

# ROANOKE NURSING FACILITY

REZONING ORDINANCE: #92B15-020596  
B2A SPECIAL EXEMPTION: #96-955-A  
B2A HEIGHT VARIANCE: #97-95V-A

## PHASE I SITE PLANS ROANOKE, VIRGINIA

### NOTICE ALL LANDOWNERS, DEVELOPERS AND CONTRACTORS

FAILURE TO COMPLY WITH THE CONSTRUCTION PROCEDURE REQUIREMENTS LISTED BELOW MAY RESULT IN COSTLY REMOVAL OF STRUCTURES, TIME DELAYS, OR THE ISSUANCE OF A STOP WORK ORDER.

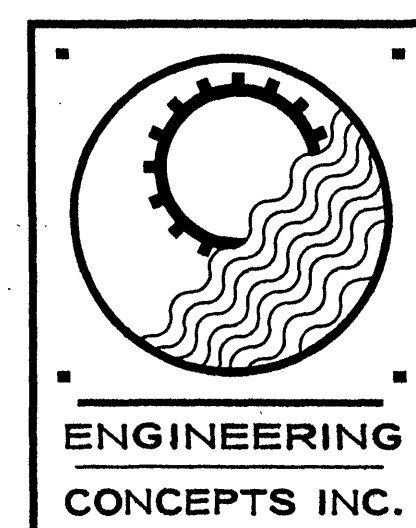
### CONSTRUCTION PROCEDURE REQUIREMENTS

1. CITY INSPECTIONS: TO ENSURE THE COORDINATION OF TIMELY AND PROPER INSPECTIONS, A PRECONSTRUCTION CONFERENCE SHALL BE INITIATED BY THE CONTRACTOR WITH THE CITY ENGINEERING DEPARTMENT. CALL (540) 961-2751 TO ARRANGE A CONFERENCE AT LEAST THREE (3) DAYS PRIOR TO ANTICIPATED CONSTRUCTION.
2. STREET OPENING PERMIT: PRIOR TO THE COMMENCEMENT OF ANY DIGGING, ALTERATION, OR CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY (STREETS, ALLEYS, PUBLIC EASEMENTS) A STREET OPENING PERMIT SHALL BE AVAILABLE FOR AND OBTAINED BY THE CONTRACTOR FROM THE CITY OF ROANOKE.
3. PLANS AND PERMITS: A COPY OF THE PLANS APPROVED BY THE CITY (SIGNED BY THE PROPER CITY OFFICIALS) AND ALL PERMITS ISSUED BY THE CITY SHALL BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES OF ONGOING CONSTRUCTION.
4. LOCATION OF UTILITIES: THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.
5. CONSTRUCTION ENTRANCE: THE CONTRACTOR SHALL INSTALL AN ADEQUATE CONSTRUCTION ENTRANCE FOR ALL CONSTRUCTION-RELATED EGRESS FROM THE SITE. SIZE AND COMPOSITION OF CONSTRUCTION ENTRANCE SHALL BE DETERMINED BY THE CITY SITE PLAN INSPECTOR.
6. STREETS TO REMAIN CLEAN: IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT THE PUBLIC STREET ADJACENT TO THE CONSTRUCTION ENTRANCE TO REMAIN FREE OF MUD, DIRT, DUST, AND/OR ANY TYPE OF CONSTRUCTION MATERIALS OR LITTER AT ALL TIMES.
7. BARRICADES/DITCHES: THE CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF ALL EXCAVATED DITCHES AND SHALL FURNISH AND ENSURE THAT ALL BARRICADES PROPER AND NECESSARY FOR THE SAFETY OF THE PUBLIC ARE IN PLACE.
8. SEWER AND PAVEMENT REPLACEMENT: CONSTRUCTION OF SANITARY SEWERS AND THE REPLACEMENT OF PAVEMENT SHALL BE IN ACCORDANCE WITH THE APPROVED STANDARDS AND SPECIFICATIONS OF THE CITY OF ROANOKE.
9. APPROVED PLANS/CONSTRUCTION CHANGES: ANY CHANGE OR VARIATION FROM CONSTRUCTION DESIGN AS SHOWN ON THE OFFICIALLY APPROVED PLANS SHALL BE APPROVED BY THE CITY ENGINEER PRIOR TO SAID CHANGES OR VARIATIONS IN CONSTRUCTION BEING MADE.
10. FINAL ACCEPTANCE/CITY: THE DEVELOPER OR CONTRACTOR SHALL FURNISH THE CITY OF ROANOKE ENGINEERING DEPARTMENT WITH A FINAL CORRECT SET OF AS-BUILT PLANS PRIOR TO FINAL ACCEPTANCE BY THE CITY.

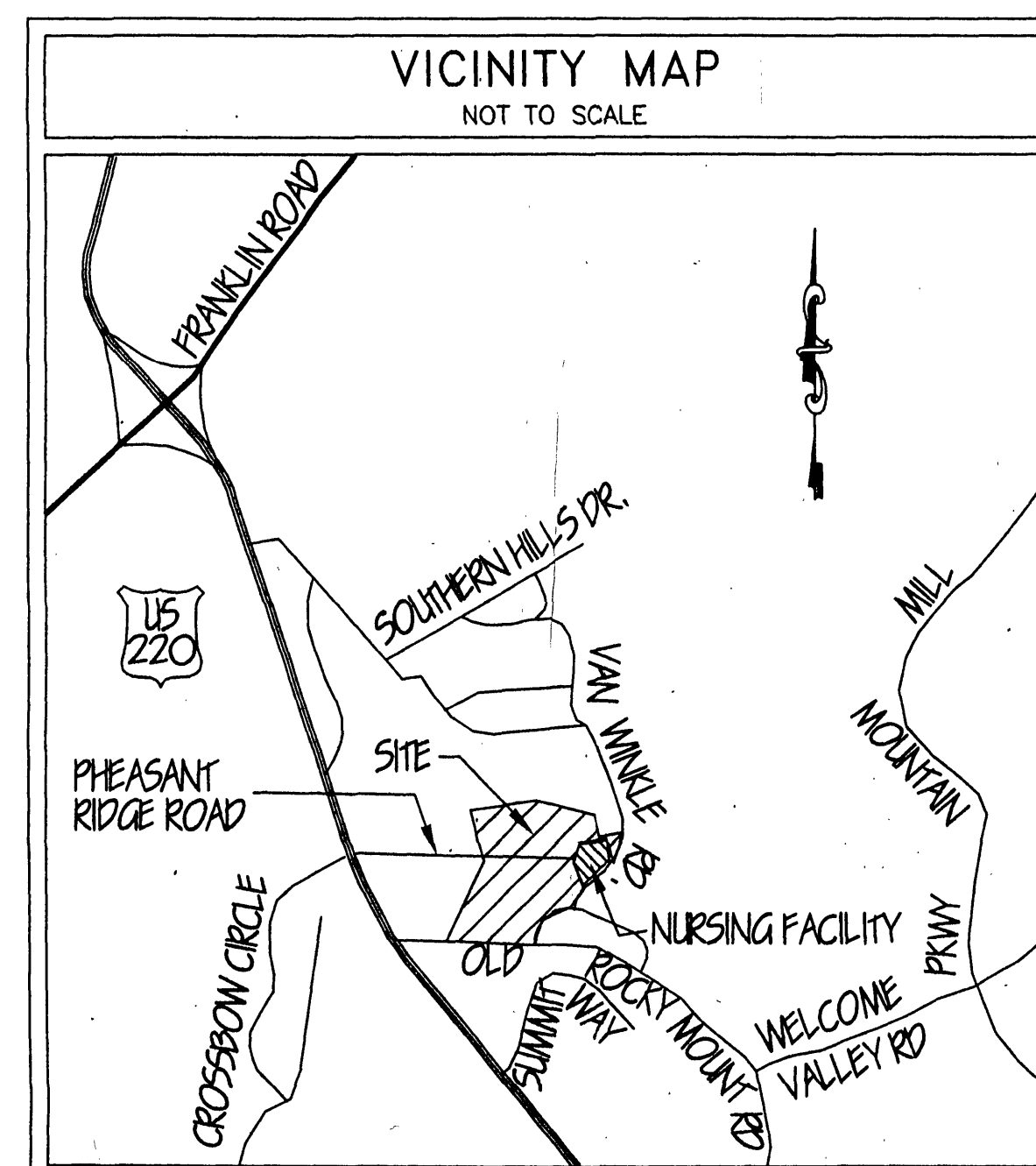
### OWNER:

ROANOKE HEALTH CARE CENTER, L.L.C.  
C/O SMITH/PACKETT MEDCOM, INC.  
4656 BRAMBLETON AVENUE  
ROANOKE, VIRGINIA 24018  
PHONE: (540) 776-7601

### ENGINEER:



ENGINEERING CONCEPTS, INC.  
20 S. ROANOKE ST., SUITE 201  
FINCASTLE, VIRGINIA 24090  
540-473-1253



### PROPERTY OWNER IDENTIFICATION

1. PROPERTY OWNER AND / OR DEVELOPER:  
ROANOKE HEALTH CARE CENTER, L.L.C.  
4656 BRAMBLETON AVENUE  
ROANOKE, VIRGINIA 24018
2. SUBMITTING ENGINEER:  
ENGINEERING CONCEPTS, INC.  
P.O. BOX 619  
FINCASTLE, VIRGINIA 24090  
(540) 473-1253
- JACK ELLINWOOD - PROJECT MANAGER

### PROPERTY IDENTIFICATION

1. OFFICIAL TAX NUMBER:  
5460101
2. ZONING CLASSIFICATION:  
C-2; GENERAL COMMERCIAL DISTRICT
3. TOTAL ACREAGE OF LAND TO BE DEVELOPED:  
± 7 ACRES (PHASE ONE)

### BUILDING AND PARKING INFORMATION

1. PROPOSED USE OF BUILDING:  
NURSING FACILITY - CONGREGATE CARE
2. TOTAL SQUARE FOOTAGE OF BUILDING:  
26,000 SQUARE FEET (GROSS) - PHASE ONE
- 52 BED FACILITY
3. NUMBER OF PARKING AND LOADING SPACES REQUIRED:  
ADEQUATE FOR STAFF AND VISITORS.  
TOTAL SPACES REQUIRED PER OWNER: 39 REGULAR  
4 HANDICAP  
1 LOADING
4. NUMBER OF PARKING AND LOADING SPACES PROVIDED:  
39 REGULAR  
4 HANDICAP  
1 LOADING

### ZONING TABULATION

1. MINIMUM LOT SIZE:  
10,000 SQ. FT. REQUIRED  
309,276 SQ. FT. PROVIDED
2. MINIMUM LOT FRONTAGE:  
75 FEET REQUIRED  
585 FEET PROVIDED
3. MAXIMUM LOT COVERAGE:  
60% ALLOWABLE  
40% ACTUAL
4. OPEN SPACE:  
10,000 SQ. FT. REQUIRED  
125,710 SQ. FT. PROVIDED
5. MINIMUM FRONT YARD:  
25 FEET REQUIRED  
180 FEET PROVIDED
6. MINIMUM SIDE YARD:  
NO SIDE YARD EXCEPT WHERE ADJUTING  
A RESIDENTIAL DISTRICT,  
THEN 20 FEET REQUIRED.  
80 FEET PROVIDED
7. MINIMUM REAR YARD:  
25 FEET REQUIRED  
95 FEET PROVIDED
8. MAXIMUM HEIGHT OF STRUCTURES:  
55 FEET ALLOWED  
+/- 25 FEET PROVIDED
9. OUTDOOR STORAGE:  
NONE ALLOWED, SUBJECT TO CERTAIN RESTRICTIONS  
NO OUTDOOR STORAGE IS PROPOSED
10. SIGNAGE:  
SEPARATE PERMIT REQUIRED. REFER TO CITY OF  
ROANOKE ZONING ORDINANCE ALLOWABLE AREAS AND LOCATIONS.
11. LIGHTING:  
NOT TO EXCEED 0.5 FOOT-CANDLES AT BOUNDARY OR RIGHTS-OF-WAY.
12. EXISTING PROPOSED 50 FOOT BUFFER AS SHOWN ON THE  
PLANS TO REMAIN UNDISTURBED.

### SHEET INDEX

1. COVER SHEET
2. OVERALL DEVELOPMENT PLAN
3. ACCESS ROAD PLAN & PROFILE
4. ACCESS ROAD PLAN & PROFILE
- 5, 6, 7, 8, 9 ACCESS ROAD CROSS SECTIONS
10. SITE GRADING PLAN
11. SITE UTILITY DIMENSION PLAN
12. WATER LINE PLAN & PROFILE STA 0+00 - 6+00
13. WATER LINE PLAN & PROFILE STA 6+00 - 16+63
14. SANITARY SEWER PLAN & PROFILE
15. STORM WATER MANAGEMENT PROFILES & DETAILS
16. EROSION AND SEDIMENT CONTROL SITE PLAN
17. EROSION AND SEDIMENT ROAD PLAN
18. MISCELLANEOUS NOTES
19. MISCELLANEOUS DETAILS
20. EROSION AND SEDIMENT CONTROL STANDARD DETAILS
21. WATER STANDARD DETAILS
22. SEWER STANDARD DETAILS

DATE: APRIL 1996  
PROJECT: 96017

