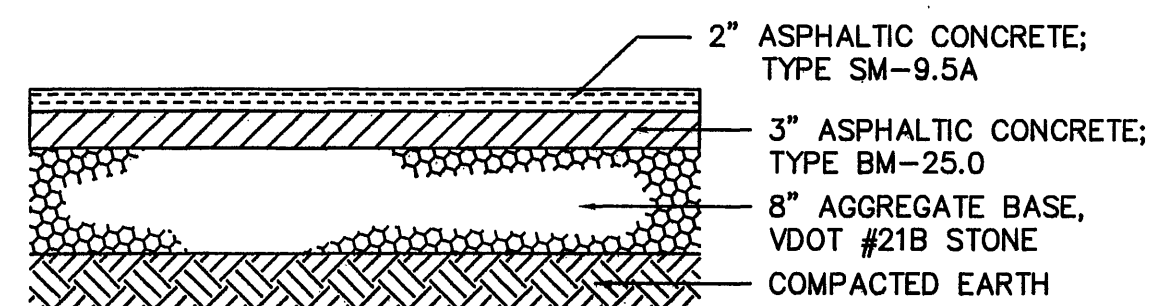
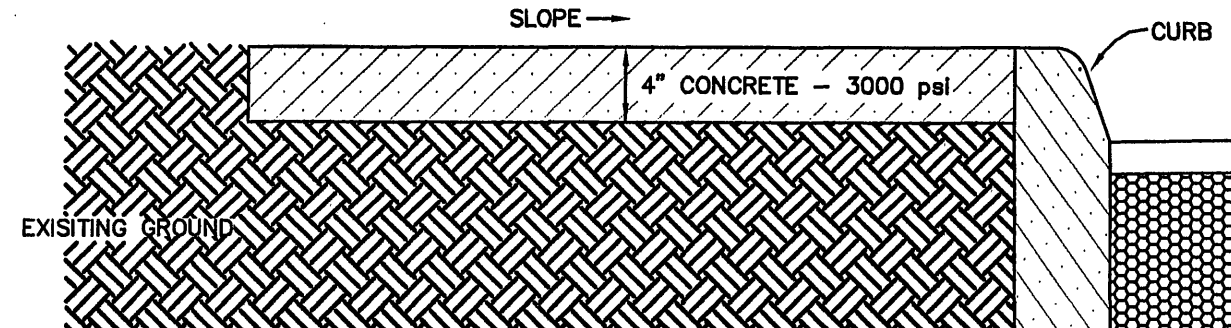


CONCRETE CURB & GUTTER (CG-6)

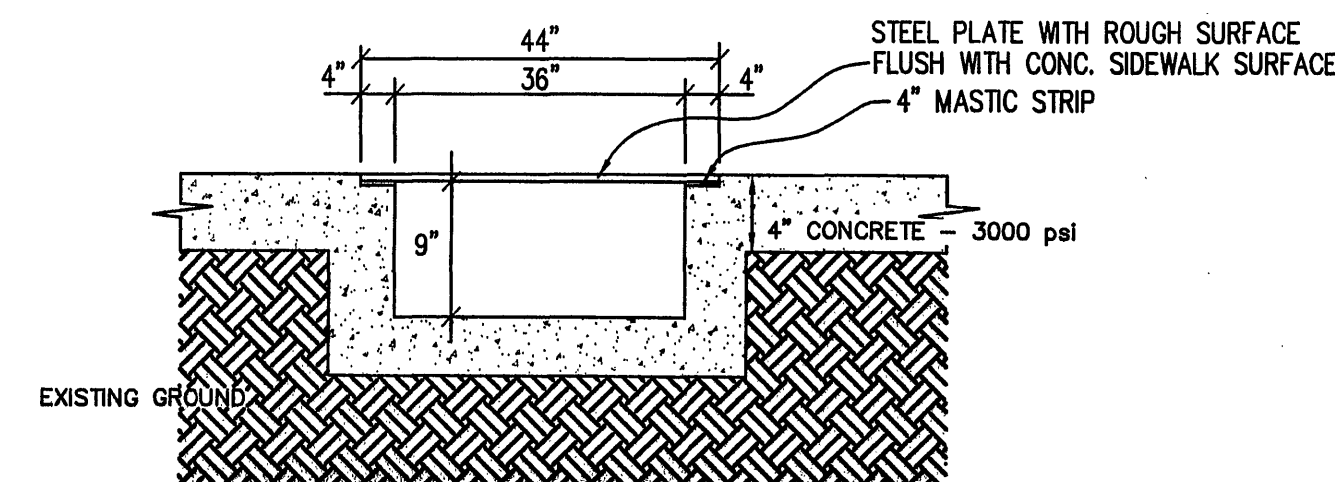


### ASPHALT PAVEMENT DETAIL

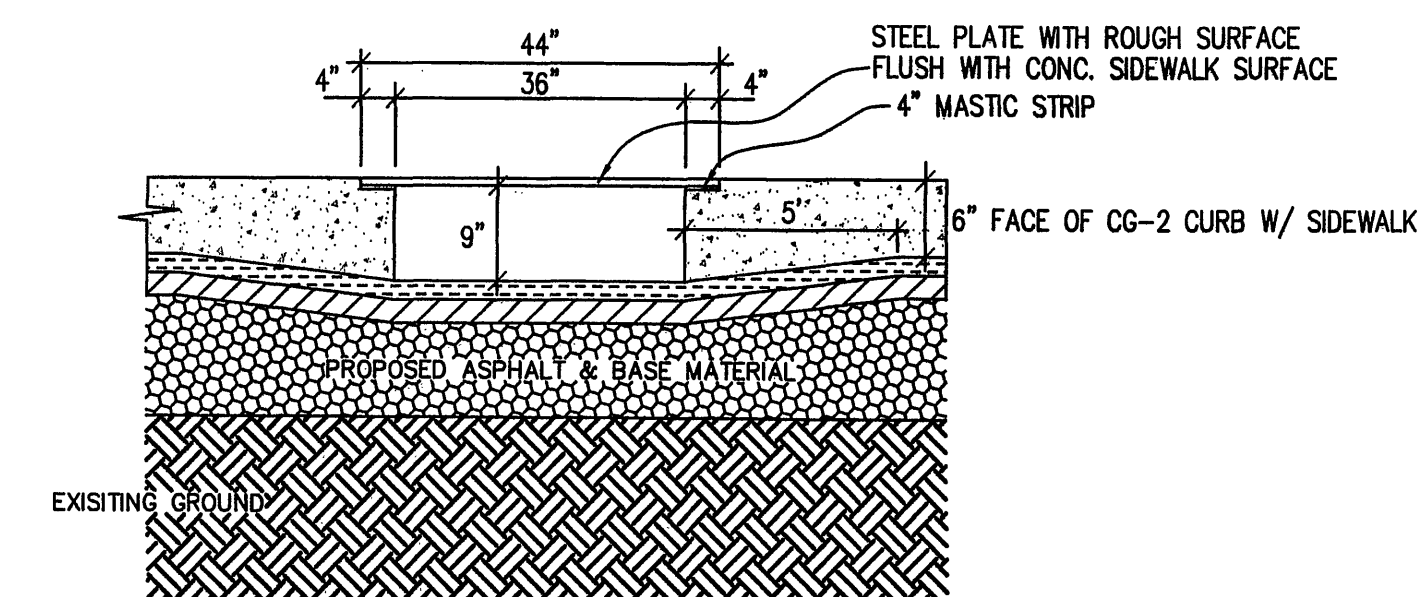
NOTE: CURB & SIDEWALK MAY  
BE POURED MONOLITHICLY.  
K WIDTH SHOWN ON PLANS INCLUDE CURB  
CONTRACTION JOINTS AT 4' TYPICAL



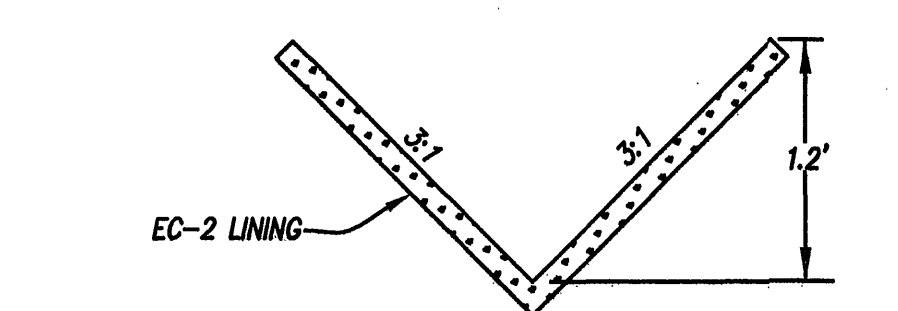
TYPICAL SIDEWALK DETAIL



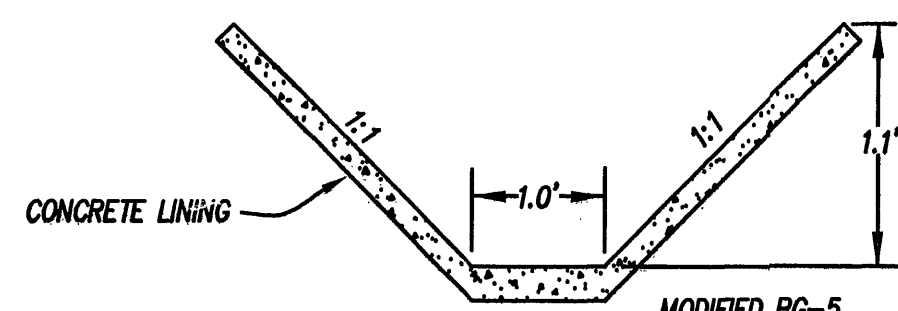
2' SIDEWALK CURB CUT



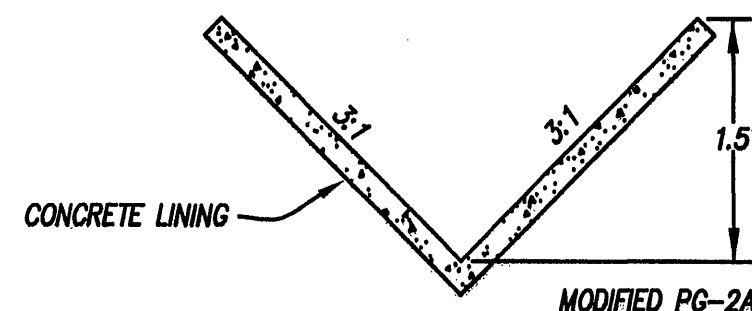
2' CURB CUT @ DRIVE



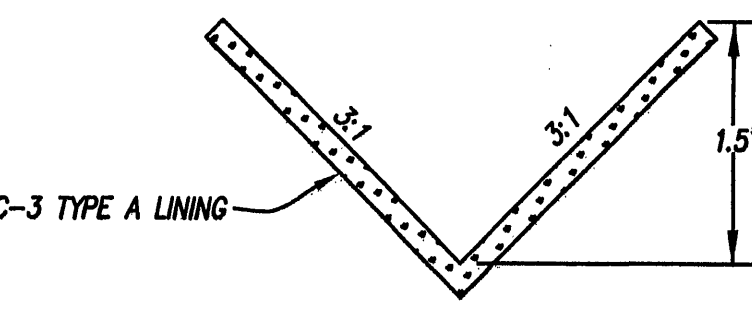
## TYPE "A" DITCH



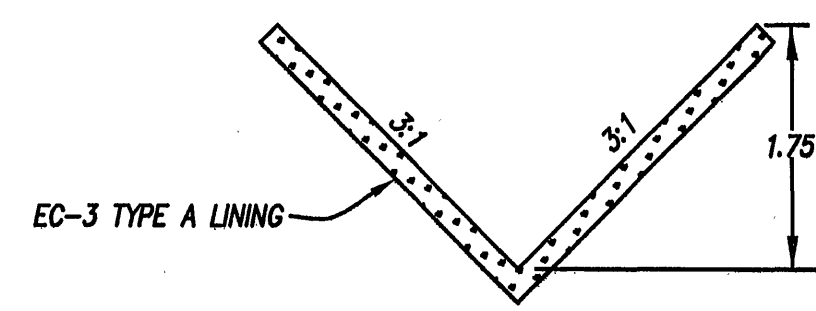
## TYPE "B" DITCH



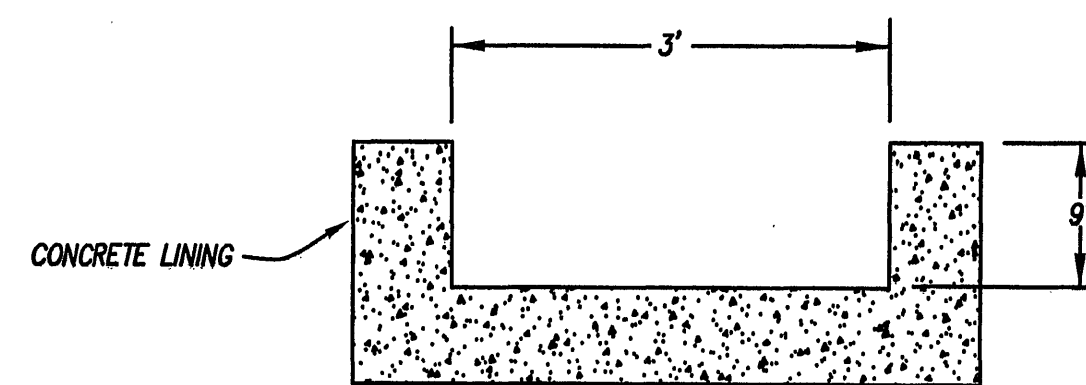
## TYPE "C" DITCH



## TYPE "D" DITCH

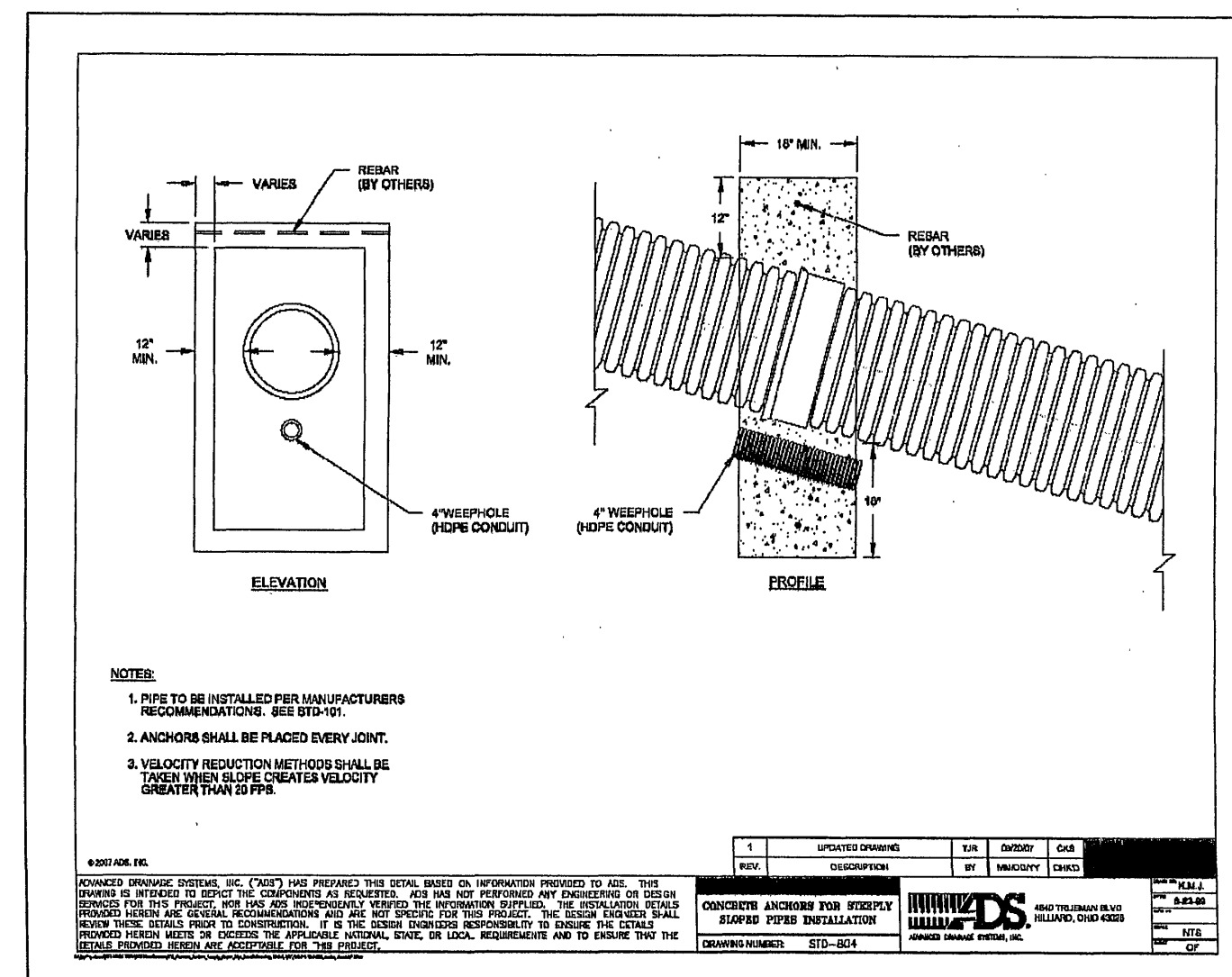
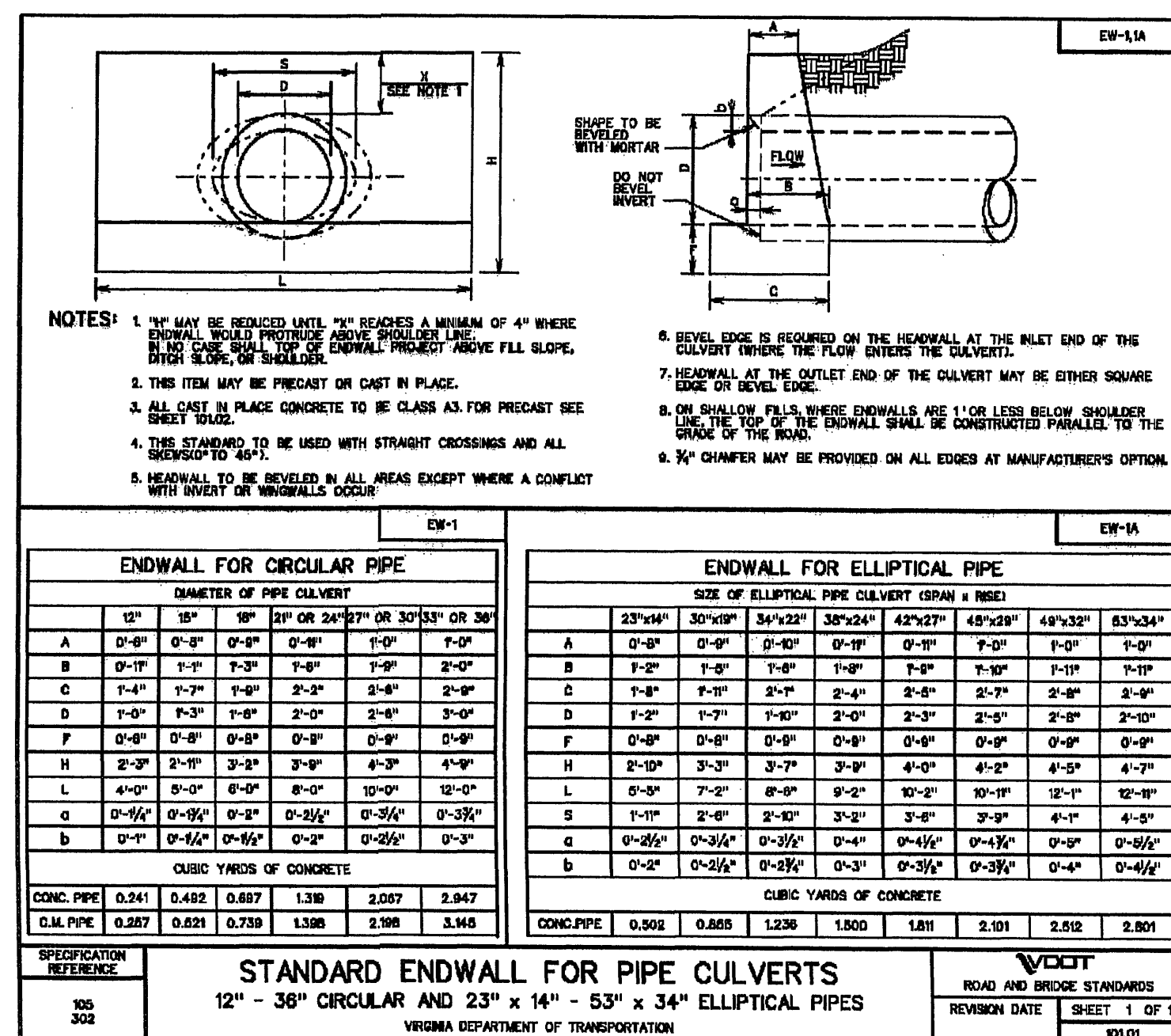
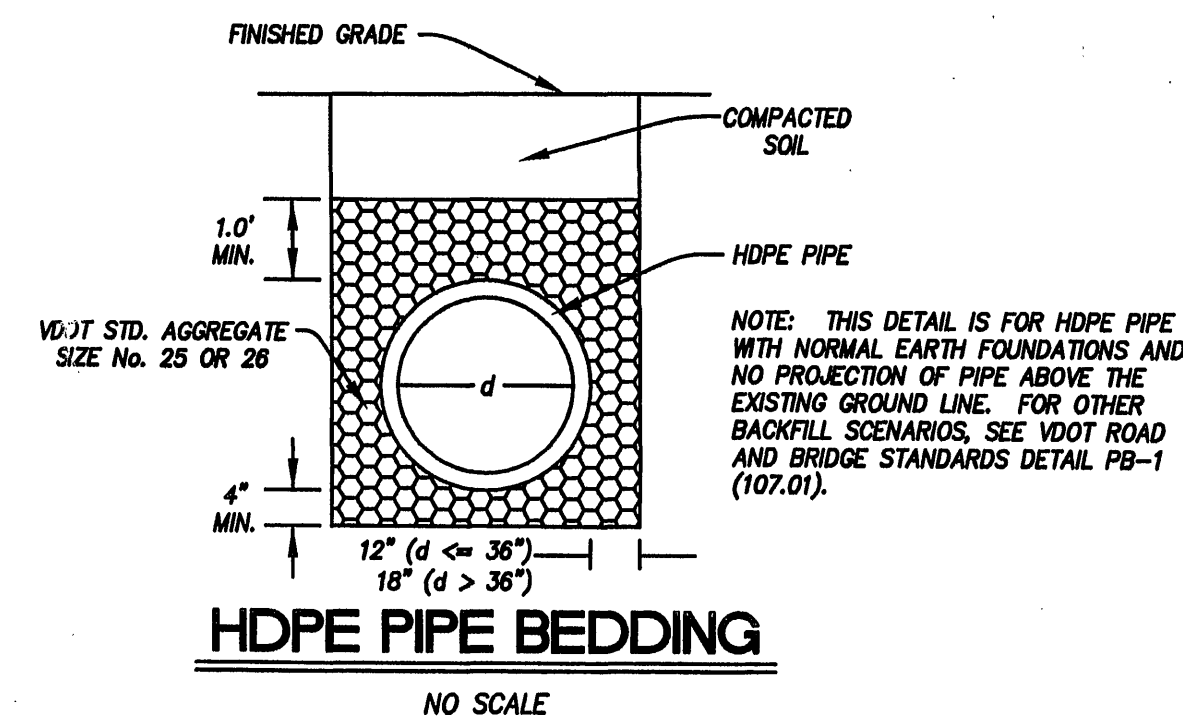
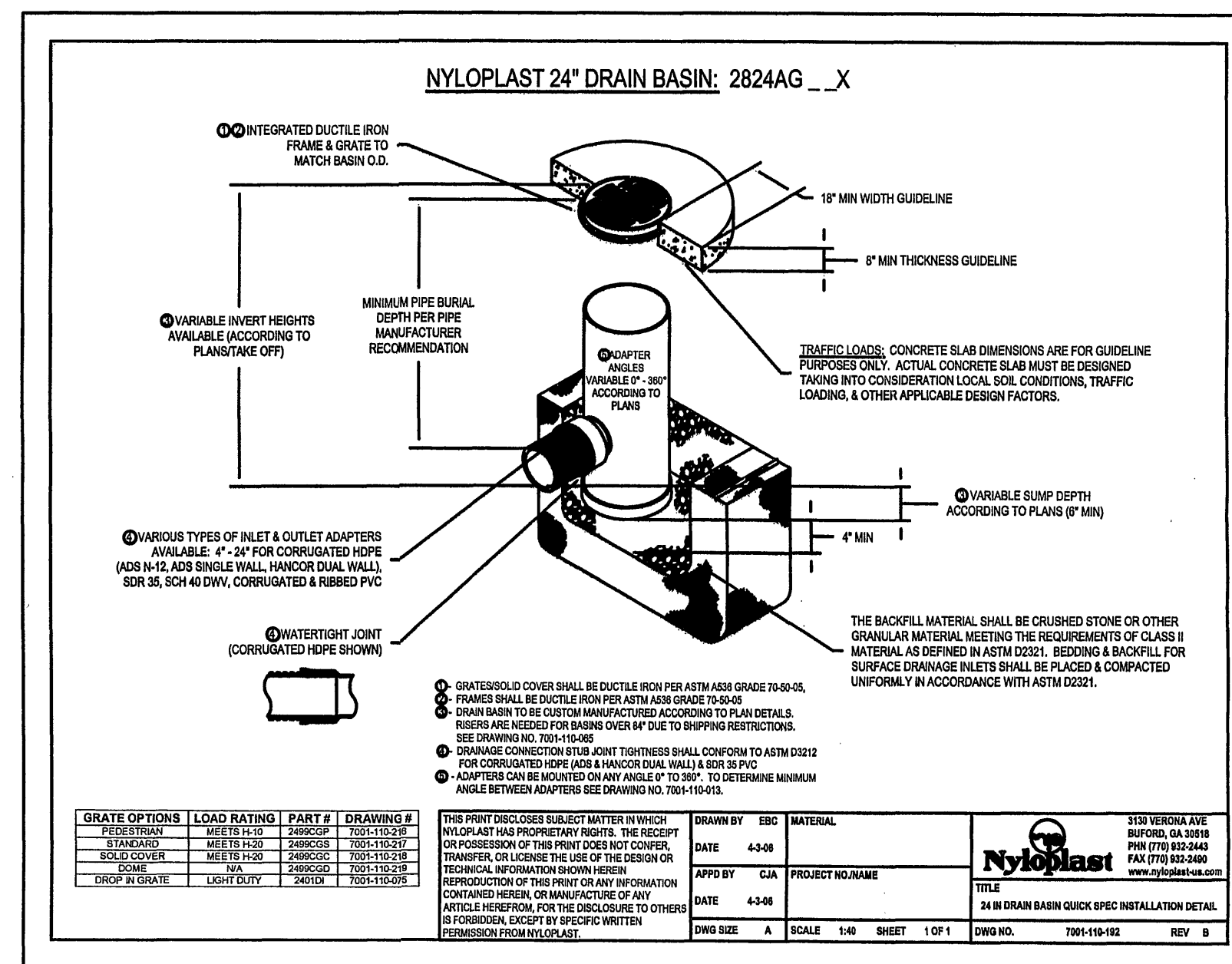


## TYPE "E" DITCH



FLAT BTM. DITCH W/ CURB

(SEE VDOT ROAD & BRIDGE STANDARDS FOR NOTES & DETAILS ON CONCRETE DITCHES.)



## SITE AND ZONING TABULATIONS

1. CURRENT ZONING: INSTITUTIONAL PLANNED UNIT DEVELOPMENT (INPUD)
2. CURRENT USE: PLACE OF WORSHIP AND EDUCATIONAL FACILITY, ELEMENTARY/MIDDLE/SECONDARY
3. PROPOSED USE: PLACE OF WORSHIP AND EDUCATIONAL FACILITY, ELEMENTARY/MIDDLE/SECONDARY
4. SITE ACREAGE: 8.856 ACRES
5. PARKING SUMMARY:
- REQUIRED PARKING:
- PLACE OF WORSHIP
- 1 SPACE/4 SEATS OR 6 LF OF BENCH SEATING IN THE MAIN SANCTUARY OR LARGEST ASSEMBLY ROOM, WHICHEVER IS GREATER. (368 SEATS) = 92 SPACES
- EDUCATIONAL FACILITY
- ELEMENTARY SCHOOL: 2 SPACES/CLASSROOM (6) = 12
- +
- MIDDLE SCHOOL: 2 SPACES/CLASSROOM (5) + 1 SPACE/16 STUDENTS (150) = 20
- +
- SECONDARY SCHOOL: 3 SPACES/CLASSROOM (5) + 1 SPACE/8 STUDENTS (150) = 34
- 
- TOTAL REQUIRED = 66 SPACES
- EXISTING PARKING:
- 347 SPACES (INCLUDING 7 HANDICAP SPACES)
- PROPOSED PARKING:
- 265 SPACES (INCLUDING 7 HANDICAP SPACES)
6. BUILDING HEIGHT:
- EDUCATION BUILDING: 30'
- FUTURE RECREATIONAL BUILDING: 30'
7. FLOOR TO AREA RATIO (FAR) (MAXIMUM 10): 0.46
8. IMPERVIOUS SURFACE RATIO (MAXIMUM 80%):
- BUILDINGS = 40,733 SF
- DRIVES & PARKING = 121,832 SF
- WALKS = 5,617 SF
- 
- TOTAL = 168,382 SF (43.7%)

## GENERAL NOTES

7. THE PROPERTY SHOWN ON THESE PLANS IS LOCATED AT ROANOKE CITY TAX ASSESSMENT MAP No. 7090402, INST. NO. 050002378
8. OWNER/DEVELOPER: TRUSTEES OF PARKWAY HOUSE OF PRAYER  
3230 KING ST. NE. CITY OF ROANOKE VA. 24012
9. THE BOUNDARY IS THE DIRECT RESULT OF A FIELD SURVEY BY LUMSDEN ASSOCIATES, P.C. DATED 2006.
10. TOPOGRAPHY DATA BASED ON A FIELD SURVEY BY LUMSDEN ASSOCIATES, P.C. IN 2008.
11. NO TITLE REPORT WAS FURNISHED FOR THIS PROJECT.
12. THE DEVELOPMENT SHOWN ON THESE PLANS SHALL BE SERVED BY WESTERN VIRGINIA WATER AUTHORITY WATER AND SANITARY SEWER.
13. THE PROPERTY ON THESE PLANS SHALL BE ACCESSED BY PUBLIC ROADS.
14. ALL EXTERIOR LIGHTS SHALL BE DESIGNED, ARRANGED, AND LOCATED SO AS NOT TO DIRECT GLARE ON ADJACENT RESIDENTIAL PROPERTIES OR RIGHT OF WAYS. THE MAXIMUM LIGHTING DENSITY AT ADJACING PROPERTIES OR RIGHT OF WAYS SHALL NOT EXCEED 0.5 FOOT CANDLES.
15. A SEPARATE SIGN PERMIT WILL BE REQUIRED FOR ANY EXTERIOR SIGNAGE.
16. NO CONSTRUCTION/FIELD REVISIONS ARE ALLOWED WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER, THE CITY OF ROANOKE, AND/OR THE WESTERN VIRGINIA WATER AUTHORITY.
17. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO CLEAN OUT THE EXISTING STORM SEWER SYSTEM WITHIN EXISTING DEVELOPMENTS SHOULD THESE SYSTEMS BECOME SILTED OR BLOCKED IN ANY WAY DUE TO THE CONSTRUCTION OF THIS PROPOSED DEVELOPMENT.

### CONSTRUCTION NOTES

1. ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT CITY OF ROANOKE STANDARDS AND SPECIFICATIONS AND THE CURRENT EDITION OF VDOT'S ROAD AND BRIDGE STANDARDS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND THE ENGINEER OF ANY CHANGES OR CONDITIONS ATTACHED TO PERMITS OBTAINED FROM ANY AUTHORITY ISSUING PERMITS.
3. PRELIMINARY SUBSOIL INVESTIGATIONS HAVE BEEN PREPARED BY FROEHLING & ROBERTSON, INC. REFER TO F&R PROJECT K62-1956.
4. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION.
5. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION.
6. ALL WATER CONNECTIONS TO EXISTING LINES SHALL BE COORDINATED WITH AND PERFORMED BY THE WESTERN VIRGINIA WATER BOARD.
7. ALL SANITARY SEWER CONNECTIONS TO EXISTING LINES SHALL BE PERFORMED BY THE CONTRACTOR WITH A WESTERN VIRGINIA WATER AUTHORITY INSPECTOR ON-SITE.
8. SEE VDOT ROAD AND BRIDGE STANDARDS FOR CONCRETE CURB AND STORM DRAINAGE DETAILS.
9. THE CONTRACTOR AND OR OWNER SHALL PROVIDE A STORAGE CONTAINER FOR TEMPORARY STORAGE AND DISPOSAL OF LAND CLEARANCE DEBRIS AND BUILDING MATERIALS. ON-SITE BURIAL OF MATERIAL SHALL NOT BE PERMITTED.

## GRADING NOTES

1. AREAS TO BE GRADED SHALL BE CLEARED OF ALL VEGETATION, STRUCTURES, AND OTHER PHYSICAL FEATURES IN PREPARATION OF GRADING.
2. TOPSOIL SHALL BE REMOVED FROM THE CLEARED AREA AND STOCKPILED FOR FUTURE USE.
3. FILL MATERIAL SHALL BE FREE FROM ORGANIC MATTER AND ROCKS LARGER THAN 6 INCHES IN DIAMETER.
4. FILL MATERIAL SHALL BE PLACED AND COMPACTED IN EIGHT (8) ONE LOOSE LIFTS AND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF THE MATERIAL'S MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698, STANDARD PROCTOR. MAINTAIN MOISTURE CONTENT OF FILL MATERIAL WITHIN THREE (3) PERCENT OF OPTIMUM TO ATTAIN REQUIRED COMPACTION DENSITY.
5. NO SUBSURFACE SOILS INFORMATION HAS BEEN FURNISHED TO THE DESIGNING ENGINEER (LUNSDEN ASSOCIATES, P.C.). A GEOTECHNICAL CONSULTANT SHALL BE SELECTED BY THE OWNER. THE CONSULTANT SHALL BE CONSULTED CONCERNING SOIL STABILITY, SLOPE STABILIZATION, SOIL COMPACTION, TESTING, AND OTHER SOIL CHARACTERISTICS. LUNSDEN ASSOCIATES ASSUMES NO RESPONSIBILITY OR LIABILITY RELATING TO FAILURES RESULTING FROM SAME.

APPROVED  
MAR 31 2009

KING STREET IMPROVEMENTS ARE SHOWN  
FOR COORDINATION PURPOSES ONLY.  
THIS PLAN SET IS NOT TO BE USED FOR  
TURN-LANE, CURB & GUTTER, AND  
SIDWALK IMPROVEMENTS WITHIN THE  
PROPOSED KING STREET RIGHT-OF-WAY.