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PHEASANT RIDGE

DEVELOPMENT PLAN FOR PHEASANT RIDGE ASSISTED LIVING

SITUATED AT
4414 PHEASANT RIDGE ROAD, SW
TAX MAP #5460124 & 5470302
THE CITY OF ROANOKE, VIRGINIA

DATE: June 23, 2017

PREPARED FOR
SMITH/PACKETT MED-COM, L.L.C.

NOTICE: All Landowners, Developers and Contractors

FAILURE TO COMPLY WITH THE CITY OF ROANOKE CONSTRUCTION PROCEDURE REQUIREMENTS LISTED BELOW MAY RESULT IN THE COSTLY REMOVAL OF STRUCTURES, TIME DELAYS, OR THE ISSUANCE OF A STOP WORK ORDER.

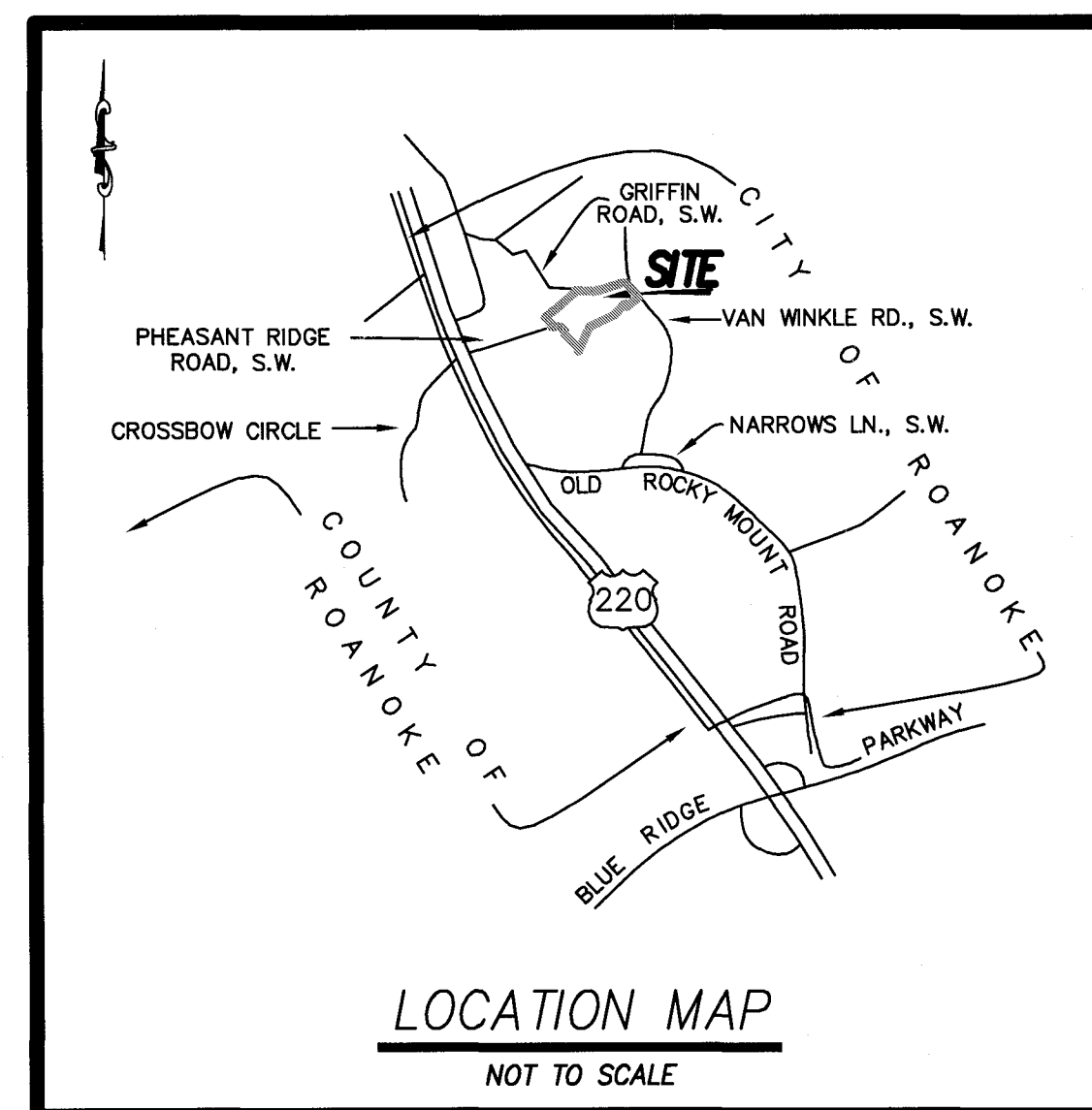
CONSTRUCTION PROCEDURE REQUIREMENTS

- 1. Right-of-Way Excavation Permit** – Prior to the commencement of any digging, alteration or construction within the public right-of-way (streets, alleys, public easements), a right-of-way excavation permit shall be applied for and obtained by the contractor from the City of Roanoke.
- 2. Land Disturbance Permit** – An approved erosion and sediment control plan for any borrow/fill sites associated with the project must be submitted prior to the issuance of a land disturbance permit.
- 3. Plans and Permits** – A copy of the plans as approved by the City (signed by the proper City officials) and all permits issued by the City shall be available at the construction site at all times of ongoing construction.
- 4. Location of Utilities** – The contractor shall verify the location of all existing utilities prior to the commencement of any construction.
- 5. Construction Entrance** – The contractor shall install an adequate construction entrance for all construction related egress from the site. Size and composition of construction entrance shall be as shown on the plans.
- 6. Streets to Remain Clean** – It shall be the responsibility of the contractor to insure that the public street adjacent to the construction entrance remains free of mud, dirt, dust, and/or any type of construction materials or litter at all times.
- 7. Barricades/Ditches** – The contractor shall maintain the integrity of all excavated ditches and shall furnish and ensure that all barricades proper and necessary for the safety of the public are in place.
- 8. Sewer and Pavement Replacement** – Construction of sanitary sewers and the replacement of pavement shall be in accordance with approved standards and specifications of the City of Roanoke and the Western Virginia Water Authority.
- 9. Approved Plans/Construction Changes** – Any change or variation from construction design as shown on the officially approved plans shall be approved by the erosion and sediment control agent prior to said changes or variation in construction being made.
- 10. Final Acceptance/City** – The owner or developer shall furnish the City of Roanoke's Planning Building and Development Department with a field surveyed final correct set of as-built plans of the newly constructed storm rain and/or stormwater management facilities prior to final acceptance and issuance of a certificate of occupancy by the City. As-built plans shall be provided in the State Plane Virginia South Coordinate System, NAD 1983, FIPS 4502 Feet, US Survey Feet, Datum NA 83, in the form of 1 paper copy and 1 digital AUTOCAD file.

CONDITIONS (ORDINANCE NO. 40769-022117):

THE PETITIONER HEREBY REQUESTS THAT THE FOLLOWING CONDITIONS BE ADOPTED AS THEY PERTAIN TO THE REZONING OF THE PARCELS SHOWN HEREON.

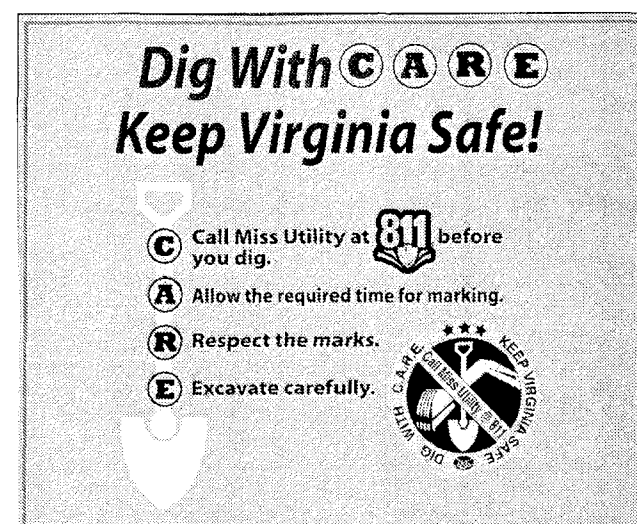
1. THAT THE PROPERTY WILL BE DEVELOPED IN SUBSTANTIAL CONFORMITY WITH THE DEVELOPMENT PLAN PREPARED BY LUMSDEN ASSOCIATES, P.C., DATED DECEMBER 20, 2016, LABELED AS EXHIBIT "A-1", WITH THE GRIFFIN ROAD SECTION DATED DECEMBER 20, 2016, LABELED AS EXHIBIT "A-2" AND WITH THE ARCHITECTURAL ELEVATIONS DATED DECEMBER 20, 2016, LABELED AS EXHIBITS "B-1" AND "B-2".
2. THAT THE FOLLOWING LANDSCAPING WILL BE ESTABLISHED AS DESCRIBED AND MAINTAINED HEREAFTER:
 - a. AT SUCH TIME AS THE DITCH ALONG VAN WINKLE AND GRIFFIN ROADS IS CONSTRUCTED, A LANDSCAPED BUFFER AREA 30' IN WIDTH WILL BE ESTABLISHED AND MAINTAINED WITH A MIXTURE OF BOX HARDWOOD AND 20% CONIFER TREES. PLANT SPACING AT TIME OF PLANTING WILL BE 12' ON CENTER IN A SINGLE ROW OR 15' ON CENTER IN TWO OFFSET ROWS AS SPACE ALLOWS. WITHIN THE LANDSCAPED BUFFER AWAY FROM GRIFFIN ROAD AND VAN WINKLE ROAD, AND AS SPACE ALLOWS, DOWNEY SERVICEBERRY (*Amelanchier arborea*) WILL BE PLANTED AT 20' ON CENTER ALONG WITH THE TREES. EXISTING VEGETATION WILL BE RETAINED WHERE NO CONSTRUCTION ACTIVITIES TAKE PLACE.
 - b. LANDSCAPING ALONG THE BASE OF THE RETAINING WALL ABOVE THE EXISTING POND WILL BE LEYLAND CYPRESS (*x Cupressocyparis leylandii*) OR 'NELLIE STEVENS' HOLLY (*Ilex x 'Nellie R. Stevens'*) SPACED AT 8' ON CENTER WHERE WALL HEIGHT EXCEEDS 10', AND ALTERNATED CLUSTERS OF CHOKEBERRY (*Aronia arbutifolia*) AND CRANBERRYBUSH VIBURNUM (*Viburnum trilobum*) SPACED AT 3' AND 4' ON CENTER RESPECTIVELY.
 - c. DISTURBED AREAS OF DEVELOPMENT THAT ARE NOT DESIGNATED AS HARDSCAPE, TURF, FORMALIZED PLANTINGS, OR OPEN SPACE SHALL BE REVEGETATED WITH NATIVE MIXED FOREST WHIPS AT A RATE OF 600 STEMS PER ACRE (80% HARDWOOD/20% CONIFER, WITH AN EVEN DISTRIBUTION OVER PLANTING AREA).
3. THAT RECREATIONAL AMENITIES CONSISTING OF INTERNAL WALKWAYS SHALL BE IMPROVED SURFACES AND INTEGRATED WITH EXISTING WALKWAYS ON ADJACENT PARCELS AS DEPICTED.
4. THAT ALL PROPOSED STRUCTURES SHOWN ON EXHIBIT "A-1" WILL BE CONSTRUCTED OF DURABLE EXTERIOR BUILDING MATERIALS AS DEPICTED ON ELEVATIONS SHOWN ON EXHIBIT "B-1" AND "B-2". THIS SHALL NOT PRECLUDE THE USE OF OTHER BUILDING CONSTRUCTION MATERIALS WHEN USED AS A PARTICULAR COMPONENT OF THE BUILDING SYSTEM SUCH AS GLASSED ATRIUMS, SKYLIGHTS, ENTRY CANOPIES, STANDING SEAM METAL ROOFS, OR OTHER STRUCTURAL OR MECHANICAL SYSTEMS INCIDENTAL TO THE BUILDING USE.
5. THAT EXTERIOR LIGHTING LEVELS AS MEASURED AT THE DISTRICT BOUNDARY SHALL NOT EXCEED 0.5 FOOTCANDLES. EXTERIOR LIGHTING FIXTURES SHALL BE SHIELDED, MOUNTED OR AIMED IN A MANNER THAT DOES NOT CAST GLARE ON ADJACENT PROPERTIES OR RIGHTS-OF-WAY AND MINIMIZES LIGHT TRESPASS.
6. THAT THE PROPERTY WILL COMPLY WITH STORMWATER MANAGEMENT AND OTHER APPLICABLE REGULATIONS DURING THE DEVELOPMENT REVIEW PROCESS.



--INDEX OF DRAWINGS--

SHEET No.	DESCRIPTION
1.	LUMSDEN ASSOCIATES COVER SHEET
2.	NOTES, DETAILS, EXISTING CONDITIONS & DEMOLITION PLAN
3.	SITE AND UTILITIES LAYOUT
4.	OFFSITE WATERLINE LAYOUT
5.	DIMENSIONAL LAYOUT
6.	GRADING PLAN
7.	GRADING DETAILS PLAN
8.	STORM DRAIN PROFILES & DETAILS
9.	STORM DRAIN PROFILES & DETAILS
10.	STORM DRAIN & DITCH PROFILES
11.	SANITARY SEWER PROFILE
12.	WATERLINE PROFILE
13.	LANDSCAPE PLAN
14.	STAGE I EROSION & SEDIMENT CONTROL PLAN
15.	STAGE II EROSION & SEDIMENT CONTROL PLAN
16.	STAGE III EROSION & SEDIMENT CONTROL PLAN
17.	EROSION & SEDIMENT CONTROL NARRATIVE, NOTES & DETAILS
18.	EASEMENTS AND CONSTRUCTION DETAILS
19.	CONSTRUCTION DETAILS

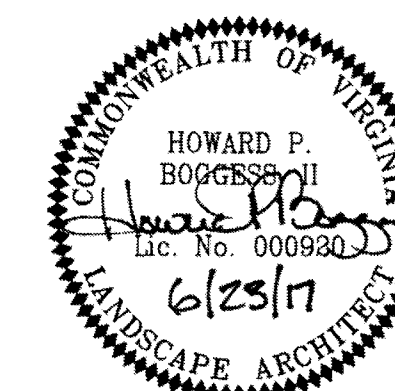
PROJECT No. CP17-0020



LUMSDEN ASSOCIATES, P.C.
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CITY APPROVAL STAMP		REVISIONS	
City of Roanoke Planning, Building, & Development COMPREHENSIVE DEVELOPMENT PLAN APPROVED Any changes to this approved plan must be coordinated with the Agent to the Planning Commission and revisions approved prior to construction. Agent, Planning Commission: <i>[Signature]</i> Date: <i>[Blank]</i> Development Engineer: <i>[Signature]</i> Date: <i>[Blank]</i> Zoning Administrator: <i>[Signature]</i> Date: <i>[Blank]</i>		DATE	SHEETS
COMMISSION NO: 2016-218			
SHEET 1 OF 19			

Charles Couser
AS-BUILT 5-21-19