

NOTES:

THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT AND THERE MAY EXIST ENCUMBRANCES NOT SHOWN HEREON WHICH MAY AFFECT THIS PROPERTY.

THIS PLAN HAS BEEN PREPARED FROM EXISTING RECORDS.

THIS PROPERTY IS NOT LOCATED WITHIN THE LIMITS OF A 100 YEAR FLOOD BOUNDARY AS DESIGNATED BY FEMA. THIS OPINION IS BASED ON AN INSPECTION OF THE FLOOD INSURANCE RATE MAP AND HAS NOT BEEN VERIFIED BY ACTUAL FIELD ELEVATIONS. SEE COMMUNITY MAP NUMBER 51161C0152G, DATED SEPTEMBER 28, 2007, ZONE X, Unshaded.

OWNER: Electric Group, LLC

PROPERTY ADDRESS:
#7000 Peters Creek Road

LEGAL REFERENCE: DB: 201701425

TAX MAP NUMBER : 027.10-05-06.00-0000
0.696 Acres

PROPERTY IS SERVED BY PUBLIC WATER AND SEWER

PROPERTY IS CURRENTLY ZONED: C2

PROPOSED USE: RETAIL SALES, RESTAURANT, DRIVE-IN OR FAST FOOD AND RESTAURANT, GENERAL.

MINIMUM SETBACK REQUIREMENTS:

FRONT YARD : 30'
SIDE YARD: 0'
REAR YARD: 15'

ELEVATION DATUM IS ROANOKE COUNTY CONTROL.

GENERAL:

WVWA Plan Notes

General Notes

1. All construction methods and materials shall conform to the latest WVWA Design and Construction Standards
2. The contractor or developer is required to notify the Western Virginia Water Authority in writing at least three (3) days prior to any construction. Please contact Mark Sink at 537-3460.
3. All work shall be subject to inspection by the Western Virginia Water Authority
4. Field corrections shall be approved by the Western Virginia Water Authority prior to such construction.
5. The contractor shall maintain a minimum of 18" clearance vertically and 2' minimum horizontally from outside of pipe to outside of pipe at all water, sanitary sewer crossings of any other utilities. Where this cannot be achieved additional measures in accordance with WVWA standards shall be enforced.
6. Any existing appurtenances should be adjusted to grade and new frame and covers installed where required
7. It is the contractor's responsibility to have all existing utilities located and potholed to verify locations. This plan review does not remove the contractor's responsibility to relocate any existing conflicts found during construction.

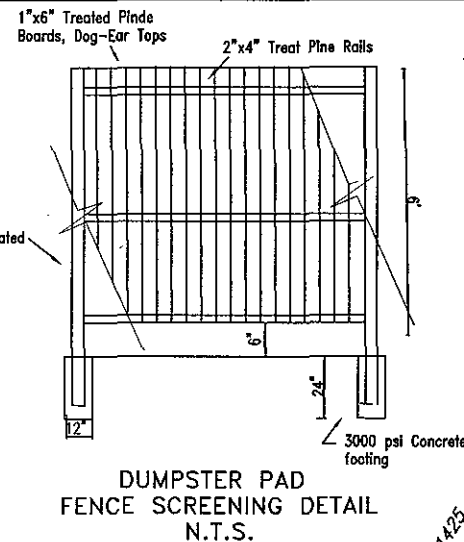
Sewer Notes - Add the following

1. All sanitary sewer connections to existing lines shall be coordinated with and performed by the Western Virginia Water Authority.
2. All water and sanitary sewer facilities are to be installed according to the Western Virginia Water Authority Design and Construction Standards.

Water Notes - Add the following

1. All water connections to existing lines shall be coordinated with and performed by the Western Virginia Water Authority.
2. All water and sanitary sewer facilities are to be installed according to the Western Virginia Water Authority Design and Construction Standards

- See attached Details: W-5, G-4, G-4A, G-11 & G-12



Approved permit plans - latest version

Existing Landscaping

4 ○ Shrubs, (1)Azelea, (2)Holly, (1)Barberry

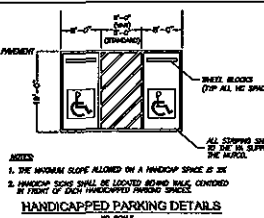
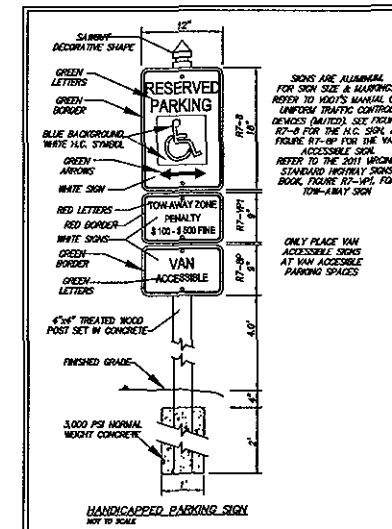
3 ● 42" High Barberry Bushes

10 Perennials

N/F
GRASSROOTS MAINTENANCE, INC.
INSTRUMENT NO. 201207262
TAX MAP# 027.10-05-05.01
Zoned: C2

N/F
GRASSROOTS MAINTENANCE, INC.
INSTRUMENT NO. 201207262
TAX MAP# 027.10-05-05.00
Zoned: C2

New Concrete Dumpster Pad.
See Detail For Fence Screening
Around Dumpster Pad Area.
Dumpster Pad Shall Be Sloped
To The Rear Of The Pad.



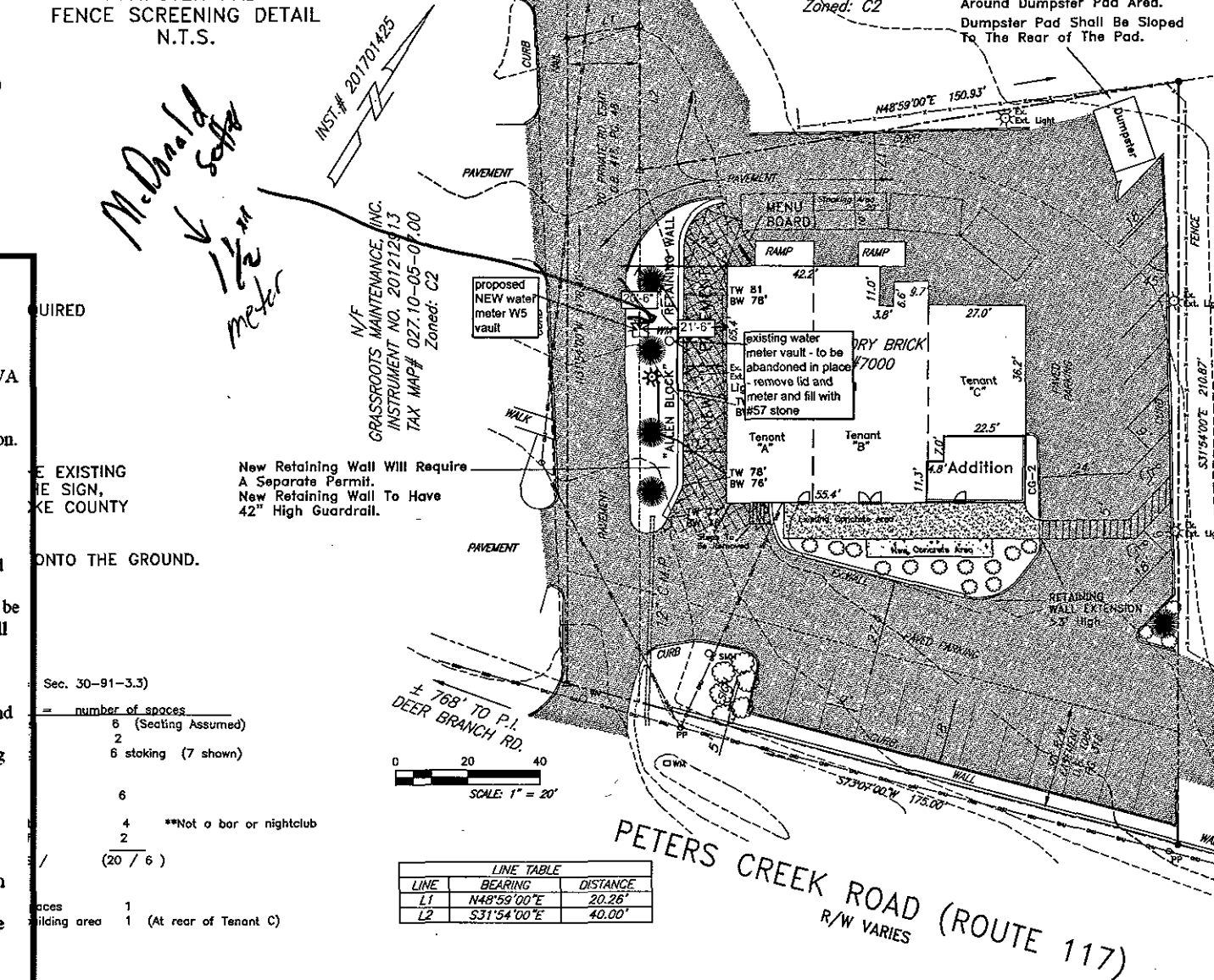
**PIERSON
ENGINEERING
&
SURVEYING**

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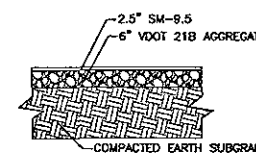
SITE PLAN
FOR
#7000 PETERS CREEK ROAD
ROANOKE COUNTY, VIRGINIA

SITE PLAN



New Landscaping Plan NEW LANDSCAPING SCHEDULE

- 13 ○ EVERGREEN SHRUBS OR AZALEAS
- 5 ● SMALL UNDERSTORY TREES, 1" MIN. CALIPER, (Crape Myrtle) (10' Diam. ● Maturity)
- 16 PERENNIALS, MIN 1-GALLON AT PLANTING



PARKING LOT PAVEMENT TYPICAL SECTION

NOTES:
1. ON-SITE PAVEMENT SECTIONS ARE SUBJECT TO MODIFICATIONS.



Justin Fischer

As-built

10/31/18

Per Plan

Approved Date 9/28/2018