

VIRGINIA DEPARTMENT OF ENVIRONMENTAL QUALITY
STORM WATER DISCHARGE PERMITTING FOR CONSTRUCTION SITES

1. SITE DESCRIPTION

a. Nature of the Construction Activity: This project consists of grading activities associated with the construction of new facilities for Church Alive International at the corner of Peters Creek Road and the Salem Turnpike in the City of Roanoke, Virginia. Included in the project is the construction of approximately 200 parking spaces, a storm drain collection system and permanent storm water management facility.

b. Sequence of Construction: See sheet C-2 for a soil erosion control narrative. The perimeter controls and on-site control measures for the project will be installed prior to grading for the building pad, parking area and stormwater detention facility begins.

c. Estimates of Area: The subject development will require approximately 5.75 acres of disturbed area. It is estimated by the design engineer that the earthwork for this development will be 31,000 cu.yd.. Depending on the amount of topsoil encountered the site may balance. This estimate is based on preliminary site grading analysis. The general contractor shall provide permit information from the approving authority for any required off-site borrow/fill site(s).

d. Runoff Quantities: The approximate pre-development runoff coefficient, "c" for the area to be permitted is 0.35; based on topography and current ground covers. The approval of these construction plans by local governing authorities has required that a permanent stormwater management facility be constructed to reduce post-development storm run-offs to pre-development quantities or less.

A subsurface investigation has not been performed on this project site.

e. Existing Vegetation: The project property was previously a residential lot, however the house and driveway have been removed. The remainder of the property is moderately sloped and is mostly grass with some tree cover.. Peters Creek runs along the east side of the site.

f. Incidental Pollution Sources: The development of this site involves grading and building construction activities. As such, the main possible contaminant source to adjoining areas and waterways is the delivery of fuel for the construction equipment. This is to be done via a fuel truck delivery daily. Provisions have been provided for herein to provide spill protection in the event that the Contractor chooses to keep a truck (or tank) on-site. The seeding and fertilization of disturbed areas is to be performed by the sitework and/or landscaping contractors, and no on-site storage of seeding or fertilizing materials will occur. Seeding, fertilizer, and/or sodding materials will be brought onto the site only in quantities that will be used immediately. All sanitary waste will be directly contained (portable unit during construction) and no potential pollutants are anticipated.

g. Receiving Channels: The stormwater management facility to be constructed will discharge to Peters Creek near the crossing at Salem Turnpike.

h. Site Map: For the following requirements, see referenced areas and sheets of this plan set:

- (1) See sheets C-5 and C-6 for post-developed grading and drainage structures.
- (2) See "Limits of Disturbed Areas" designated on plan sheets C-7 and C-8 for areas to be disturbed by this development.
- (3) Sheets C-7 and C-8 delineate structural controls (perimeter and interior) for containment of siltation and related soil erosion control. Sheet C-9 contains descriptions of these controls.
- (4) Sheets C-7, C-8 and C-9 describe areas to be vegetated, both permanent and temporary in nature and specifications.
- (5) There are no adjoining surface waters on this project.
- (6) Locations of storm drain discharges are shown on sheets C-5 and C-6 as is the grading delineating the required drainage divides.
- (7) The limits of the asphalt parking are shown in C-3 and C-4.
- (8) Permanent storm water management for the site is to be constructed in conjunction with the proposed development. The SWM requirements are to be met by constructing one permanent wet-pond impoundment capable of retaining a ten year post-development storm with a two year pre-development discharge, and passing a one-hundred year storm via the principal spillway and emergency spillway. This wet-pond is shown on sheet C-6 of these plans.
- (9) No off-site materials areas are to be covered by this plan. Exact location of the General Contractors off-site borrow/fill areas are unknown, but they are subject to the rules and regulations for the local governing authority in obtaining a Land-disturbing Permit.
- (10) No on-site equipment fuel storage or chemical storage are anticipated for this development however, provisions have been made for on-site storage if the contractor so chooses.

i. Non-Construction Activities: There are no other discharges associated with this project that are considered a non-construction activity.

2. CONTROLS:

a. Erosion & Sediment Control: The erosion control plans for this project are being developed in conjunction with this plan and are being reviewed by the County of Roanoke and will be modified/updated to account for the comments generated by the County.

(1)(a) through (1)(f) requirements are contained within plan sheets C-7 and C-8.

(2) Stabilization Practices and Requirements are outlined on sheets C-7 and C-8. The General Contractor is required to complete and initial the following record of land disturbing activities:

Date of Notice to Proceed with Sitework: _____ Initialed by: _____
Dates of Clearing and Grubbing Operations: from _____ to _____ Initialed by: _____
Date of Installation of Perimeter Controls: _____ Initialed by: _____
Dates of Earthwork Operations: From _____ to _____ Initialed by: _____
Installation of Permanent Stabilization Commenced on: _____
Installation of Permanent Stabilization Completed on: _____

The General Contractor is further required to keep a log of dates of temporary or permanent delays associated with land disturbing activities, and temporary and permanent stabilization measures for areas contained within the site.

STORMWATER MANAGEMENT CONSTRUCTION NOTES

1. SITE PREPARATION SHALL BE IN ACCORDANCE WITH THE ROANOKE CITY DESIGN AND CONSTRUCTION STANDARDS FOR DETENTION PONDS, LATEST EDITION.
2. ON-SITE FILL MATERIAL OR BORROW FILL MATERIAL MAY BE UTILIZED. FILL MATERIAL SOILS, IN GENERAL SHALL BE:
-COMPACTABLE
-WITHIN AN ACCEPTABLE RANGE OF MOISTURE CONTENT WHICH IS READILY CONTROLLED.
-SHALL NOT BE HIGHLY SUSCEPTIBLE TO VOLUME CHANGE (SHRINKAGE OR SWELL) OR SETTLEMENT.
3. FILL MATERIALS CONTAINING ROCKS LARGER THAN SIX (6) INCHES SHALL NOT BE USED. THE UPPERMOST TWO (2) FEET SHALL NOT HAVE ANY ROCK LARGER THAN TWO (2) INCHES IN DIAMETER.
4. THE APPROVED FILL SHALL BE PLACED IN EIGHT (8) INCH LOOSE LIFTS. EACH LIFT SHALL BE SPREAD IN UNIFORM LAYERS. FILL SOIL SHALL BE UTILIZED ONLY WITHIN A MOISTURE RANGE OF +/- 5% OF OPTIMUM MOISTURE CONTENT. COMPACTION OF THE FILL SHALL BE PERFORMED WITH APPROVED EQUIPMENT. COMPACTION OF THE LAYERS SHALL BE CONTINUOUS AND UNIFORM.
5. EMBANKMENT MATERIAL IN FILL AREAS SHALL BE PLACED IN LIFTS NOT EXCEEDING EIGHT (8) INCHES AND SHALL BE COMPACTED TO A MINIMUM 95% OF THE STANDARD PROCTOR IN ACCORDANCE WITH SECTION 303 OF THE VIRGINIA DEPARTMENT OF TRANSPORTATION ROAD AND BRIDGE SPECIFICATIONS.
6. FIELD DENSITY TESTS SHALL BE CONDUCTED BY AN INDEPENDENT SOILS TESTING LABORATORY UNDER THE DIRECTION OF A QUALIFIED GEOTECHNICAL ENGINEER IN FILL AREAS OF ALL STORMWATER MANAGEMENT EMBANKMENTS. THE RESULTS OF THESE TESTS SHALL BE SUBMITTED TO THE COUNTY OF ROANOKE WITH AS-BUILT PLANS AS A CONDITION OF ACCEPTANCE OF THE FACILITY BY THE CITY. FIELD DENSITY TESTS, AS DIRECTED BY THE ENGINEER SHALL BE PERFORMED PERIODICALLY TO DETERMINE THE DEGREE OF COMPACTION. ANY AREAS FAILING TO MEET THE ABOVE REQUIREMENTS SHALL BE REWORKED AND/OR RECOMPACTED UNTIL THE REQUIRED DEGREE OF COMPACTION IS ACHIEVED.
7. ALL DISTURBED AREAS SHALL BE COVERED WITH FOUR (4) INCHES OF TOPSOIL AND SEEDED IMMEDIATELY UPON REACHING FINAL GRADE.

3. STRUCTURAL PRACTICES:

a. See sheet C-8 for temporary sediment basin and other sediment trapping controls, which are required to be constructed and maintained for this development.

b. Stormwater Management: See item 1 h. (8) above for permanent storm water management facility locations.

- (1) As stated above, the wet-pond provides 2-10 and 10-25 peak flow reductions, and controlled release of the one-hundred year post-development runoff.
- (2) Since the outfall discharges to an existing storm drain system there is no outfall protection specified.

c. Other Controls:

- (1) There shall be no solid materials, including building materials, garbage, or debris discharged to surface waters.
- (2) At the points of Construction Vehicle Access, the contractor shall install and maintain the temporary construction entrance in accordance with these plans.
- (3) Pursuant to County of Roanoke approved plans, all sewer construction, materials, and testing shall be in conformance with County of Roanoke Standards and Specifications.
- (4) As stated above, no fuel storage containment or chemical storage is anticipated on-site. The General Contractor is required to maintain a list of materials stored on-site, and shall protect these materials from precipitation and runoff, such that contamination of the storm drain system and ultimate receiving channels is avoided. If hazardous materials such as those listed above are stored on-site in an unprotected area, the General Contractor shall prepare and maintain contingency plans in the event of a spill or unauthorized discharge.
- (5) There are no other discharges associated with this project that are considered a non-construction activity.

d. Approved State or Local Plans:

- (1) These plans are to be implemented in conjunction with the aforementioned E&S Plans.
- (2) The Contractor shall maintain these Pollution Control Plans should any revisions to the perimeter or interior controls be required. This holds true also for any additional E&S measures that may be required by the County of Roanoke or their approved agent(s).

3. MAINTENANCE:

The General Contractor is responsible for insuring installation and maintenance compliance with the controls and stabilization measures contained herein. All controls shall be maintained to provide the optimum performance of each control. If controls are found to be in need of repair or replacement, the General Contractor is responsible for implementing the required repair/replacement immediately upon discovery.

4. INSPECTIONS:

The General Contractor shall inspect disturbed areas of the site that have not been finally stabilized, and areas used for storage of materials that are exposed to precipitation, structural control measures, and the area of construction vehicle access at least every fourteen (14) calendar days, and within 48 hours of the end of a storm event producing 0.5 inches or greater of precipitation. Where areas have been finally or temporarily stabilized or runoff is unlikely due to winter conditions (site is covered with snow, ice, or frozen ground exists) such inspections shall be conducted at least once every month.

a. Inspect disturbed areas and areas of materials storage that are exposed to precipitation for evidence of, or the potential for pollutants entering the storm drain system. Inspect E&S controls in accordance with requirements stated herein, and inspect points of storm drain discharge for excessive sedimentation. Correct site controls as required to reduce sedimentation of storm drains, culverts, and receiving channels.

b. If controls or pollutant prevention areas are found to be in need of repair or modification, the General Contractor shall provide additional measures or modifications to existing measures as required. Any additional measures or modifications to existing measures shall be recorded as field revisions to these plans. In the event that additional controls are found to be required, the General Contractor shall be responsible for implementing these controls before the next anticipated storm event. If implementation before the next storm event is impractical, they shall be implemented as soon as practical.

c. A report summarizing the scope of inspections, name of inspector, inspector's qualifications, dates of inspections, major observations pertaining to the implementation of these Pollution Control Plans, and actions taken shall be made and retained as a part of these Pollution Control Plans. Major observations of these reports shall include: the locations of excessive sedimentation or other pollutants from the site; locations of controls in need of repair; locations of failed or inadequate controls; and locations where additional controls are needed. Where a report does not identify any incidents of noncompliance, the report shall contain a certification that the facility is in conformance with the Storm Water Pollution Control Plan and Permit. The report shall be signed in accordance with the permit regulation.

5. NONSTORM WATER DISCHARGES:

Other than flows from fire fighting activities, there shall be no sources of non-storm water combined with storm water discharges from the construction site.

NOTICE TO CONTRACTORS

The General Contractor is solely responsible for implementing or overseeing the implementation of all controls required herein. It shall be the General Contractor's responsibility to regulate the activities of all subcontractors on the site, to insure compliance with the requirements and implementation of controls required herein. Prior to performing any work on the subject site, the General Contractor shall complete the following Certification. The General Contractor may, at his option, require subcontractors associated with implementation of controls required herein to provide similar Certifications, which will become a part of these Pollution Control Plans.

"I certify under penalty of law that I understand the terms and conditions of this Virginia Pollutant Discharge Elimination System (VPDES) general permit that authorizes the storm water discharges from the construction activity identified as part of this Certification".

PRINTED NAME: _____

ADDRESS: _____

TELEPHONE: _____

SIGNATURE: _____

6050113

PROPERTY IDENTIFICATION: _____

DATE OF CERTIFICATION: _____

SITE NOTES

1. FILL PLACED UNDER NEW BUILDINGS, CONCRETE PADS, FILL SLOPES OR PAVEMENT SHALL BE COMPACTED TO A MINIMUM OF 95% OF ASTM D698, STANDARD PROCTOR. FILL PLACED IN GRASS OR LANDSCAPED AREAS SHALL BE COMPACTED TO A MINIMUM OF 90% OF ASTM D-698, STANDARD PROCTOR.
2. OFF-SITE AREAS: THE CONTRACTOR HOLDING THE LAND DISTURBING PERMIT FOR THIS PROJECT IS REQUIRED TO PROVIDE TO THE ROANOKE CITY ENGINEERING DEPARTMENT THE LOCATION OF ALL OFF-SITE BORROW/FILL AREAS ASSOCIATED WITH THIS PROJECT. AN EROSION CONTROL PLAN MAY BE REQUIRED FOR THOSE AREAS.
3. ALL SPOT ELEVATIONS SHOWN ARE APPROXIMATE
4. ALL DENUDED AREAS SHALL BE PERMANENTLY SEEDED WITHIN SEVEN (7) DAYS OF REACHING FINAL GRADE. TEMPORARY SEEDING SHALL BE APPLIED, WITHIN SEVEN (7) DAYS, TO DENUDED AREAS NOT AT FINAL GRADE BUT THAT WILL REMAIN UNDISTURBED FOR MORE THAN 30 DAYS.
5. ANY SOIL STOCKPILED ON-SITE SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPS OR OTHER PROTECTIVE MEASURES.
6. PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED ON ALL DENUDED AREAS NOT OTHERWISE PERMANENTLY STABILIZED.

UTILITY NOTES

1. THE GENERAL CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE THE EXACT POINT OF NEW SERVICE CONNECTIONS. SEE ARCHITECTURAL, BUILDING AND PLUMBING PLANS FOR SPECIFIC UTILITY SERVICE LOCATIONS AND SIZINGS.
2. THE GENERAL CONTRACTOR SHALL CONTACT "MISS UTILITY" PRIOR TO BEGINNING CONSTRUCTION.
3. THE GENERAL CONTRACTOR SHALL COORDINATE ALL UTILITY CONSTRUCTION WITH THE GRADING, PAVING AND BUILDING CONTRACTORS AS REQUIRED TO MINIMIZE CONFLICTS.
4. ALL STORM DRAINAGE AND SANITARY SEWER WORK SHALL HAVE RIGHT-OF-WAY OVER ALL ELECTRICAL, WATERLINE, GAS AND TELEPHONE CONSTRUCTION.
5. PIPE LENGTHS SHOWN ARE FROM INVERT IN TO INVERT OUT.

SOIL EROSION NARRATIVE

PROJECT DESCRIPTION:

THE PURPOSE OF THIS PROJECT IS TO CONDUCT GRADING AND SITE CONSTRUCTION ACTIVITIES FOR THE CONSTRUCTION OF A NEW PHASE I FACILITY FOR CHURCH ALIVE INTERNATIONAL. THE PROPERTY IS LOCATED AT THE NORTHEAST CORNER OF PETERS CREEK ROAD NW AND SALEM TURNPIKE NW IN THE CITY OF ROANOKE, VA. IN ADDITION A PERMANENT STORMWATER MANAGEMENT FACILITY WILL BE CONSTRUCTED. THE TOTAL DISTURBED AREA FOR THIS PROJECT IS 5.75 ACRES.

EXISTING SITE CONDITIONS:

THE PROJECT SITE CONSISTS OF A 9.73 ACRE PARCEL OF PROPERTY LOCATED AT THE NORTHEAST CORNER OF PETERS CREEK RD NW AND SALEM TURNPIKE NW. THE PROPERTY IS LARGELY WOODED WITH THE REMAINDER BEING OPEN IN WELL ESTABLISHED GRASSES. PETERS CREEK CROSSES THE PROPERTY AT THE NORTHEAST AND SOUTHEAST CORNERS. PROPERTY TO THE EAST IS VACANT AND UNDEVELOPABLE DUE TO THE LOCATION OF THE FLOODWAY AND FLOODPLAIN. PROPERTY TO THE NORTH IS WOODED AND MODERATELY SLOPED TO THE EXISTING SALEM PLAZA. ADJACENT PROPERTY:

THE PROJECT SITE IS BOUNDED ON THE WEST BY PETERS CREEK ROAD NW, TO THE SOUTH BY SALEM TURNPIKE NW, TO THE EAST BY PROPERTY ZONED RS-3 AND TO THE NORTH BY PROPERTY ZONED RS-3.

OFF-SITE AREAS:

IT IS ANTICIPATED THAT THERE WILL BE NO OFF-SITE AREAS ASSOCIATED WITH THIS PROJECT.

SOILS:

SOILS ARE IDENTIFIED IN THE USDA 'SOIL SURVEY OF ROANOKE COUNTY AND THE CITIES OF ROANOKE AND SALEM, VIRGINIA' AS "COMBS" AND "CHISWELL-LITZ".

CRITICAL AREAS:

THE POTENTIAL FOR RUNOFF FROM THIS SITE IS CONCENTRATED TO THE EAST PROPERTY LINE AND BORDERING PETERS CREEK. GRADING OPERATIONS DO NOT DIRECTLY ADJOIN PETERS CREEK AND THERE REMAINS A GRASS STRIP BETWEEN THE TOE OF THE PROPOSED FILL SLOPES AND THE CREEK BANKS. HOWEVER, THE FILL OPERATIONS TO STILL REQUIRE SPECIAL ATTENTION BY THE CONTRACTOR TO INSURE THAT THE PROPOSED PERIMETER CONTROLS ARE KEPT IN GOOD CONDITION. THE SITE WILL REQUIRE PERMANENT SEEDING AS SOON AS POSSIBLE FOLLOWING COMPLETION OF GRADING OPERATIONS. THE CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING ADDITIONAL MEASURES AS NECESSARY TO PREVENT THE TRANSPORT OF SEDIMENT FROM THE SITE.

EROSION CONTROL MEASURES:

UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE 'VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK', LATEST EDITION.

1. PRIOR TO ANY WORK BEING PERFORMED ON THE SITE, THE TEMPORARY CONSTRUCTION ENTRANCE INDICATED ON THESE PLANS SHALL BE CONSTRUCTED. THE ENTRANCE SHALL BE IN ACCORDANCE WITH THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.

2. INLET PROTECTION SHALL BE INSTALLED AS SOON AS PRACTICAL. INSTALLATION OF OTHER EROSION CONTROL DEVICES INDICATED SHALL OCCUR PRIOR TO BEGINNING EXCAVATION OF SITE.

3. IN GENERAL, ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER EACH SIGNIFICANT RAINFALL. -THE CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CONDITION TO PREVENT TRACKING OF MUD OFF-SITE. -SILT FENCES AND INLET PROTECTIONS SHALL BE CHECKED REGULARLY FOR UNDERMINING AND SEDIMENT BUILDUP.

PERMANENT STABILIZATION:

ALL DISTURBED AREAS NOT PAVED OR LANDSCAPED ARE TO BE PERMANENTLY SEEDED IN ACCORDANCE WITH SPECIFICATIONS PROVIDED HEREIN.

STORMWATER RUNOFF:

IN ACCORDANCE WITH ROANOKE CITY STANDARDS THERE WILL BE NO CHANGE IN THE PEAK RUNOFF RATE ASSOCIATED WITH THE DEVELOPMENT OF THIS PROJECT.

CALCULATIONS:

DETAILED STORMWATER MANAGEMENT CALCULATIONS ARE INCLUDED WITH THE SUBMITTAL PACKAGE TO THE CITY OF ROANOKE.

ROOF DRAIN COLLECTOR NOTES

1. NEW PIPING SHOWN HEREON AS 'RD' IS A ROOF DRAIN COLLECTOR SYSTEM TO CONVEY ROOF RUNOFF FROM THE GUTTER DOWNSPOUTS OR ROOF COLLECTORS TO THE NEW STORM DRAIN SYSTEM.
2. ROOF DRAIN COLLECTOR ('RD') PIPING INDICATED HEREON IS SHOWN IN AN APPROXIMATE LOCATION ONLY. THE CONTRACTOR SHALL COORDINATE WITH PLUMBING PLANS TO VERIFY THE LOCATION OF ALL ROOF DOWNSPOUTS AND SHALL BE RESPONSIBLE FOR EXTENDING ROOF DRAIN COLLECTORS TO ALL DOWNSPOUTS IN ACCORDANCE WITH APPLICABLE CODES.
3. CLEANOUT STACKS, WYES, TEES, ETC. SHALL BE OF THE SAME MATERIAL AS THE COLLECTOR PIPING.
4. FINISH TOP OF CLEANOUT CAPS SHALL BE FLUSH WITH FINISH GRADE. CLEANOUTS SHALL BE PROVIDED AT MAXIMUM 50' INTERVALS FOR 4" PIPE, AND AT MAXIMUM 100' INTERVALS FOR 6" PIPE. ALL ROOF DRAIN PIPING SHALL BE INSTALLED AT 1.0% MIN. SLOPE.
5. WHERE COLLECTOR PIPING DISCHARGES INTO NEW STORM DRAIN STRUCTURES, THE JOINT SHALL BE MADE WATERTIGHT USING NON-SHRINK GROUT APPROVED FOR USE WITH THE SELECTED PIPING MATERIAL.
6. THE BUILDING CONTRACTOR SHALL PROVIDE AND INSTALL ALL REQUIRED PIPING, FITTINGS, ETC. TO CONNECT THE ROOF DRAIN DOWNSPOUTS TO THE STORM DRAIN SYSTEM.
7. THE SITEWORK CONTRACTOR SHALL PROVIDE AND INSTALL ALL NEW ROOF DRAIN COLLECTOR PIPING, FITTINGS, CLEANOUTS ETC. TO POINTS SPECIFIED HEREON, AND SHALL PLUG AND CAP FOR EXTENSION TO THE BUILDING BY THE PLUMBING CONTRACTOR. THE SITEWORK CONTRACTOR SHALL MAINTAIN ACCURATE AS-BUILT PLANS SHOWING THE LOCATIONS OF ALL CAPPED ENDS WITH DIMENSIONS TO PHYSICAL FEATURES AND SHALL PROVIDE THESE AS-BUILTS TO THE GENERAL CONTRACTOR UPON COMPLETION OF THE SITEWORK.

FLOODPLAIN/FLOODWAY LIMITS

FLOODPLAIN AND FLOODWAY LIMITS SHOWN ARE FROM FEMA FLOOD INSURANCE RATE MAP, PANEL 51161C0041-F, REVISED FEBRUARY 4, 2005.

TELEPHONE SERVICE NOTE

LOCATION OF TELEPHONE SERVICE IS NOT SHOWN ON THESE PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING LOCATION OF TELEPHONE DROP, ROUTE OF NEW LINES TO BUILDING AND LOCATION OF ENTRY AT NEW STRUCTURE WITH VERIZON AND THE BUILDING PLANS.

GAS SERVICE NOTE

ANY REQUIRED GAS SERVICE LINE ROUTE TO BUILDING IS NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL COORDINATE SIZE OF NEW GAS SERVICE LINE, LOCATION OF TAP TO GAS MAIN AND ROUTING OF NEW GAS SERVICE TO THE BUILDING WITH ROANOKE GAS COMPANY, BUILDING PLANS AND SITE UTILITY PLANS.

ELECTRIC SERVICE NOTE

LOCATION OF UNDERGROUND ELECTRIC SERVICE TO NEW FACILITY IS NOT SHOWN IN THESE PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING NEW ELECTRICAL SERVICE REQUIREMENTS AND LOCATION OF CONNECTION TO BUILDING WITH THE BUILDING PLANS AND AEP.

NARRATIVES AND CONSTRUCTION NOTES
FOR
**CHURCH ALIVE
INTERNATIONAL**
CORNER OF PETERS CREEK RD AND SALEM
TURNPIKE NORTHWEST
CITY OF ROANOKE, VA.



CALDWELL WHITE ASSOCIATES

ENGINEERS / SURVEYORS / PLANNERS

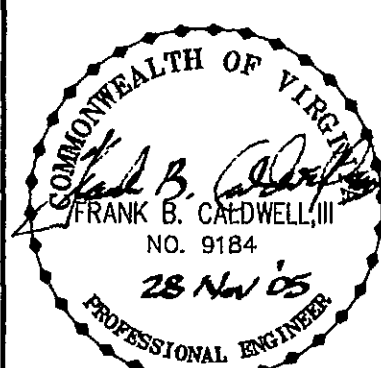
4808 MELROSE AVENUE, N.W.

P.O. BOX 6280

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(540) 366-3400

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Designed: JWK

Checked: FBC

Date: SEPTEMBER 1, 2005

Rev: NOV. 28, 2005

Scale: 1"=30'

Tax Parcel: 6050113

W.D. No.: 05-0052