

# PHEASANT RIDGE INDEPENDENT LIVING APARTMENTS

## ROANOKE, VIRGINIA DESIGN DEVELOPMENT SUBMITTAL

### DEVELOPER/OWNER

SMITH/PACKETT  
4415 Pheasant Ridge SW  
Suite 301  
Roanoke, Virginia 24014

(540) 774-7762  
(540) 772-6470 FAX

### STRUCTURAL ENGINEER

WOLFMAN & ASSOCIATES  
8720 Georgia Avenue, Suite 908  
Silver Spring, MD 20910

(301) 587-0260  
(301) 587-6886 FAX

### ARCHITECT / LANDSCAPE ARCHITECT

HORD COPLAN MACHT, INC.  
750 E. Pratt Street  
Suite 1100  
Baltimore, MD 21202

(410) 837-7311  
(410) 837-6530 FAX

### M/E/P

CENTURY ENGINEERING  
32 West Road  
Towson, MD 21204

(410) 823-8070  
(410) 823-2184 FAX

### CONTRACTOR

JONES AND JONES, ASSOCIATES  
6120 Peters Creek Road  
Roanoke, Virginia 24019

(540) 366-3335  
(540) 366-3613 FAX

### CIVIL ENGINEER

### DRAWING INDEX

COVER SHEET  
A0.1 COVER SHEET  
A0.2 WALL TYPE SHEET  
A0.3 CODE SHEET  
CML  
C1.0 SITE PLAN AND NOTES  
C2.0 SITE PLAN  
C3.0 SITE PROFILE AND EROSION AND  
SEEDMENT CONTROL NOTES  
C4.0 SITE PROFILE, EROSION AND SEEDMENT  
CONTROL NOTES AND DETAILS

LANDSCAPE  
L1.0 SITE PLAN  
L2.0 SITE CHANGEMENTS  
L3.0 DETAILS  
L3.1 DETAILS  
L4.0 PLANTING PLANS  
L4.1 PLANTING DETAILS

ARCHITECTURAL  
A2.1A PARKING LEVEL PLAN  
A2.1B PARKING LEVEL PLAN  
A2.2A TERRACE LEVEL PLAN  
A2.2B TERRACE LEVEL PLAN  
A2.3A 1st FLOOR PLAN  
A2.3B 1st FLOOR PLAN  
A2.4A 2nd FLOOR PLAN  
A2.4B 2nd FLOOR PLAN  
A2.5A 3rd FLOOR PLAN  
A2.5B 3rd FLOOR PLAN  
A2.6 ROOF PLAN

A3.1 REFLECTED CEILING PLANS  
A3.2 REFLECTED CEILING PLANS

A4.1 ELEVATIONS  
A4.2 ELEVATIONS

A5.1 BUILDING SECTIONS  
A5.2 WALL SECTIONS  
A5.3 WALL SECTIONS  
A5.4 WALL SECTIONS  
A5.5 WALL SECTIONS  
A5.6 WALL SECTIONS

A6.1 ENLARGED UNIT PLANS  
A6.2 ENLARGED UNIT PLANS  
A6.3 LARGE SCALE PLANS

A7.1 INTERIOR ELEVATIONS

A8.1 STAIR PLANS, DETAILS AND SECTIONS  
A8.2 ELEVATOR PLANS, DETAILS AND SECTIONS

A9.1 MISCELLANEOUS DETAILS

A10.1 DOOR SCHEDULE AND DETAILS  
A10.2 WINDOW SCHEDULE  
A10.3 FINISH SCHEDULE

MECHANICAL

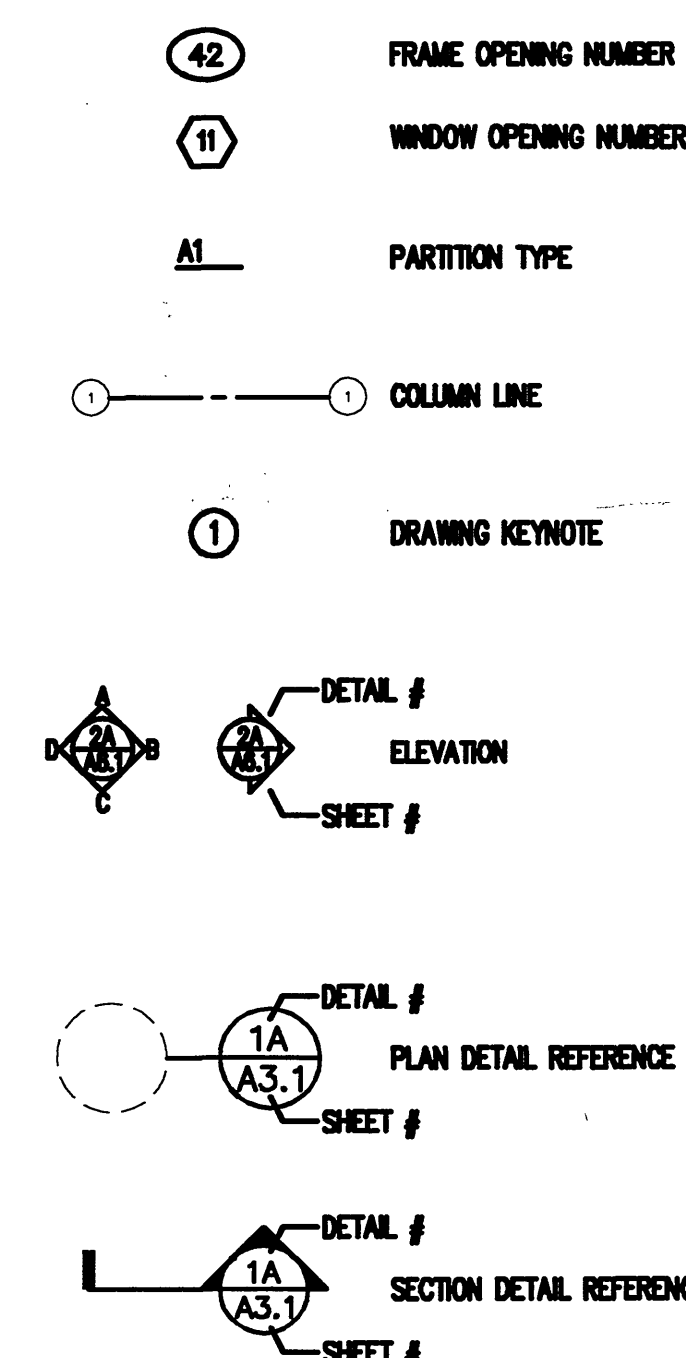
M1.0 Legend and Abbreviations  
M1.1A Parking Level Floor Plan - HVAC  
M1.1B Parking Level Floor Plan - HVAC  
M1.2A Terrace Level Floor Plan - HVAC  
M1.2B Terrace Level Floor Plan - HVAC  
M1.3A First Floor Plan - HVAC  
M1.3B First Floor Plan - HVAC  
M1.4A Second Floor Plan - HVAC  
M1.4B Second Floor Plan - HVAC  
M1.5A Third Floor Plan - HVAC  
M1.5B Third Floor Plan - HVAC  
M2.1 Typical Unit Plans - HVAC  
M2.2 Typical Unit Plans - HVAC  
M2.3 Typical Unit Plans - HVAC  
M3.0 Mechanical Details

PLUMBING  
P1.1A Parking Level Floor Plan - Plumbing  
P1.1B Parking Level Floor Plan - Plumbing  
P1.2A Terrace Level Floor Plan - Plumbing  
P1.2B Terrace Level Floor Plan - Plumbing  
P1.3A First Floor Plan - Plumbing  
P1.3B First Floor Plan - Plumbing  
P1.4A Second Floor Plan - Plumbing  
P1.4B Second Floor Plan - Plumbing  
P1.5A Third Floor Plan - Plumbing  
P1.5B Third Floor Plan - Plumbing  
P2.1 Typical Unit Plan - Sheet 1 - Plumbing  
P2.2 Typical Unit Plan - Sheet 2 - Plumbing  
P3.1 Schedules and Details - Plumbing

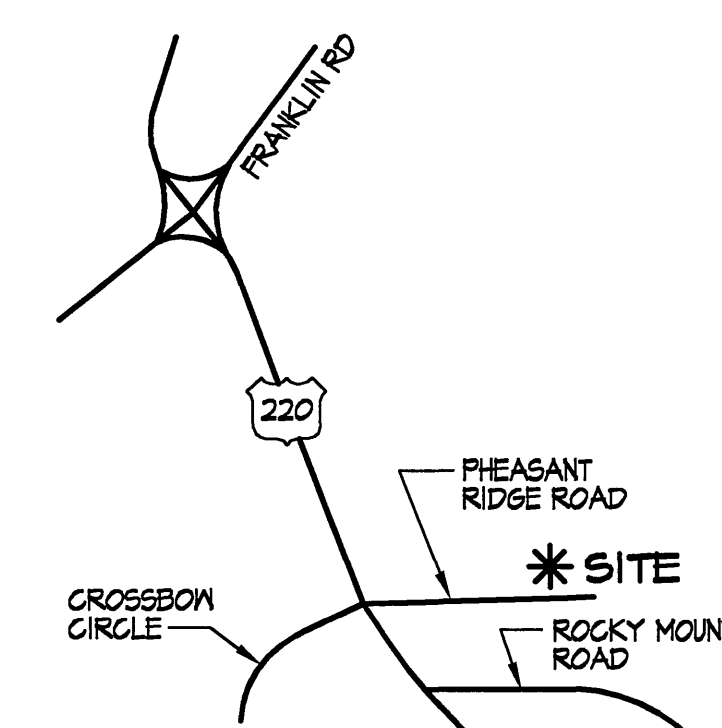
### ABBREVIATIONS

|         |                          |        |                        |        |                        |
|---------|--------------------------|--------|------------------------|--------|------------------------|
| A.F.F.  | ABOVE FINISH FLOOR       | GA     | GAUGE                  | STD    | STANDARD               |
| ACOUS   | ACOUSTICAL               | GALV   | GALVANIZED             | STL    | STEEL                  |
| ADJUST  | ADJUSTABLE               | G.C.   | GENERAL CONTRACTOR     | STOR   | STORAGE                |
| A/C     | AIR CONDITION            | GL     | GLASS                  | STRUCT | STRUCTURE              |
| ALUM    | ALUMINUM                 | G.W.B. | GYPSON WALL BOARD      | STRUC  | STRUCTURAL             |
| ANGLE   | ANGLE                    | HT     | HEIGHT                 | SYS    | SYSTEM                 |
| ANOD    | ANODIZED                 | HD WD  | HARDWOOD               | TEMP   | TEMPERED               |
| ARCH    | ARCHITECT(URAL)          | HR     | HOLLOW METAL           | THK    | THICKNESS              |
| AT      | AT                       | HORIZ  | HORIZONTAL             | TH     | THRESHOLD              |
| B       | BASE                     | HR     | HOUR                   | T      | TREAD                  |
| BM      | BEAM                     | LD     | INNER DIMENSION        | TYP    | TYPICAL                |
| CAB     | CABINET                  | INS    | INSULATION             | UNO    | UNLESS NOTED OTHERWISE |
| CLG     | CEILING                  | INT    | INTERIOR               | V.I.F. | VERIFY IN FIELD        |
| CL      | CENTER LINE              | JOINT  | JOINT                  | VERT   | VERTICAL               |
| CER     | CERAMIC                  | LAM    | LAMINATE               | VCT    | VINYL COMPOSITION TILE |
| C       | CHANNEL                  | LOC    | LOCATION               | WC     | WATER CLOSET           |
| CL      | CLEAR(ANCE)              | L.B.   | LOUVER BLIND           | W      | WIDE, WIDTH            |
| CH(S)   | COAT HOOK (STRIP)        | MAINT  | MAINTENANCE            | W/     | WITH                   |
| COL     | COLUMN                   | MFR    | MANUFACTURER           | WD     | WOOD                   |
| CONC    | CONCRETE                 | M.O.   | MASONRY OPENING        |        |                        |
| CMU     | CONCRETE MASONRY UNIT    | M.R.   | MOISTURE RESISTANT     |        |                        |
| CONT    | CONTINUOUS               | MAX    | MAXIMUM                |        |                        |
| C.J.    | CONTROL JOINT            | MECH   | MECHANICAL             |        |                        |
| COORD   | COORDINATE               | MTL    | METAL                  |        |                        |
| CORR    | CORRIDOR                 | MIN    | MINIMUM                |        |                        |
| D       | DEEP                     | MISC   | MISCELLANEOUS          |        |                        |
| DEMO    | DEMOLITION               | N.L.C. | NOT IN CONTRACT        |        |                        |
| DTL     | DETAIL                   | N.T.S. | NOT TO SCALE           |        |                        |
| DIA     | DIAMETER                 | NO     | NUMBER                 |        |                        |
| DM      | DIMENSION                | O.C.   | ON CENTER              |        |                        |
| D.S.    | DOWN SPOUT               | OPG    | OPENING                |        |                        |
| DRYW    | DRYWALL                  | O.D.   | OUTSIDE DIAMETER       |        |                        |
| EA      | EACH                     | PTD    | PAINTED                |        |                        |
| ELEC    | ELECTRIC(AL)             | PNL    | PANEL                  |        |                        |
| EL      | ELEVATION                | PL     | PLATE                  |        |                        |
| EQ      | EQUAL                    | PLYMD  | PLYWOOD                |        |                        |
| EXIST   | EXISTING                 | R.C.P. | REFLECTED CEILING PLAN |        |                        |
| EXP     | EXPANSION                | R      | RISER                  |        |                        |
| EXT     | EXTERIOR                 | REINF  | REINFORCING            |        |                        |
| FIN     | FINISH(ED)               | REQD   | REQUIRED               |        |                        |
| F.F. EL | FINISHED FLOOR ELEVATION | RM     | ROOM                   |        |                        |
| F.E.    | FIRE EXTINGUISHER        | R      | ROUND                  |        |                        |
| FLR     | FLOOR(ING)               | SM     | SIMILAR                |        |                        |
| F.D.    | FLOOR DRAIN              | S.C.   | SOLID CORE             |        |                        |
| FT      | FOOT                     | S.S.   | STAINLESS STEEL        |        |                        |

### SYMBOLS



BL KEY PLAN  
A2.1A NO SCALE  
DRAWING TAG



VICINITY MAP  
NO SCALE

TAX MAP NUMBER - 5460124  
ADDRESS - 4428 PHEASANT RIDGE ROAD  
ROANOKE, VIRGINIA 24014

### GENERAL NOTES

- THESE SPECIFICATIONS AND DRAWINGS ARE COMPLEMENTARY. ITEMS SHOWN ON ONE DRAWING ARE AS IF IT WERE SHOWN ON ALL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO REVIEW THE DRAWINGS. ANY DISCREPANCIES BETWEEN THE DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION.
- DO NOT SCALE DRAWINGS. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT JOB SITE PRIOR TO BIDDING AND START OF CONSTRUCTION. IF DISCREPANCIES ARE FOUND, THE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION.
- ABBREVIATIONS THROUGHOUT THE PLANS ARE THOSE IN COMMON USE. IF THE MEANING OF ANY ABBREVIATIONS IS UNCLEAR, PLEASE BRING IT TO THE ATTENTION OF THE ARCHITECT FOR VERIFICATION.
- ALL WORK SHALL COMPLY WITH IRC 2000 CODE, NFPA 101, 1994 NFPA 72 (Fire Alarm), 1994 NFPA 13 (Sprinkler), 1992 CBO/ANSI 117.1 AND ALL OTHER APPLICABLE LOCAL CODES AS WELL AS STATE AND FEDERAL GUIDELINES.
- FLOOR ELEVATIONS ARE TO THE TOP OF CONCRETE UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS ARE TO COLUMN CENTER LINES, FACE OF STUD OR FACE OF MASONRY (IF EXPOSED) UNLESS NOTED OR SHOWN OTHERWISE. — "5'-0" CLEAR" INDICATES A 5'-0" CLEARANCE FROM FACE OF FINISH MATERIAL TO FACE OF FINISH MATERIAL.
- EXTEND ALL FIRE RATED PARTITIONS TO UNDERSIDE OF DECK AND SEAL TIGHTLY.
- CEILING HEIGHT DIMENSIONS ARE TO FINISHED SURFACES OF CEILING.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL ACCESSORIES INCLUDING STIFFENERS, BACK-UP PLATES, SUPPORTING BRACKETS, ETC., AS MAY BE NECESSARY TO MAKE THE WORK WHOLE AND COMPLETE.
- CONTACT BETWEEN DISSIMILAR METALS SHALL BE PROTECTED TO PREVENT GALVANIC ACTION.
- ALL WORK TO BE DONE IN WORKMANLIKE MANNER AND IN CONFORMANCE WITH MANUFACTURER'S REQUIREMENTS.
- ALL WORK TO BE DONE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL AUTHORITIES, RULES AND REGULATIONS.
- ALL DIMENSIONS ARE TO BE FIELD VERIFIED.
- ANY UNFORESEEN OR UNCLEAR CONDITIONS ARE TO BE REPORTED TO THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
- REMOVE ALL DEBRIS PROPERLY FROM SITE. ALL DEMOLISHED MATERIAL, EXCEPT THAT LISTED OR MARKED BY ARCHITECT FOR RETENTION, SHALL BECOME THE PROPERTY OF THE CONTRACTOR. LOAD DEMOLISHED MATERIAL DIRECTLY ON TRUCKS OR INTO DUMPSTER FOR REMOVAL. DISPOSE OF DEBRIS LEGALLY. DO NOT BURN ON SITE. DO NOT ALLOW DEBRIS TO ENTER SEWERS. DO NOT LET PILED DEBRIS ENDANGER STRUCTURE, BLOCK EXITS OR ROADWAYS.
- CONTRACTOR TO VERIFY ALL PRECAUTIONS NECESSARY WHEN OPEN FLAME OR TORCHES ARE BEING USED DURING CONSTRUCTION.
- KEEP ALL FLOOR DRAINS FREE AND CLEAR OF DEBRIS, TYPICAL.
- PROVIDE APPROPRIATE BLOCKING IN WALLS FOR ALL WALL HUNG ITEMS NOT ALREADY BACKED IN WALL, TYPICAL.
- ADJACENT PROPERTIES WILL REMAIN OPEN AND CONTINUE TO FUNCTION UNINTERRUPTED DURING CONSTRUCTION. PRIOR TO START OF WORK EACH DAY, COORDINATE ALL CONSTRUCTION ACTIVITY WITH ADJACENT PROPERTIES.
- WHERE APPLICABLE, CONTRACTOR SHALL SURVEY THE AREA OF CONSTRUCTION AND MAKE ALL NOTATIONS NECESSARY FOR SUBMITTING A FIRM BID.
- CONTRACTOR SHALL PAY FOR ALL REQUIRED PERMITS AND INSPECTIONS.
- ALL MATERIAL SHALL BE NEW AND OF FIRST QUALITY. THE QUALITY OF WORKMANSHIP SHALL BE THE FINEST AND HIGHEST OBTAINABLE IN EACH PARTICULAR TRADE. WORKMANSHIP SHALL BE SATISFACTORY TO THE OWNER, AND HIS DECISION AS TO ACCEPTABLE QUALITY IS FINAL.
- CONTRACTOR SHALL COORDINATE ALL WORK AND COOPERATE WITH OTHER TRADES IN THE BUILDING TO FACILITATE EXECUTION OF WORK.
- LOCATE ALL EQUIPMENT TO FACILITATE OPERATION AND MAINTENANCE. EQUIPMENT WILL INCLUDE BUT NOT BE LIMITED TO, DOOR/SHUTTER CONTROLLERS, DAMPERS, DRAINS, VALVES, ETC. EQUIPMENT DEEMED INACCESSIBLE BY THE OWNER OR ENGINEER SHALL BE REWORKED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
- ALL SURFACES TO RECEIVE NEW FINISHES INCLUDING FLOORS, WALLS, CEILINGS, TRIM, ETC., SHALL BE THOROUGHLY PREPARED FOR NEW FINISHES PRIOR TO THEIR APPLICATION. SURFACE PREPARATION SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE MANUFACTURER.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PREPARATION OF ALL WALL SURFACES. PRIMING AND FINISH APPLICATION WILL BE PERFORMED BY CONTRACTOR.
- IF THE WALL SURFACES ARE TO BE PRIMED AND/OR FINISHED BY A SEPARATE CONTRACTOR, HIS APPLICATION OF THE PRIMING AND/OR FINISH REPRESENTS ACCEPTANCE ON HIS BEHALF OF THE SUFFICIENCY FOR PRIMING AND/OR FINISHING.
- SEE CIVIL, LANDSCAPE, STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL AND VERTICAL TRANSPORTATION DRAWINGS FOR COORDINATION.
- ALL EXISTING ADJACENT PROPERTY AND CITY-OWNED PROPERTY ON SAME SITE DAMAGED BY DEMOLITION ACTIVITIES SHALL BE PATCHED, REPAIRED AND/OR REPLACED TO BALTIMORE CITY STANDARDS AT NO COST TO THE OWNER.
- COORDINATE WITH THE OWNER AND THE CITY AND PROVIDE VEHICULAR AND PEDESTRIAN PROTECTION/BARRICADES AS REQUIRED.
- PROVIDE TEMPORARY SHORING AND/OR UNDERPINNING AS REQUIRED TO MAINTAIN THE STRUCTURAL INTEGRITY OF EXISTING CONSTRUCTION.
- PROVIDE APPROPRIATE PROTECTION FROM CLIMATIC CONDITIONS FOR NEW CONSTRUCTION THAT IS EXPOSED DURING THE CONSTRUCTION PROCESS.

RECEIVED

DEC 03 2004

CITY OF ROANOKE  
PLANNING BUILDING AND DEVELOPMENT