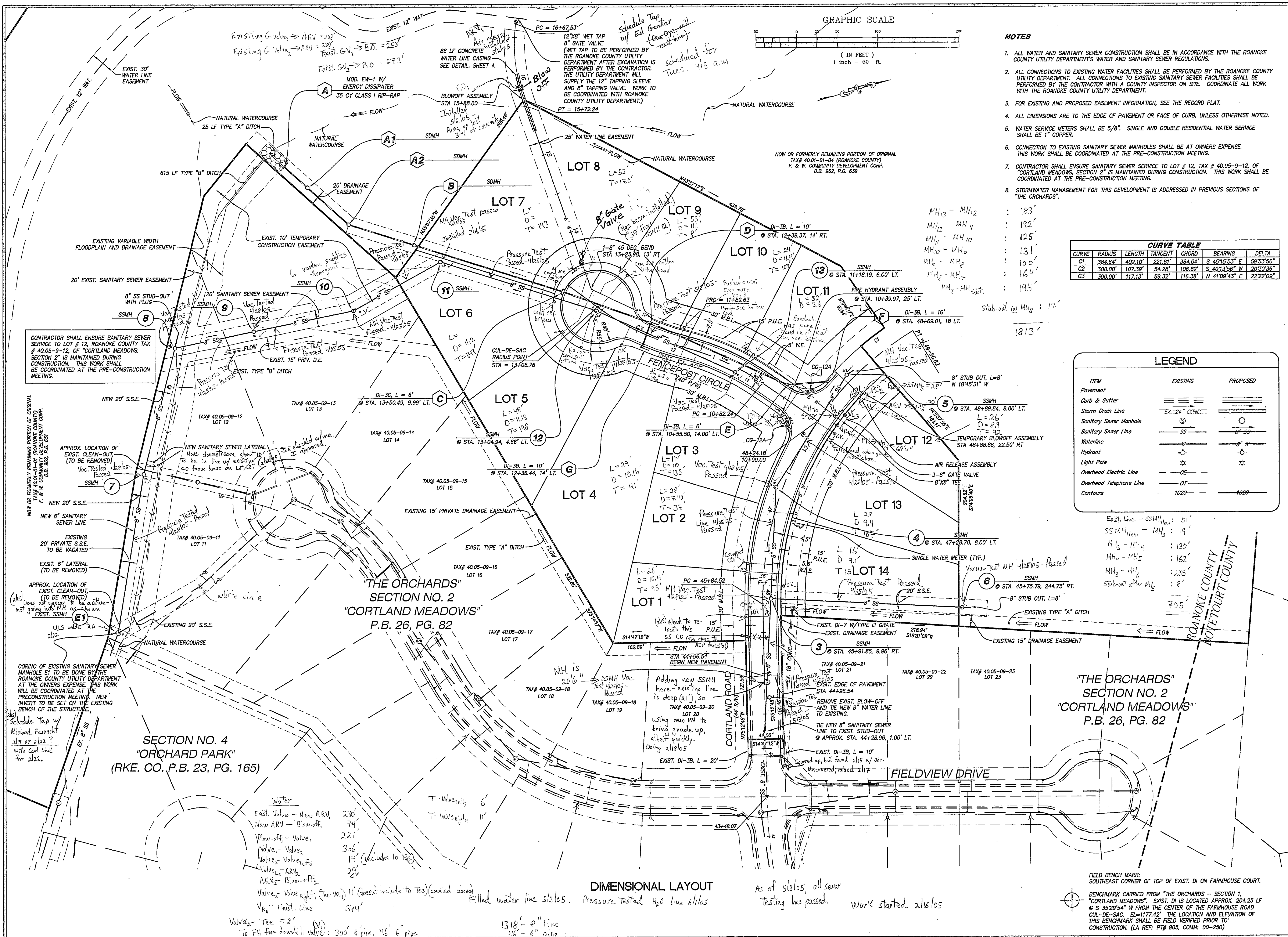




- NOTES**
1. ALL WATER AND SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE ROANOKE COUNTY UTILITY DEPARTMENT'S WATER AND SANITARY SEWER REGULATIONS.
 2. ALL CONNECTIONS TO EXISTING WATER FACILITIES SHALL BE PERFORMED BY THE ROANOKE COUNTY UTILITY DEPARTMENT. ALL CONNECTIONS TO EXISTING SANITARY SEWER FACILITIES SHALL BE PERFORMED BY THE CONTRACTOR WITH A COUNTY INSPECTOR ON SITE. COORDINATE ALL WORK WITH THE ROANOKE COUNTY UTILITY DEPARTMENT.
 3. FOR EXISTING AND PROPOSED EASEMENT INFORMATION, SEE THE RECORD PLAT.
 4. ALL DIMENSIONS ARE TO THE EDGE OF PAVEMENT OR FACE OF CURB, UNLESS OTHERWISE NOTED.
 5. WATER SERVICE METERS SHALL BE 5/8". SINGLE AND DOUBLE RESIDENTIAL WATER SERVICE SHALL BE 1" COPPER.
 6. CONNECTION TO EXISTING SANITARY SEWER MANHOLES SHALL BE AT OWNERS EXPENSE. THIS WORK SHALL BE COORDINATED AT THE PRE-CONSTRUCTION MEETING.
 7. CONTRACTOR SHALL ENSURE SANITARY SEWER SERVICE TO LOT # 12, TAX # 40.05-9-12, OF "CORTLAND MEADOWS, SECTION 2" IS MAINTAINED DURING CONSTRUCTION. THIS WORK SHALL BE COORDINATED AT THE PRE-CONSTRUCTION MEETING.
 8. STORMWATER MANAGEMENT FOR THIS DEVELOPMENT IS ADDRESSED IN PREVIOUS SECTIONS OF "THE ORCHARDS".

CURVE TABLE					
CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING
C1	384.64'	402.10'	221.61'	384.04'	S 45°15'53" E
C2	300.00'	107.39'	54.28'	106.82'	S 40°13'56" W
C3	300.00'	117.13'	59.32'	116.38'	N 41°09'43" E

LEGEND		EXISTING	PROPOSED
ITEM			
Pavement		---	---
Curb & Gutter		---	---
Storm Drain Line		---	---
Sanitary Sewer Manhole		○	○
Sanitary Sewer Line		---	---
Waterline		---	---
Hydrant		○	○
Light Pole		☆	☆
Overhead Electric Line		---	---
Overhead Telephone Line		---	---
Contours		---	---

EXIST. LINE - SSMH NEW: 51'
SSMH NEW - MH₃: 119'
MH₃ - MH₄: 130'
MH₄ - MH₅: 162'
MH₅ - MH₆: 235'
Stub-out after MH₅: 8'

DIMENSIONAL LAYOUT

As of 5/3/05, all sewer testing has passed. Work started 2/16/05

FIELD BENCH MARK: SOUTHEAST CORNER OF TOP OF EXIST. DI ON FARMHOUSE COURT.
BENCHMARK CARRIED FROM "THE ORCHARDS" - SECTION 1, "CORTLAND MEADOWS". EXIST. DI IS LOCATED APPROX. 204.25 LF @ S 35°29'54" W FROM THE CENTER OF THE FARMHOUSE ROAD CUL-DE-SAC. EL=1177.42' THE LOCATION AND ELEVATION OF THIS BENCHMARK SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. (LA REF: PT# 905, COMM: 00-250)

LUMSDEN ASSOCIATES, P.C.
ENGINEERS-SURVEYORS-PLANNERS
ROANOKE, VIRGINIA

1664 BRIMLEYTON AVENUE
P.O. BOX 20669
ROANOKE, VIRGINIA 24018
PHONE: (540) 774-4411
FAX: (540) 772-9445
E-MAIL: MAIL@LUMSDENPC.COM

COMMONWEALTH OF VIRGINIA
THOMAS C. DALE
No. 033002
7/12/01
PROFESSIONAL ENGINEER

**SECTION NO. 3
CORTLAND MEADOWS**

PREPARED FOR
F & W COMMUNITY DEVELOPMENT CORP.
HOLLIS MAGISTERIAL DISTRICT
ROANOKE COUNTY, VIRGINIA

REVISIONS	DESCRIPTION
NO.	DATE
1	
2	
3	
4	
5	

DATE: 12 JULY 2004
SCALE: 1" = 50'
COMMISSION NO: 03-332
CADD FILE: F:\03332\ENR\03332.dwg
SHEET 6 OF 11