

SITE SUMMARY:

OWNER: HARRIS CORPORATION
7635 PLANTATION ROAD
ROANOKE, VA 24019

TAX MAP NUMBER: 027.10-09-06.00-0000

EXISTING LOT SIZE: 3.97 AC.

ZONING: I1 - LIGHT INDUSTRIAL USE W/SPECIAL USE PERMIT &
CONDITIONS - ORDINANCE #012417-6 (01-24-2017)

CONDITIONS:
a. THE SITE SHALL BE DEVELOPED IN GENERAL CONFORMANCE WITH THE CONCEPT PLAN TITLED "PLANTATION STORAGE MASTER PLAN PREPARED BY BALZER AND ASSOCIATES, INC." DATED NOVEMBER 23, 2016, REVISED DECEMBER 8, 2016, AND JANUARY 4, 2017, SUBJECT TO SPECIAL USE PERMIT CONDITIONS AND THOSE CHANGES WHICH MAY BE REQUIRED BY ROANOKE COUNTY DURING THE SITE PLAN REVIEW PROCESS.

b. THE BUILDING SHALL BE DEVELOPED IN GENERAL CONFORMANCE TO THE ARCHITECTURAL RENDERINGS TITLED "PLANTATION STORAGE PREPARED BY JONES & JONES ASSOCIATES ARCHITECTS PC" DATED DECEMBER 8, 2016. THE PROPOSED CONCEPTUAL LEFT SIDE ELEVATION SHALL GENERALLY MATCH THE RIGHT SIDE ELEVATION.

c. FREESTANDING LIGHT POLES, INCLUDING FIXTURE, SHALL NOT BE MORE THAN 25 FEET ABOVE GRADE. ALL EXTERIOR LIGHTS SHALL BE DOWN-LIT OR SHIELDED SO AS NOT TO DIRECT GLARE ONTO ADJOINING STREETS OR RESIDENTIAL PROPERTIES.

d. A VEHICULAR ENTRANCE SHALL BE PROHIBITED ON THE PROPERTY ALONG PLANTATION ROAD.

e. FREESTANDING SIGNAGE SHALL BE LIMITED TO ONE (1) MONUMENT SIGN IN SUBSTANTIAL CONFORMANCE WITH THE SIGN DETAIL PREPARED BY JONES & JONES ASSOCIATES ARCHITECTS PC DATED DECEMBER 8, 2016. DIGITAL AND LED FACES ARE PROHIBITED. THE MONUMENT STYLE SIGN SHALL ONLY BE LIT FROM THE GROUND AND NOT CAUSE GLARE ONTO ADJACENT ROADS OR PROPERTIES. NO NEON SIGNAGE SHALL BE ALLOWED ON THE PROPERTY.

f. A 10-FOOT PLANTING STRIP SHALL BE INSTALLED ON THE PROPERTY ALONG THE HITECH ROAD RIGHT-OF-WAY. THE PLANTING STRIP SHALL MEET THE REQUIREMENTS OF SECTION 30-92-6(B)(2) OF THE CODE OF ROANOKE COUNTY. THE OUTDOOR STORAGE AREAS SHALL BE SCREENED BY A 10-FOOT LANDSCAPED AREA CONSISTING OF LARGE EVERGREEN TREES IN ACCORDANCE WITH SECTION 30-92 OF THE CODE OF ROANOKE COUNTY.

g. THE DUMPSTER ENCLOSURE WILL BE CONSTRUCTED WITH MASONRY MATERIALS THAT MATCH THOSE USED ON THE BUILDING FACADE.

PROPOSED USE: MINI-STORAGE

MINIMUM LOT SIZE REQUIRED: 2 AC. (MINI-WAREHOUSE SUPPLEMENTAL REGS.)

EXISTING LOT SIZE: 3.97 AC.

MINIMUM LOT FRONTAGE REQUIRED: 75 LF OF FRONTAGE

EXISTING LOT FRONTAGE: 854 LF OF FRONTAGE

SETBACKS: 35' F.Y.S. (MINI-WAREHOUSE SUPPLEMENTAL REGS.)

10' SIDE YARD SETBACK

15' REAR YARD SETBACK

MAXIMUM BUILDING HEIGHT: UNLIMITED

BUILDING HEIGHT PROVIDED: APPROX. 36'

MAXIMUM BUILDING COVERAGE: 50%

BUILDING COVERAGE PROVIDED: APPROX. 13%

MAXIMUM LOT COVERAGE: 90%

LOT COVERAGE PROVIDED: APPROX. 54%

MINIMUM PARKING REQUIREMENTS:

-2 SPACES FOR LIVE-IN MANAGER

-2 SPACES FOR THE FIRST 100 STORAGE SPACES PLUS 1 FOR EACH ADDITIONAL 100 STORAGE UNITS.

5 PARKING SPACES REQUIRED

16 PARKING SPACES PROVIDED

HANDICAPPED PARKING SPACES

REQUIRED: 1 SPACE (INCLUDING 1 VAN ACCESSIBLE SPACE)

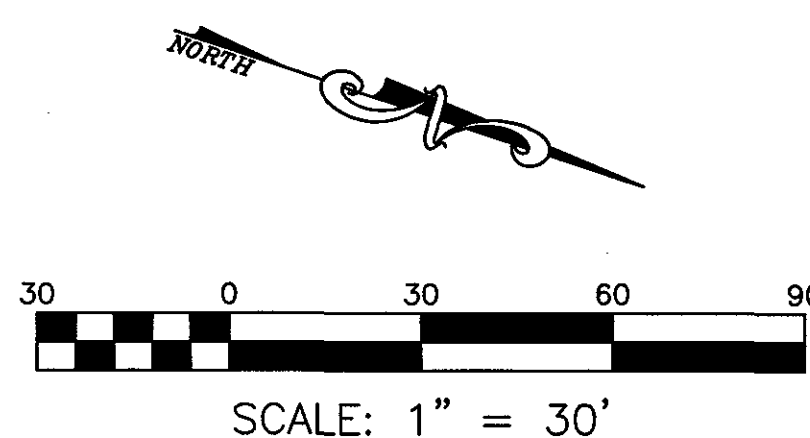
LOADING SPACES

REQUIRED: 1 SPACE (10'x20')

PROVIDED: 1 SPACE (18'x150')

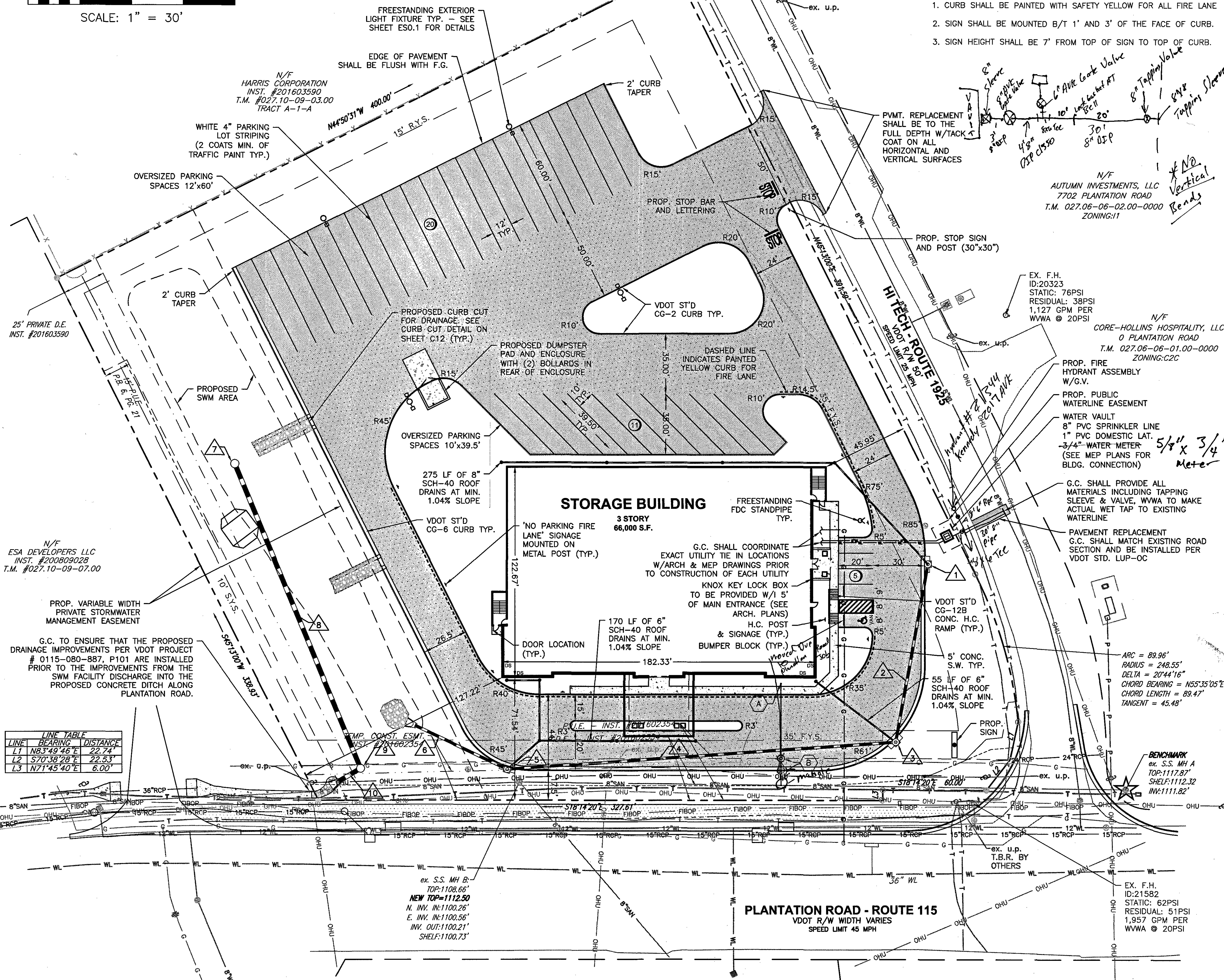
LAYOUT PLAN NOTES:

- NO CONSTRUCTION/FIELD CHANGES WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER, ROANOKE COUNTY & VDOT.
- EXISTING PAVEMENT TO BE SAWCUT AT LEAST 2' FROM THE EX. EP OR THE DISTANCE REQUIRED TO REACH THE FULL DEPTH OF PAVEMENT PER VDOT STD'S.
- A SIGN PERMIT MUST BE OBTAINED FOR EXISTING AND PROPOSED SIGNAGE FROM ROANOKE COUNTY PRIOR TO THE INSTALLATION OF ANY SIGNAGE ONSITE. MINIMUM SIGNAGE SETBACK FOR NEW SIGNAGE SHALL BE 10' IF THE PROPOSED SIGN IS 10' TALL OR LESS. OTHERWISE, MINIMUM SETBACK SHALL BE 15' IF THE PROPOSED SIGN IS IN EXCESS OF 10' IN HEIGHT. NOTE THAT NO SIGN SHALL EXCEED 25' IN HEIGHT IN THE C2 - HIGH INTENSITY COMMERCIAL DISTRICT.
- ANY EXTERIOR LIGHTING FIXTURES SHALL BE DESIGNED, LOCATED, AND ARRANGED SO AS NOT TO DIRECT GLARE ON ADJOINING STREETS OR RESIDENTIAL PROPERTIES. THE LIGHTING INTENSITY AT ADJOINING RESIDENTIAL PROPERTIES SHALL NOT EXCEED 0.5 FOOT CANDLES.
- ALL REFUSE SERVICE (DUMPSTERS/CONTAINERS), OUTDOOR STORAGE, AND ROOFTOP OR GROUND LEVEL MECHANICAL EQUIPMENT IN ALL ZONING DISTRICTS SHALL BE SCREENED FROM SURROUNDING VIEWS. IN ADDITION, PROPOSED GROUND LEVEL AND ROOFTOP MECHANICAL EQUIPMENT SHALL BE SCREENED OR LANDSCAPED FROM VIEW.
- G.C. SHALL PROVIDE A SERIES 3200 KNOX BOX AT THE ENTRY DOOR OF THE BUILDING PER COUNTY OF ROANOKE STANDARDS IN REGARDS TO MOUNTING HEIGHT AND TYPE OF KNOX BOX. ELEVATOR KNOX BOX SHALL BE INSTALLED. SEE ARCHITECTURAL PLANS FOR SPECIFIC LOCATIONS.
- G.C. SHALL PROVIDE THE REQUIRED BACKFLOW PREVENTERS FOR THE BUILDING AS REQUIRED BY THE INTERNATIONAL BUILDING CODE & WESTERN VIRGINIA WATER AUTHORITY.
- G.C. SHALL BE RESPONSIBLE FOR PROVIDING TEMPORARY POWER DURING THE CONSTRUCTION PROCESS. COORDINATE DIRECTLY WITH A.E.P. FOR THIS SERVICE.
- BACKFLOW PREVENTION SHALL BE INSTALLED BY G.C. IN THE UTILITY ROOM. SEE M.E.P. FOR ADDITIONAL DETAILS.



LEGEND:

- STANDARD ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT

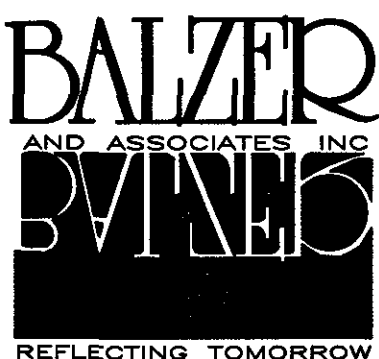


FIRE HYDRANT FLOW DATA: (PER W.V.W.A. DATA)

- FIRE HYDRANT
ID: 21582
STATIC: 62 PSI
RESIDUAL: 51 PSI
FLOW: 949 GPM
FLOW AT 20 PSI: 1,957 GPM
- FIRE HYDRANT B
ID: 20323
STATIC: 76 PSI
RESIDUAL: 38 PSI
FLOW: 919 GPM
FLOW AT 20 PSI: 1,127 GPM

FIRE LANE INFORMATION:

- CURB SHALL BE PAINTED WITH SAFETY YELLOW FOR ALL FIRE LANE.
- SIGN SHALL BE MOUNTED B/T 1' AND 3' OF THE FACE OF CURB.
- SIGN HEIGHT SHALL BE 7' FROM TOP OF SIGN TO TOP OF CURB.



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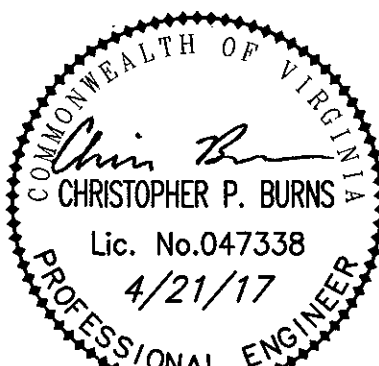
Balzer and Associates, Inc.

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PLANTATION STORAGE
0 PLANTATION ROAD
LAYOUT & UTILITY PLAN
HOLLINS DISTRICT
ROANOKE COUNTY, VIRGINIA

DRAWN BY BTC
DESIGNED BY BTC
CHECKED BY CPB
DATE 3/14/2017
SCALE 1"=30'

REVISIONS:
4/12/2017
4/21/2017

APPROVED

SHEET NO.

C3

JOB NO. 04160070.01