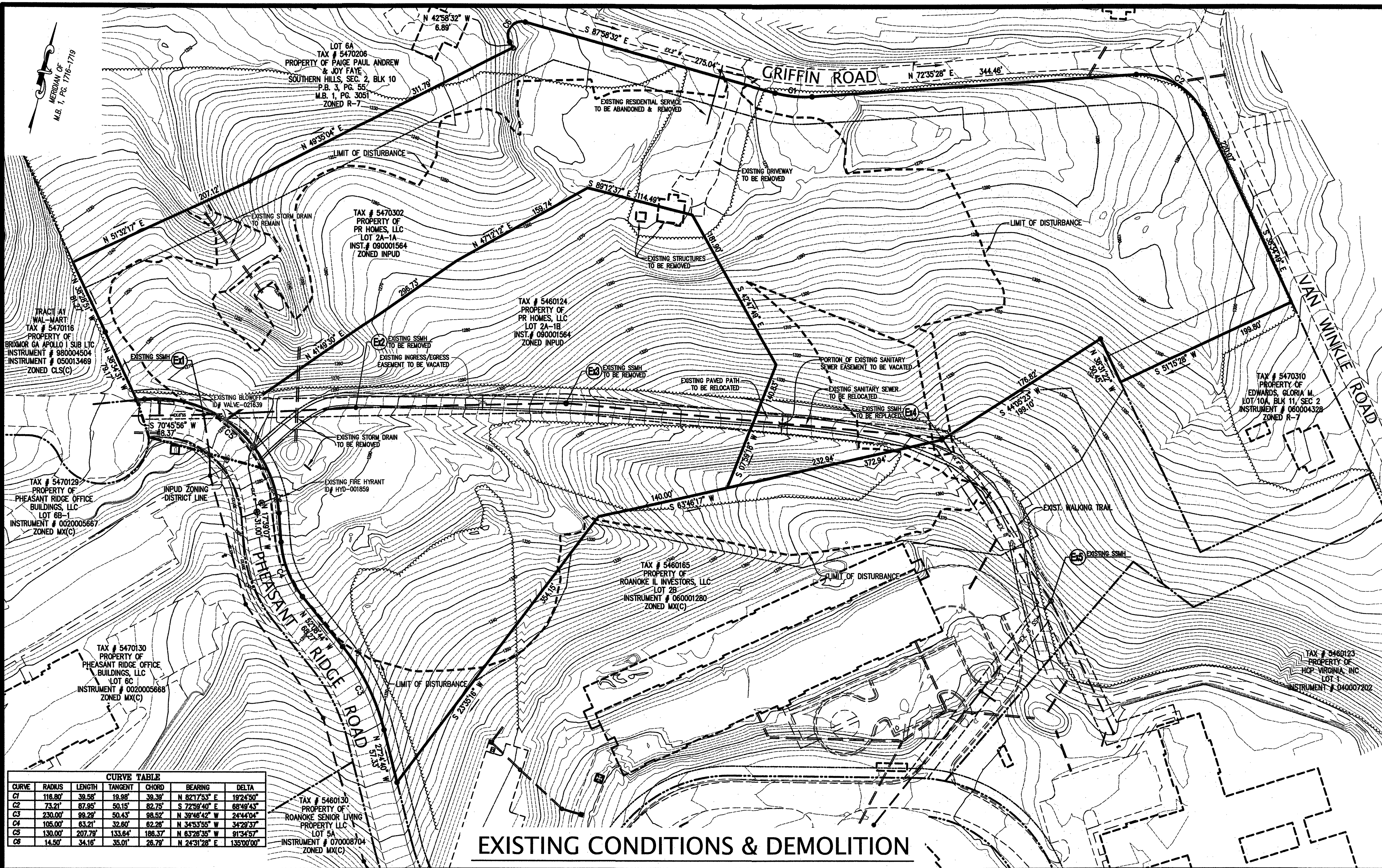


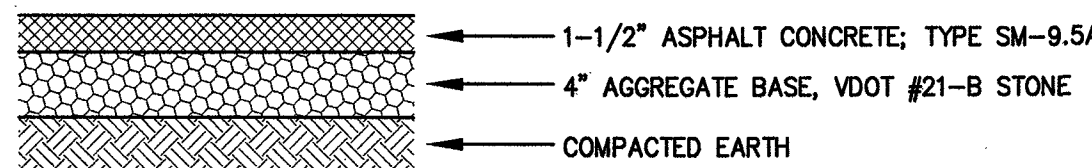
w:\drawings\2014\14247\eng\14247comp.dwg 14247comp-02.nd01.plt



CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	118.80'	39.58'	19.98'	39.39'	N 82°17'53" E	192°43'0"
C2	73.21'	87.95'	50.15'	82.75'	S 72°59'40" E	68°49'43"
C3	230.00'	99.29'	50.43'	98.52'	N 39°46'42" W	244°40'4"
C4	108.00'	63.21'	32.60'	62.86'	N 34°53'55" W	342°33'7"
C5	130.00'	207.78'	133.84'	186.77'	N 83°26'58" W	57°24'57"
C6	14.50'	34.16'	35.01'	26.79'	N 24°31'28" E	138°00'00"

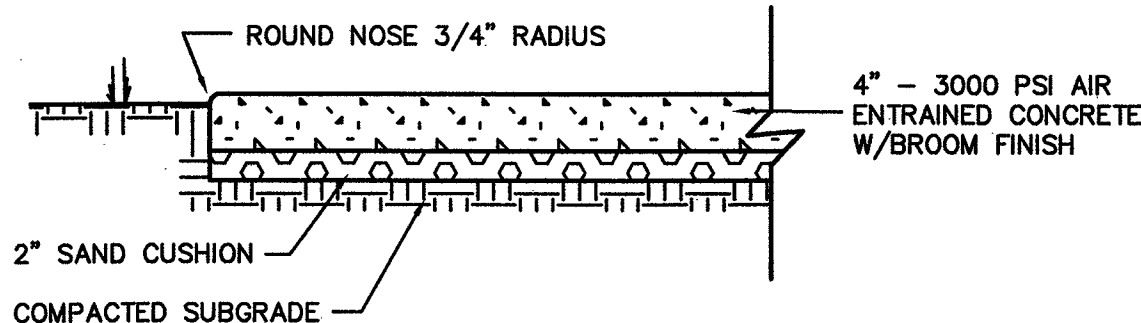
EXISTING CONDITIONS & DEMOLITION

NOTE: CONTRACTION JOINTS @ 4' O.C.
EXPANSION JOINTS MAX. 30' APART.
CURB & SIDEWALK MAY BE POURED
MONOLITHICALLY.



WALKING PATH PAVEMENT DETAIL

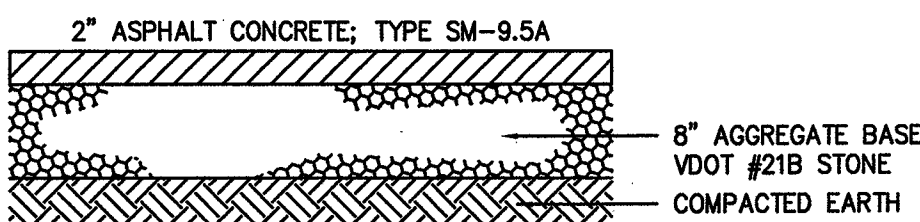
NO SCALE



CONCRETE WALK

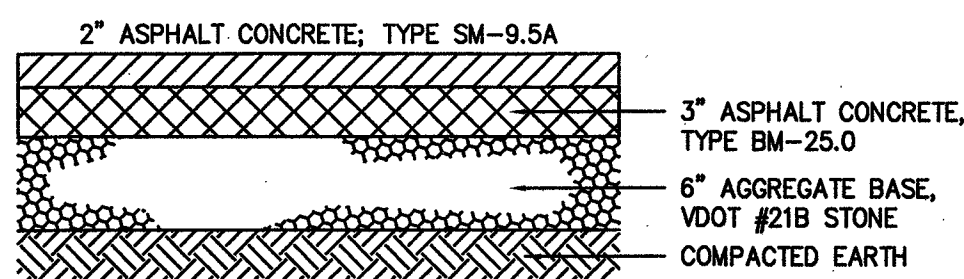
NO SCALE

PAVEMENT NOTES:
1. THE SIZE 21B AGGREGATE SHALL BE PRIMED WITH APPROXIMATELY 0.35 GAL/SY OF RC-250 ASPHALT AND COVERED WITH 16 TO 18 LBS/SY OF SIZE 8-P AGGREGATE BEFORE PLACING SM-9.5A FOR STANDARD PAVEMENT ONLY.



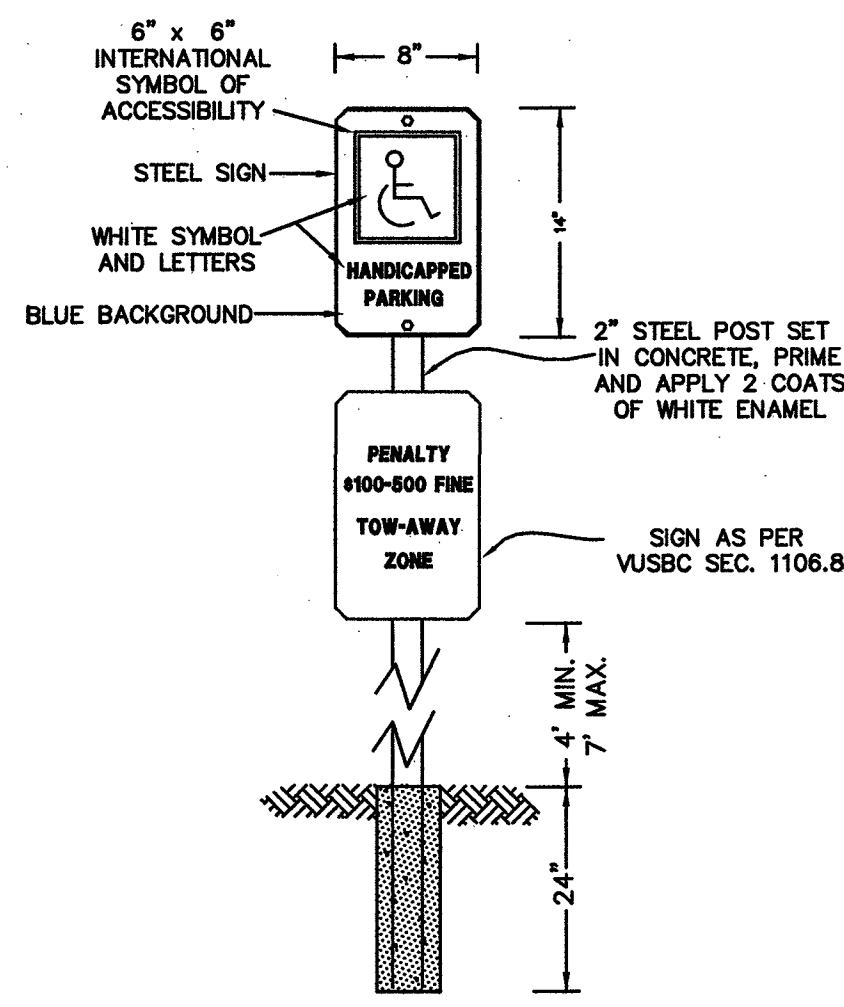
STANDARD-DUTY ASPHALT PAVEMENT DETAIL

NO SCALE



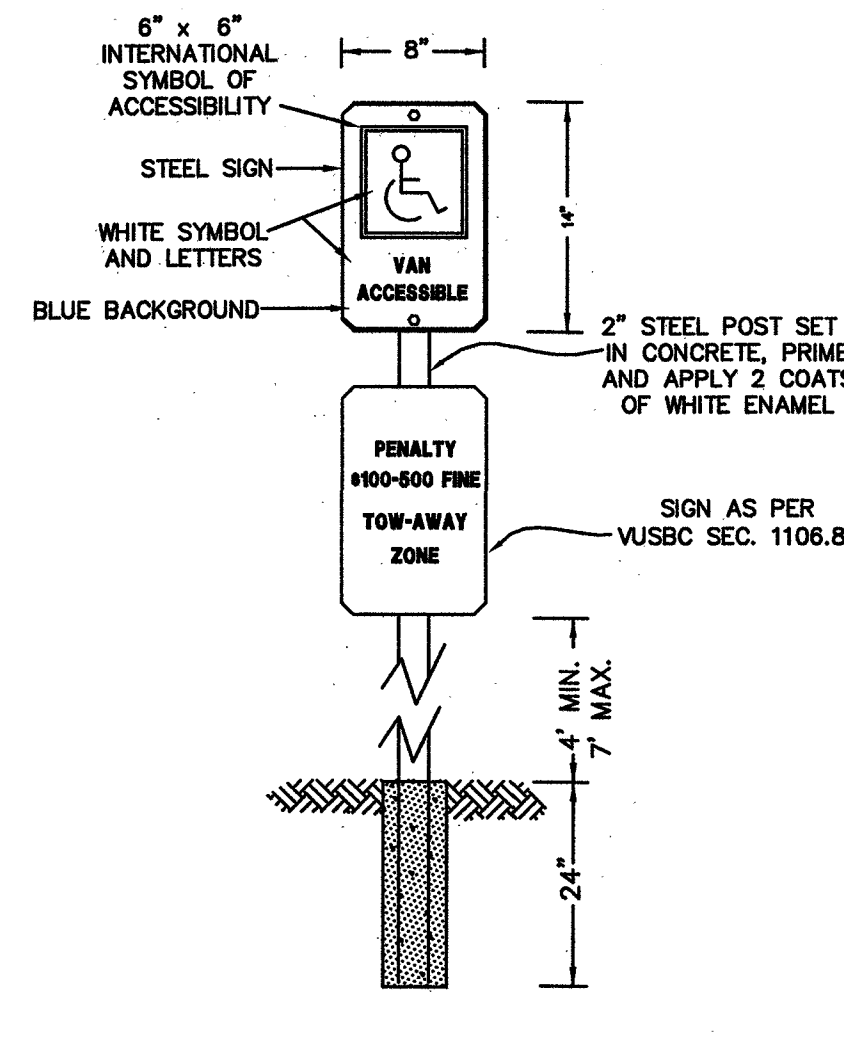
HEAVY-DUTY ASPHALT PAVEMENT DETAIL

NO SCALE



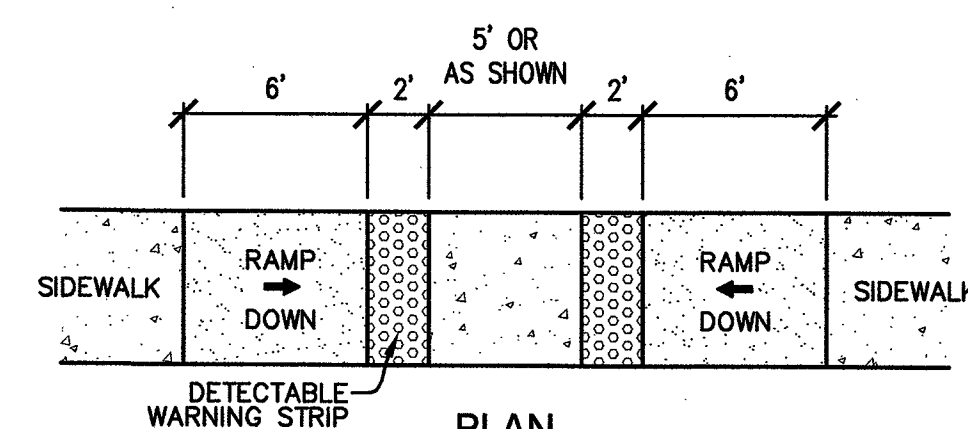
HANDICAP PARKING SIGN (S1)

NO SCALE



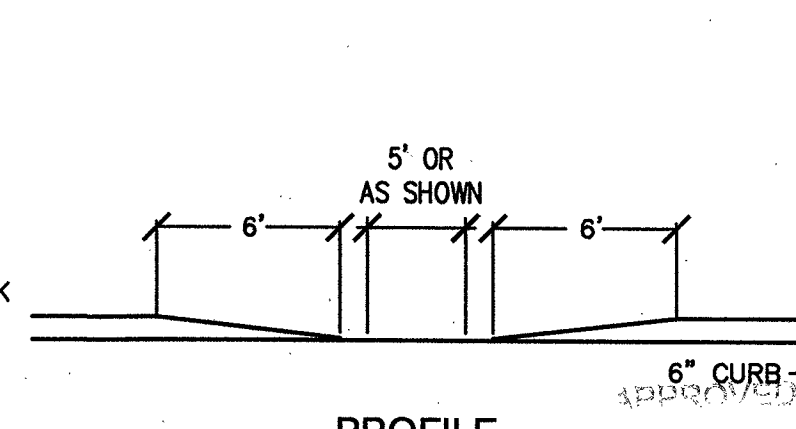
VAN ACCESSIBLE HANDICAP PARKING SIGN (S2)

NO SCALE



HANDICAP RAMP

NO SCALE



PROFILE

6" CURB

SITE AND ZONING TABULATIONS

TAX NUMBERS: 5460124, AND 5470302
ZONING DISTRICT: INPDUG, PER CITY OF ROANOKE ORDINANCE NO. (40190-101915)
PROPOSED USE: GROUP CARE FACILITY, NURSING HOME
SITE ACREAGE: 11.376 ACRES
MAXIMUM DENSITY: 1 DWELLING UNIT PER 1,800 SF
PROPOSED DENSITY: 1 DWELLING UNIT PER 2,360 SF (INCLUDING FUTURE FACILITY)
MAXIMUM IMPERVIOUS SURFACE RATIO: 80%
PROPOSED IMPERVIOUS SURFACE RATIO: 21.8%
REQUIRED OPEN SPACE: 300 SF PER DWELLING UNIT
PROPOSED OPEN SPACE: 514.7 SF PER DWELLING UNIT (SEE LANDSCAPE PLAN, SHEET 11, FOR AREA DELINEATION)
SETBACK REQUIREMENTS:
ALL SETBACKS ARE ESTABLISHED BY THE DEVELOPMENT PLAN FOR THE DISTRICT. SETBACKS FOR THIS INPDUG DISTRICT ARE ZERO FEET (0') FOR FRONT, REAR AND SIDE YARDS.
MAXIMUM HEIGHT: AS SPECIFIED ON THE DEVELOPMENT PLAN FOR THE DISTRICT; SEE EXHIBIT "B-1"
PARKING REQUIREMENTS: AS SPECIFIED ON THE DEVELOPMENT PLAN FOR THE DISTRICT; SEE EXHIBIT "A-1"
REQUIRED PARKING FOR MEMORY CARE FACILITY: 52 SPACES
REQUIRED PARKING FOR FUTURE ASSISTED LIVING FACILITY: 64 SPACES
PARKING SPACES PROVIDED FOR CURRENT PHASE (MEMORY CARE) = 59 SPACES
MINIMUM TREE CANOPY: 10% - SEE LANDSCAPE PLAN, SHEET 11, FOR ADDITIONAL INFORMATION

GENERAL NOTES

- OWNER/DEVELOPER: SMITH/PACKETT MED-COM, L.L.C.
4423 PHEASANT RIDGE ROAD, SW, SUITE 301
ROANOKE, VA 24014
- THE BOUNDARY IS THE DIRECT RESULT OF A FIELD SURVEY BY LUMSDEN ASSOCIATES, P.C. DATED 2006 AND UPDATED IN 2013.
- TOPOGRAPHY DATA BASED ON AERIAL MAPPING BY MCKENZIE SNYDER DATED 12/13/05 AND SUPPLEMENTED WITH FIELD SURVEY BY LUMSDEN ASSOCIATES, P.C. IN 2006 AND 2007.
- NO TITLE REPORT WAS FURNISHED FOR THIS PROJECT, AND ENCUMBRANCES MAY EXIST THAT AFFECT THE SUBJECT PROPERTY THAT ARE NOT SHOWN HEREON.
- THE DEVELOPMENT SHOWN ON THESE PLANS SHALL BE ACCESSED BY PRIVATE STREETS.
- THE DEVELOPMENT SHOWN ON THESE PLANS SHALL BE SERVED BY PUBLIC WATER AND SANITARY SEWER.
- ALL EXTERIOR LIGHTS SHALL BE DESIGNED, ARRANGED, AND LOCATED SO AS NOT TO DIRECT GLARE ON ADJACENT RESIDENTIAL PROPERTIES OR RIGHT OF WAYS. THE MAXIMUM LIGHTING DENSITY AT ADJOINING PROPERTIES OR RIGHTS OF WAY SHALL NOT EXCEED 0.5 FOOT CANDLES.
- ANY EXTERIOR SIGN WILL REQUIRE A SEPARATE SIGN PERMIT. NO NEW EXTERIOR SIGNS ARE PROPOSED WITH THESE PLANS.
- ALL REFUSE DUMPSTERS AND/OR CONTAINERS SHALL BE SCREENED FROM SURROUNDING VIEWS PURSUANT TO THE REQUIREMENTS OF SECTION 36.2-647 AND TABLE 647-1.
- MECHANICAL EQUIPMENT LOCATED ON THE GROUND OR MOUNTED ON A ROOF SHALL BE SCREENED PURSUANT TO THE REQUIREMENTS OF SECTION 36.2-647 AND TABLE 647-1.
- ALL UTILITY SERVICE LATERALS, INCLUDING ELECTRIC, SHALL BE INSTALLED UNDERGROUND.
- NO CONSTRUCTION/FIELD REVISIONS ARE ALLOWED WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER, THE CITY OF ROANOKE, AND/OR THE WESTERN VIRGINIA WATER AUTHORITY.
- THIS PROPERTY IS NOT LOCATED WITHIN THE LIMITS OF A SPECIAL FLOOD HAZARD AREA AS DESIGNATED BY FEMA. THIS OPINION IS BASED ON AN INSPECTION OF THE FLOOD INSURANCE RATE MAP AND HAS NOT BEEN VERIFIED BY ACTUAL FIELD ELEVATIONS. SEE MAP NUMBER 5110000206, DATED SEPTEMBER 28, 2007, ZONE "X" UNSHADED.
- THIS PLAN DOES NOT GUARANTEE THE EXISTENCE OR LOCATION OF ANY UNDERGROUND UTILITY, STORM DRAIN STRUCTURES, SANITARY SEWER MANHOLES, AND OTHER SURFACE UTILITIES WERE FIELD LOCATED. ALL UNDERGROUND UTILITIES SHOWN WERE ESTABLISHED USING ABOVE GROUND STRUCTURES, MISS UTILITY MARKINGS AND AVAILABLE UTILITY MAPS. ALL UNDERGROUND UTILITY LINES ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED PRIOR TO THE START OF ANY CONSTRUCTION.

CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT CITY OF ROANOKE AND THE WESTERN VIRGINIA WATER AUTHORITY STANDARDS AND SPECIFICATIONS AND THE CURRENT EDITION OF THE VDOT ROAD AND BRIDGE STANDARDS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND THE ENGINEER OF ANY CHANGES OR CONDITIONS ATTACHED TO PERMITS OBTAINED FROM ANY AUTHORITY ISSUING PERMITS.
- THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION.
- SEE VDOT ROAD AND BRIDGE STANDARDS FOR CONCRETE CURB AND STORM DRAINAGE DETAILS.
- THE CONTRACTOR AND OR OWNER SHALL PROVIDE A STORAGE CONTAINER FOR TEMPORARY STORAGE AND DISPOSAL OF LAND CLEARANCE DEBRIS AND BUILDING MATERIALS. ON-SITE BURIAL OF MATERIAL SHALL NOT BE PERMITTED.
- ANY NEW ALIGNMENTS, CHANGES IN GRADES, ALTERNATE PIPE SIZES, MANHOLES OR EROSION & SEDIMENT CONTROL MEASURES WILL REQUIRE A NEW SET OF PLANS STAMPED BY THE CONSULTING ENGINEER AND APPROVED BY THE CITY OF ROANOKE.
- ALL NECESSARY UTILITY LATERAL CONDUITS (I.E. WATER, SEWER, STORM DRAIN, GAS, ELECTRIC, COMMUNICATIONS) SHALL BE CONSTRUCTED PRIOR TO THE PLACEMENT OF BASE MATERIAL.

GRADING NOTES

- AREAS TO BE GRADED SHALL BE CLEARED OF ALL VEGETATION, STRUCTURES, AND OTHER PHYSICAL FEATURES IN PREPARATION OF GRADING.
- TOPSOIL SHALL BE REMOVED FROM THE CLEARED AREA AND STOCKPILED FOR FUTURE USE. A SEPARATE E & S PLAN MAY BE REQUIRED FOR OFFSITE STOCKPILES.
- FILL MATERIAL SHALL BE FREE FROM ORGANIC MATTER AND ROCKS LARGER THAN 6 INCHES IN DIAMETER.
- FILL MATERIAL SHALL BE PLACED AND COMPACTED IN EIGHT (8) INCH LOOSE LIFTS AND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF THE MATERIAL'S MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698, STANDARD PROCTOR. MAINTAIN MOISTURE CONTENT OF FILL MATERIAL WITHIN THREE (3) PERCENT OF OPTIMUM TO ATTAIN REQUIRED COMPACTION DENSITY.
- A GEOTECHNICAL ENGINEERING REPORT BY ORCEO GEOTECHNICAL ENGINEERING, P.C. (CDE PROJECT NO. G-707, DATED 12/8/2012 AND REVISED 7/31/2015) WAS PROVIDED TO THE OWNER AND FURNISHED TO THE DESIGNING ENGINEER (LUMSDEN ASSOCIATES, P.C.). A QUALIFIED GEOTECHNICAL ENGINEER, LICENSED IN THE STATE OF VIRGINIA, SHOULD BE CONSULTED CONCERNING SOIL STABILITY, SLOPE STABILIZATION, SOIL COMPACTION, TESTING, AND OTHER SOIL CHARACTERISTICS. LUMSDEN ASSOCIATES ASSUMES NO RESPONSIBILITY OR LIABILITY RELATING TO FAILURES RESULTING FROM SAME.

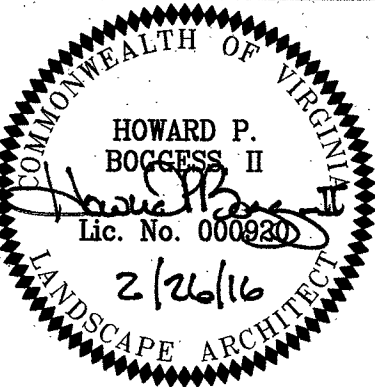
WESTERN VIRGINIA WATER AUTHORITY GENERAL NOTES

- ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE CONSTRUCTION STANDARDS AND SPECIFICATIONS OF THE WESTERN VIRGINIA WATER AUTHORITY (WVWA).
- A PRE-CONSTRUCTION CONFERENCE SHALL BE SCHEDULED WITH ROANOKE CITY DEVELOPMENT REVIEW DIVISION, AND THE WESTERN VIRGINIA WATER AUTHORITY, TO BE HELD AT LEAST ONE (1) DAY PRIOR TO ANY CONSTRUCTION.
- ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE WESTERN VIRGINIA WATER AUTHORITY AND ROANOKE CITY INSPECTORS.
- THE DEVELOPER OR CONTRACTOR SHALL SUPPLY THE CITY, AND THE WESTERN VIRGINIA WATER AUTHORITY WITH CORRECT AS-BUILT PLANS BEFORE TENTATIVE ACCEPTANCE.
- FIELD CORRECTIONS SHALL BE APPROVED BY THE ROANOKE CITY DEVELOPMENT REVIEW DIVISION AND THE WESTERN VIRGINIA WATER AUTHORITY PRIOR TO SUCH CONSTRUCTION.
- THE WATER SERVICES FOR THIS DEVELOPMENT WILL REQUIRE A CONCRETE VAULT. CONTACT CLEAR FLOW AT (540)-942-3300 TO ORDER THE VAULT. THE APPLICANT IS RESPONSIBLE FOR PAYMENT, COORDINATION OF THE VAULT DELIVERY, AND INSTALLATION OF THE WATER SERVICE BETWEEN THE AUTHORITY MAIN AND THE VAULT. PRIOR TO START OF CONSTRUCTION, CALL THE AUTHORITY INSPECTOR AT 537-3243. THE APPLICANT IS RESPONSIBLE FOR ALL ASPECTS AND COMPONENTS OF THE METER SERVICE AND VAULT IN ACCORDANCE WITH AUTHORITY STANDARDS, INCLUDING BUT NOT LIMITED TO PAVEMENT RESTORATION, THE TAPPING SLEEVE, VALVE AND APPURTENANCES. THE WET TAP WILL BE MADE BY THE AUTHORITY UPON PAYMENT AND SCHEDULING. FOLLOWING PAYMENT FOR TAP, CALL UTILITY LINE SERVICES AT 540-853-2513, THREE (3) WORKING DAYS PRIOR TO ANTICIPATED TAP DATE.
- PROPOSED HYDRANTS SHALL BE INSTALLED BY THE CONTRACTOR.

LUMSDEN ASSOCIATES, P.C.
ENGINEERS-SURVEYORS-PLANNERS
ROANOKE, VIRGINIA

PHONE: (540) 774-4411
FAX: (540) 772-9445
EMAIL: NAL@LUMSDENPC.COM

4666 BRAMBLETON AVENUE
P.O. BOX 20669
ROANOKE, VIRGINIA 24018



NOTES, DETAILS, EXISTING CONDITIONS & DEMOLITION PLAN

COMPREHENSIVE DEVELOPMENT PLAN FOR PHEASANT RIDGE MEMORY CARE

PREPARED FOR
SMITH/PACKETT MED-COM, L.L.C.
SITUATED AT 4414 PHEASANT RIDGE ROAD, SW
CITY OF ROANOKE, VIRGINIA

REVISIONS	NO.	DATE	DESCRIPTION
	1	2/26/16	EXPAND LIMITS OF DISTURBANCE
	2		
	3		
	4		
	5		

DATE: November 20, 2015
SCALE: AS SHOWN
COMMISSION NO: 14-247
SHEET 2 OF 18